



RPT-100

AUG 10 2016

Planning 2016

NONRESIDENTIAL SITE PLAN APPLICATION
City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: August 9, 2016

Is a conditional use needed? Yes: X No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 216 221; Lot #'s: 001 162; Zoning district: GRD

Property address/location: 18 Farmington Rd.

Name of project (if applicable): _____

Size of site: 3.3 6.5 acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): Wissler Properties, LLC c/o Dwight Wissler

Mailing address: 20 Farmington Rd

Telephone #: 332-6242 Email: DwightW@VWofrochesternh.com

Applicant/developer (if different from property owner)

Name (include name of individual): Wissler Properties, LLC c/o Dwight Wissler

Mailing address: 20 Farmington Rd

Telephone #: 332-6242 Email: DwightW@VWofrochesternh.com

Engineer/designer

Kenneth A. Berry, PE, LLS

Name (include name of individual): Christopher R. Berry, Project Manager

Mailing address: 335 Second Crown Point Rd. Barrington, NH 03825

Telephone #: 332-2863 Fax #: 335-4623

Email address: K.Berry@BerrySurveying.com Professional license #: 14243

Proposed activity (check all that apply)

New building(s): _____ Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 216 001
221 Lot: 162 Zone GRD)

Describe proposed activity/use: Addition of 7,000 sq ft paved parking area (previous pavement)
and expand gravel employee parking area.

Describe existing conditions/use (vacant land?): Volkswagen of Rochester car dealership
capable of parking approximately 24 cars.

Utility information

City water? yes ☐ no ☒; How far is City water from the site? Within 100 ft of Rt.11

City sewer? yes ☒ no ☐; How far is City sewer from the site?

If City water, what are the estimated total daily needs? gallons per day No Change

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? Through porous pavement into existing
stream/cross culvert

Building information

Type of building(s): N/A

Building height: N/A Finished floor elevation:

Other information

parking spaces: existing: 120 total proposed: 144; Are there pertinent covenants?

Number of cubic yards of earth being removed from the site

Number of existing employees: 18; number of proposed employees total: 18

Check any that are proposed: variance ☒; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? No; area to be filled: N/A; buffer impact? 2,786 sq ft

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	10,927	2.56%
Parking and vehicle circulation	44,500	10.04%
Planted/landscaped areas (excluding drainage)	800	.19%
Natural/undisturbed areas (excluding wetlands)	257,934	60.4%
Wetlands	55,490	12.99%
Other – drainage structures, outside storage, etc.	59,017	13.82%

(Continued Nonresidential Site Plan application Tax Map: 216 221 Lot: 001 162 Zone GRD)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: [Signature]

Date: 8-9-16

Signature of applicant/developer: [Signature]

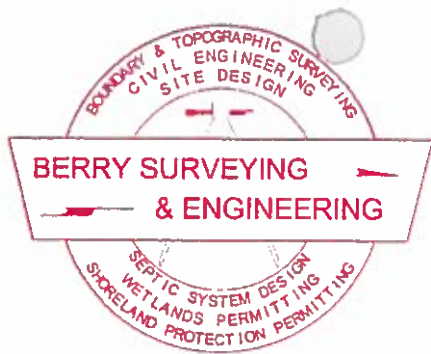
Date: 8-9-16

Signature of agent: [Signature] KENNETH A. BERRY, P.E., LL.S.
BERRY SURVEYING & ENGINEERING
Date: 8-10-16

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: [Signature]



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

City of Rochester Planning Department
Attention: Chief Planner Seth Creighton
31 Wakefield Street
Rochester, NH 03867

August 10, 2016

RE: VW of Rochester
Traffic Narrative

Mr. Creighton,

This letter is to serve as a brief synopsis of the traffic changes expected at the 20 Farmington Road project site with the conversion of the Minor Site Review of 10 proposed cars for sale, to Major Site Review which proposes a total of 24 cars for sale. This represents a 12 car increase in the sales area with no increase in the building on site.

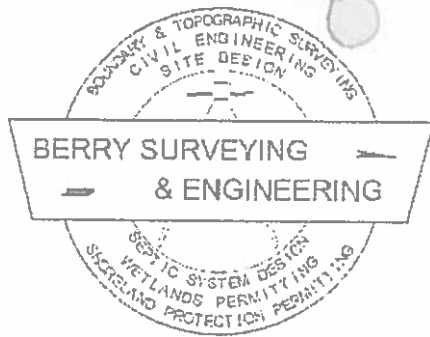
The Institute of Transportation Engineers (ITE) Trip Generation Manual 7th edition, defines New Car Sales in Land Use Code 841. It provides trip generation using an average rate based on the square footage of the building, as well as a rate for the number of employees. Since the building size is to remain the same, and no additional employees are required to service the additional car sales for this particular application, there will be no additional calculable trip generation to and from this site.

Please let us know if you have further question on this matter.

BERRY SURVEYING & ENGINEERING


Christopher R. Berry
Principal, President


Kenneth A. Berry PE, LLS
CPSWQ, CPESC, CESSWI
Principal, VP -Technical Operations



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August 10, 2016

City of Rochester Planning Board
31 Wakefield Street
Rochester, NH 03867

RE: Proposed Site Plan, Wissler Properties, LLC
Tax Map 216, Lot 1 & Tax Map 221, Lot 162

Waiver Request for Grading within 5' of the Boundary Line Section 13 (B)3
Waiver Request for Lighting over a common Boundary Line Section 6 (E) 5

Mr. Chairman and Members of the Rochester Planning Board,

Pursuant to the Site Review standards the following waivers are hereby requested to Article 3, Section 13 Stormwater Management (B) 3 and Section 6 Lighting (E) 5 to permit grading within 5' of a lot line and illumination over a common boundary line.

1. Identification of Waiver Request:

The regulations require no grading within 5' of a boundary line "in order to create a smooth and safe transition newly graded areas and adjoining properties".

The regulations required lighting at a property line; "Horizontal illuminance at the property line may not exceed ... 1 foot-candle adjacent to a nonresidential property."

2. Explanation:

In both of these instances, the boundary line in question is the common ownership, and the two parcels and project is tied together through a drainage, parking, grading, lighting, electrical conduit and landscaping easement.

3. Waiver Justification:

- a. Granting the waiver will properly carry out the purpose and intent of the regulations.**

The regulations were designed to ensure there is no impact on abutting land owners. In this case the abutting land owner is themselves. Due to property value and investment considerations, the owner has chosen not to merge the parcels into one but to provide an easement to the operator, Wissler Auto Group, LLC, DBA Volkswagen of Rochester, similar to the situation on Lot 1, Tax Map 216.

b. Strict conformity to the regulations would pose an unnecessary hardship to the applicant.

It would not allow a seamless transition between the existing historical parking area and the gravel parking lot that will be rehabilitated with the porous asphalt pavement and infiltration bed.

Thank you for your time and attention to this matter and we hope you look favorably upon the request.

Respectfully Submitted,

BERRY SURVEYING & ENGINEERING



Kenneth A. Berry, PE, LLS
CPSWQ, CPESC, CESSWI
Principal, VP – Technical Operations



BERRY SURVEYING & ENGINEERING
335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com

PLAIN REFERENCES:

- 1) "EXISTING CONDITIONS PLAN LAND OF 21 FARMINGTON ROAD LLC 21 FARMINGTON"
BY: BERRY SURVEYING & ENGINEERING
DATED: MARCH 30, 2015
S.C.R.D. 08 20-149
- 2) "BOUNDARY LINE ADJUSTMENT BETWEEN TAX MAP 221 LOTS 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822,

NOTES

- 1) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 218, LOT 1 & MAP 221, LOT 18.
- 2) CURRENT OWNER: WESTERLY PROPERTIES, LLC
20 FARMINGTON ROAD, WOI ROUTE 11,
ROCHESTER, NH 03807
- 3) THE PROJECT PARCEL IS LOT NO. 1, MAP 218 AND LOT 182 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4) THE PROJECT PARCELS CONTAINS 9.8 ACRES OR 427.043 SQUARE FEET AREA OF LAND. TAX MAP 218, LOT 1 CONTAINS 3.3 ACRES OR 143,521 SQUARE FEET AND TAX MAP 221, LOT 182 CONTAINS 6.5 ACRES OR 283,522 SQUARE FEET AND BOOK 4183 PAGE 444.
- 5) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE SHERBORNE COUNTY RECORDS OF DEEDS, (S.C.R.D.) BOOK 4000 PAGE 917.
- 6) LOCAL PARCEL IS SUBJECT TO EASEMENTS AS NOTED ON THE EXISTING CONDITIONS PLAN.
- 7) ZONING: GPD - GRANITE ROAD DEVELOPMENT
SETBACKS: FRONT YARD: 50 FEET, MINIMUM
MAX. LOT AREA: NO REGULATION
LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
PAVEMENT SETBACKS:
FRONT PAVEMENT: 5 FEET
SIDE PAVEMENT: 10 FEET
SIDE PAVEMENT: 10 FEET
CONSERVATION OVERLAY DISTRICT
WETLAND BUFFER: 50 FEET
ADJACENT PROTECTION OVERLAY DISTRICT
- 8) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SUMMER OF 2015 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND VERIFYING UTILITY LOCATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONDITIONS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 10) 1. HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD MAP - FEMA COMMUNITY - 330510, MAP# - 33010018D, DATED: MAY 17, 2005 & FEMA COMMUNITY - 330130, MAP# - 33010020D, DATED: MAY 17, 2005
- 11) SEE THE EXISTING CONDITIONS PLANS FOR LOCATIONS OF ON SITE WETLANDS AS Delineated BY DAVID BURT FALL 2014.
- 12) VOLUNTEERED OF ROOSTERS CURRENTLY PARKS APPROXIMATELY 120 CANS ON THE TWO PARCELS OF LAND.
- 13) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCTION W/AR UPSCALE AND IN A DIGITAL PDF FORMAT ON DISK TO THE CITY OF ROCHESTER AS OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.S. OR P.E.
- 14) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 15) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN 2014.
- 16) DATA: PROJECT DATA IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN JUNE 2014 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES
- 17) CONTRACTOR SHALL COMPLY ALL ELECTRICAL INSTALLATIONS WITH EXPOSURE AT (602) 438-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY ENGINEER PRIOR TO BACKFILL. A 48-HOUR WARNING NOTICE IS REQUIRED.
- 18) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FARMPORT COMMUNICATIONS AT (603) 427-9525.
- 19) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH METROCAST IF REQUIRED.
- 20) ALL NEW ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 21) THE SUBJECT PARCELS ARE SERVED BY MUNICIPAL SEWER AND INDIVIDUAL WELLS.
- 22) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- 23) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 24) PROTECTION OF SURFACE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEMATERED SURFACES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SURFACE DISTURBANCE MAY BE MITIGATED BY EXCAVATION METHODS, MASTERS PREVENTION, GRADUATED WATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBSIDENCE, DISTURBANCE, SUCH AS REDUCING WATER LEVELS, EXCAVATING CONSTRUCTION, MINOR ROAD DAMAGE, AND OTHER DISTURBANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. EXISTING HEAVY OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEERS SPECIFIED RECOMMENDED CRITERIA.

- 25) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W. OR HINDO R.O.W.), EXPOSED SUBGRADE ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN SUBGRADE. FILL SHALL BE REMOVED, OR A PROVEN SOIL CRUST AT THE COMPLETION OF FROST REMOVAL OPERATIONS. FILLING ELEVATION SHALL ALSO RECORD AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- 26) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN AND CLUMP OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- 27) SEE DETAILS CONCERNING SITE LANDSLIP, DRAINAGE, UTILITY AND SEWANT AND EROSION CONTROLS.
- 28) ALL EROSION CONTROL MEASURES SHALL INCLUDE EROSIONS FOR CONSTRUCTION, STOCKPILE, TEMPORARY EXPOSED CONTROLS, AND PERMANENT STOCKPILES. STOCKPILES SHALL BE SPECIFICALLY DESIGNED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MATTER WITH RATES OF APPLICATION. FILL/REX SOIL IS PERMITTED OVER THE USE OF SALT FENCE. FENCING IS TO BE USED ON SITE ONLY, AS REQ. AND DIRECTED BY THE SWPPP INSPECTOR.
- 29) ALL DRAINAGE PIPES TO BE USED 4-12" MINIMUM PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HORN PIPE "ORIGIN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
- 30) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BEYONDMARKS (TBM) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 31) UPON FINAL COMPLETION AND DES STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEARED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASH SHOPS AND FINAL VACUUM OF PONDUS PONDENT.
- 32) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEEDED WITH CONSERVATION MIX.
- 33) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK, AS APPLICABLE.
- 34) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS, AS MAY BE APPLICABLE.
- 35) A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE. ANY PRESENTED SHOULD INCLUDE THE OWNER OF RECORD, DESIGN ENGINEER, CONSTRUCTION MANAGER, CITY ENGINEER OR DESIGNEE, AND HEAD OF THE PLANNING DEPARTMENT OR DESIGNEE.
- 36) BUILDING ADDRESSES SHALL NOT CHANGE.
- 37) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY. (NOT APPLICABLE.)
- 38) LIST ANY VARIANCES OR SPECIAL CIRCUMSTANCES GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE: ARTICLE 42.8 SECTIONS C, SIDE YARDVIEW SETBACK, 42.12 b 2 TO ALLOW THE USE OF A 25' WIDE LOT IN THE CONSTRUCTION OVERLAY DISTRICT # 42.12 WITH 12' TO 14' AND DISTURBANCE WITHIN 25' OF THE CONSTRUCTION OVERLAY DISTRICT # 42.12 WITH 12' TO 14' AND DISTURBANCE TO A POROUS PLANTER INFILTRATION SYSTEM, CONDOVIAAL USE PERMITS TO BE REQUIRED FOR THE INSTALLATION OF ELECTRICAL CORDSET WITHIN THE CONSERVATION OVERLAY DISTRICT.
- 39) THIS PLAN PROPOSES 2,000 SQ. FT. OF DISTURBANCE.
- 40) CALL DGS SAFE PRIOR TO BEGINNING WORK - (1-800-344-7233).
- 41) WRITTEN DIVISION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 42) SNOW IS TO BE MOVED OFF-SITE. DICE SNOW STORAGE AREAS ARE FILL.
- 43) DUMPSTER IS LOCATED ON SITE FOR SOLID WASTE. WASTE OIL IS BURNED ON SITE. THERE ARE NO HAZARDOUS MATERIALS THAT ARE GENERATED ON SITE.
- 44) FOR MORE INFORMATION ABOUT THIS PROJECT, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAVERLY STREET, ROCHESTER, NH 03607. (603) 333-1124.

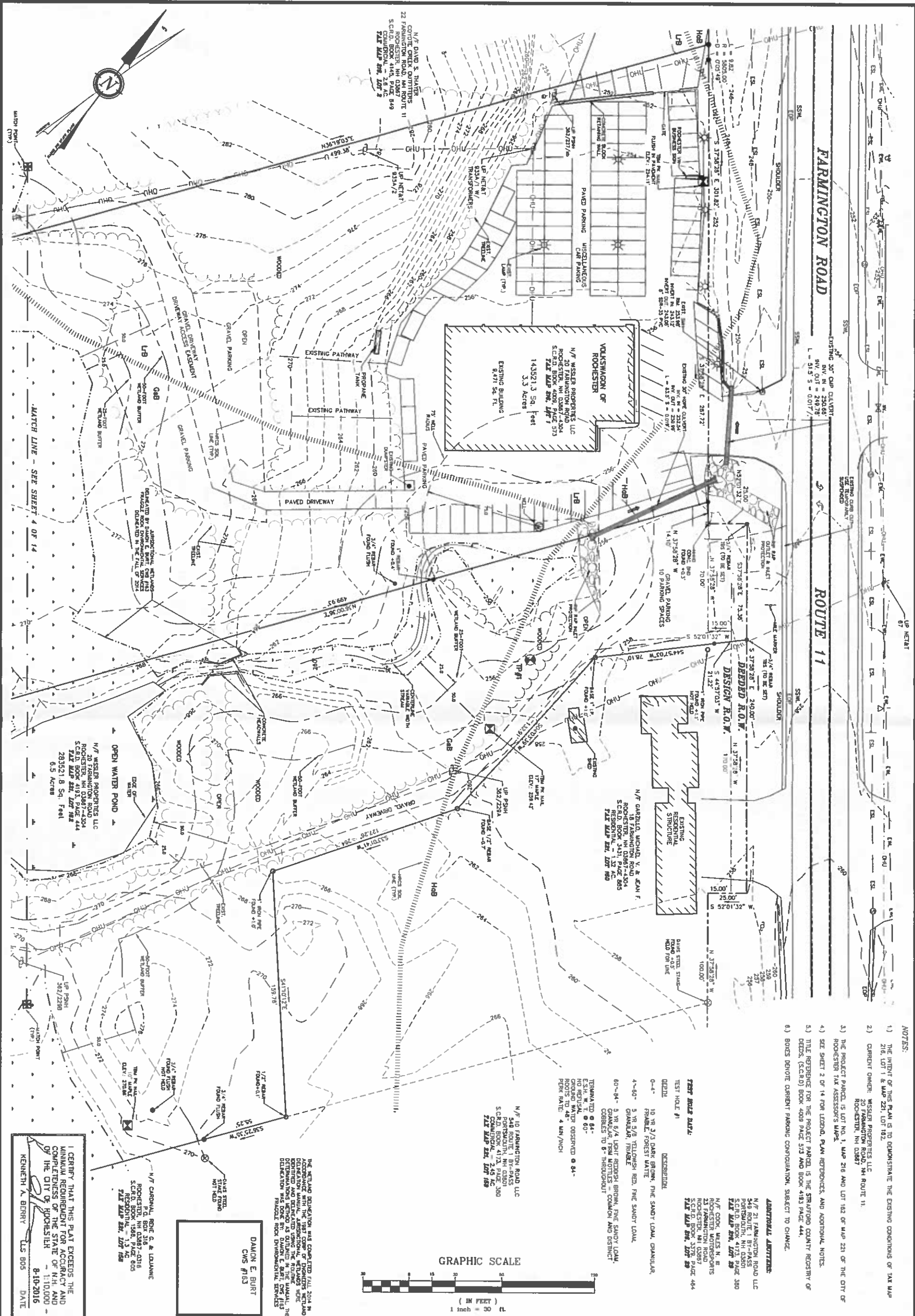
GENERAL NOTES

LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : NONE
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049



- NOTES:**
- 1) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 216, LOT 1 & MAP 221, LOT 162.
 - 2) CURRENT OWNER: WISSLER PROPERTIES LLC, 20 FARMINGTON ROAD, NH ROUTE 11, ROCHESTER, NH 03867
 - 3) THE PROJECT PARCEL IS LOT NO. 1, MAP 216 AND LOT 162 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - 4) SEE SHEET 2 OF 14 FOR LEGEND, PLAN REFERENCES, AND ADDITIONAL NOTES.
 - 5) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, (SCRD) BOOK 4008 PAGE 513 AND BOOK 4193 PAGE 444.
 - 6) BOXES DENOTE CURRENT PARKING CONVICTION, SUBJECT TO CHANGE.

ADDITIONAL NOTES:

N/F 21 FARMINGTON ROAD LLC
546 ROUTE 1 BY-PASS
PORTSMOUTH, NH 02801
S.C.D. BOOK 4173, PAGE 380
216 MAP 216, LOT 162
N/F COOK, WESLEY N. JR.
ROCHESTER WORKSPACES
133 FARMINGTON ROAD
ROCHESTER, NH 03867
S.C.D. BOOK 3378, PAGE 484
216 MAP 216, LOT 162

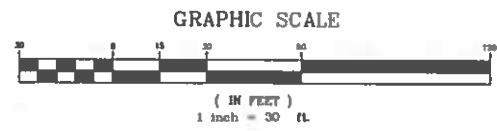
TEST HOLE DATA:

TEST HOLE #1

DEPTH:

- 0-4" 10 YR 3/3 DARK BROWN, FINE SANDY LOAM, GRANULAR, PROBABLE FOREST WASTE
- 4-60" 3 YR 5/6 YELLOWISH RED, FINE SANDY LOAM, GRANULAR, FRIBLE
- 60-84" 3 YR 6/4 LIGHT REDDISH BROWN, FINE SANDY LOAM, GRANULAR, FINE MOTTLING - COMMON AND DISTINCT COBBLES TO 8" THROUGHOUT

TERMINATED @ 84"
E.S.H. W. T. @ 60"
NO REFUSION OBSERVED @ 84"
ROOTS TO 44"
PEER RATE: 4 MIN/MCH



THE WETLAND Delineation was completed JULY 2014 in accordance with the 1987 CORP OF ENGINEERS WETLAND Delineation Manual. JURISDICTIONAL WETLANDS WERE DETERMINED USING METHOD 2 AS OUTLINED IN THE MANUAL. THE Delineation was done by: DAVON E. BURT, ONE FIVE THREE FARMINGTON ROAD, DRYDEN, NH 03825

DAVON E. BURT
CNS #163

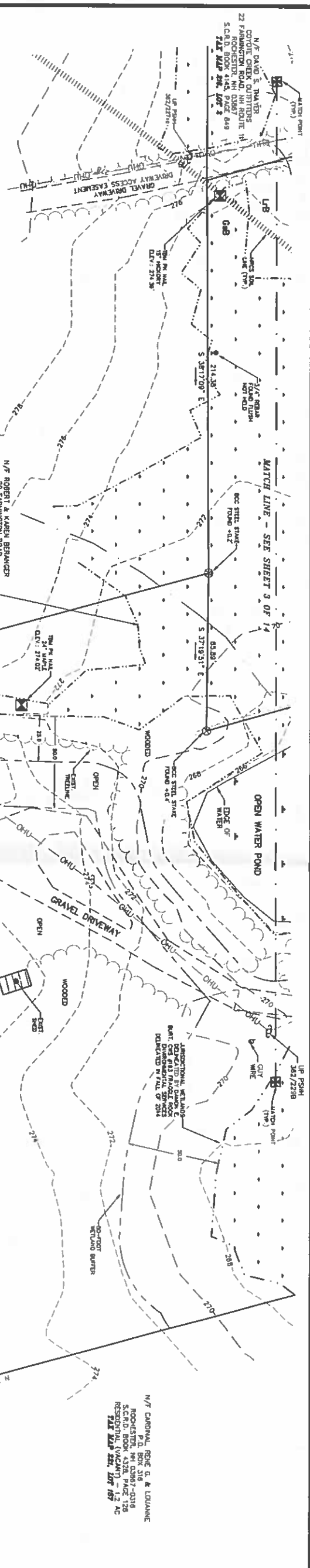
N/F CARROLL, ROSE G. & LORIANNE
20 FARMINGTON ROAD
ROCHESTER, NH 03867-0316
S.C.D. BOOK 1569, PAGE 905
216 MAP 216, LOT 162

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND BY THE CITY OF ROCHESTER 8-10-2016
KENNETH A. BERRY L.S. 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049

EXISTING CONDITIONS PLAN - NORTHEAST
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

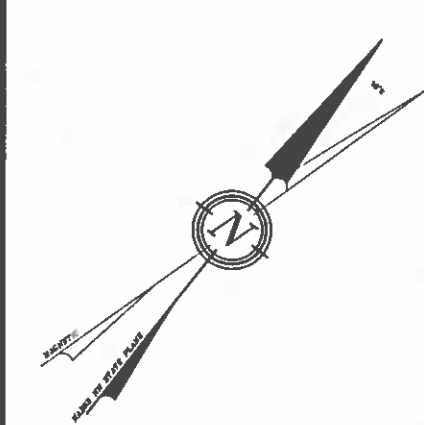
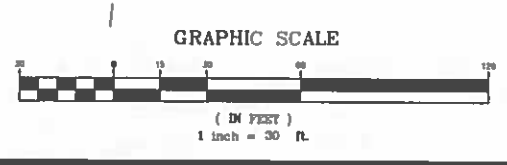
REVISION	DATE	DESCRIPTION



- NOTES:
- 1) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 216, LOT 1 & MAP 221, LOT 162.
 - 2) CURRENT OWNER: WSSLER PROPERTIES LLC, 20 FARMINGTON ROAD, ROUTE 11, ROCHESTER, NH 03867
 - 3) THE PROJECT PARCEL IS LOT NO. 1, MAP 216 AND LOT 162 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - 4) SEE SHEET 2 OF 14 FOR LEGEND, PLAN REFERENCES, AND ADDITIONAL NOTES.
 - 5) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STAFFORD COUNTY RECORDS OF DEEDS, (S.C.R.D.) BOOK 4009 PAGE 573 AND BOOK 4193 PAGE 444.

DAMON E. BURT
CWS #163

THE WETLAND DELINEATION WAS COMPLETED FALL 2014 IN ACCORDANCE WITH THE 1987 CORP. OF ENGINEERS WETLAND Delineation Manual. The delineation was performed using the methods outlined in the manual. THE DELINEATION WAS DONE BY: DAMON E. BURT, CWS #163 AND PHOTOREG ROCK DIMENSIONAL SERVICES



I CERTIFY THAT THIS PLAN EXCEEDS THE
MANUAL REQUIREMENTS FOR ACCURACY AND
COMPLETENESS OF THE STATE OF NH,
OF THE CITY OF ROCHESTER - 1:10,000 -
8-10-2016
KENNETH A. BERRY U.S. 803 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049

EXISTING CONDITIONS PLAN - SOUTHWEST
LAND OF WSSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION

FARMINGTON ROAD

ROUTE 11

NOTES:

- 1) THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED EASEMENT ON TAX MAP 221 LOT 162, TO BENEFIT TAX MAP 216, LOT 1 TO BE USED FOR DRAINAGE, GRADING, PARKING, LIGHTING, ELECTRICAL CONDUIT, AND LANDSCAPING.
- 2) CURRENT OWNER: WESSLER PROPERTIES LLC
20 FARMINGTON ROAD, NH 03867
ROCHESTER, NH 03867
- 3) THE PROJECT PARCEL IS LOT NO. 1 MAP 216 AND LOT 162 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4) SEE SHEET 2 OF 14 FOR LEGEND, PLAN REFERENCES, AND ADDITIONAL NOTES.
- 5) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, (SCRD) BOOK 4009 PAGE 573 AND BOOK 4193 PAGE 444.

ADDITIONAL NOTES:

N/F 21 FARMINGTON ROAD LLC
20 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 4173 PAGE 380
TAX MAP 221, LOT 162

N/F COOK, WILES N. &
ROCHESTER MOTORSPORTS
23 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 4173 PAGE 464
TAX MAP 221, LOT 162

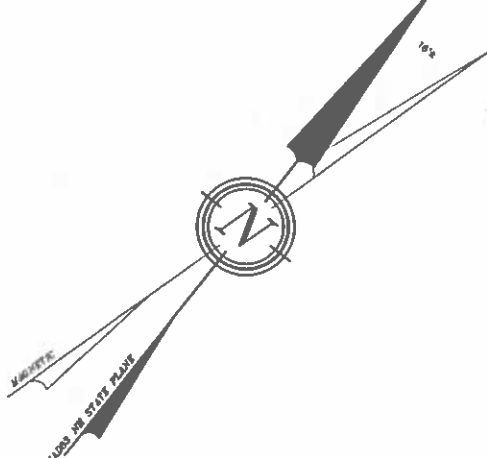
N/F GANZLE, MICHAEL V. & EMM F.
20 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 3431, PAGE 865
TAX MAP 221, LOT 160

PROPOSED EASEMENT AREA
FOR DRAINAGE,
GRADING, PARKING, LIGHTING,
ELECTRICAL CONDUIT, AND
LANDSCAPING
TOTAL AREA:
9,154.59 SQ. FT.
0.21 AC.

N/F WESSLER PROPERTIES LLC
20 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 4173 PAGE 380
TAX MAP 221, LOT 162

VOLUNTEER OF
ROCHESTER

N/F WESSLER PROPERTIES LLC
20 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 4173 PAGE 380
TAX MAP 221, LOT 162



I CERTIFY THAT THIS SURVEY PLAT IS NOT A
SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE
LINES OF STREETS AND WAYS SHOWN ARE THOSE OF
PUBLIC OR PRIVATE STREETS OR WAYS ALREADY
ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 005 DATE

I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

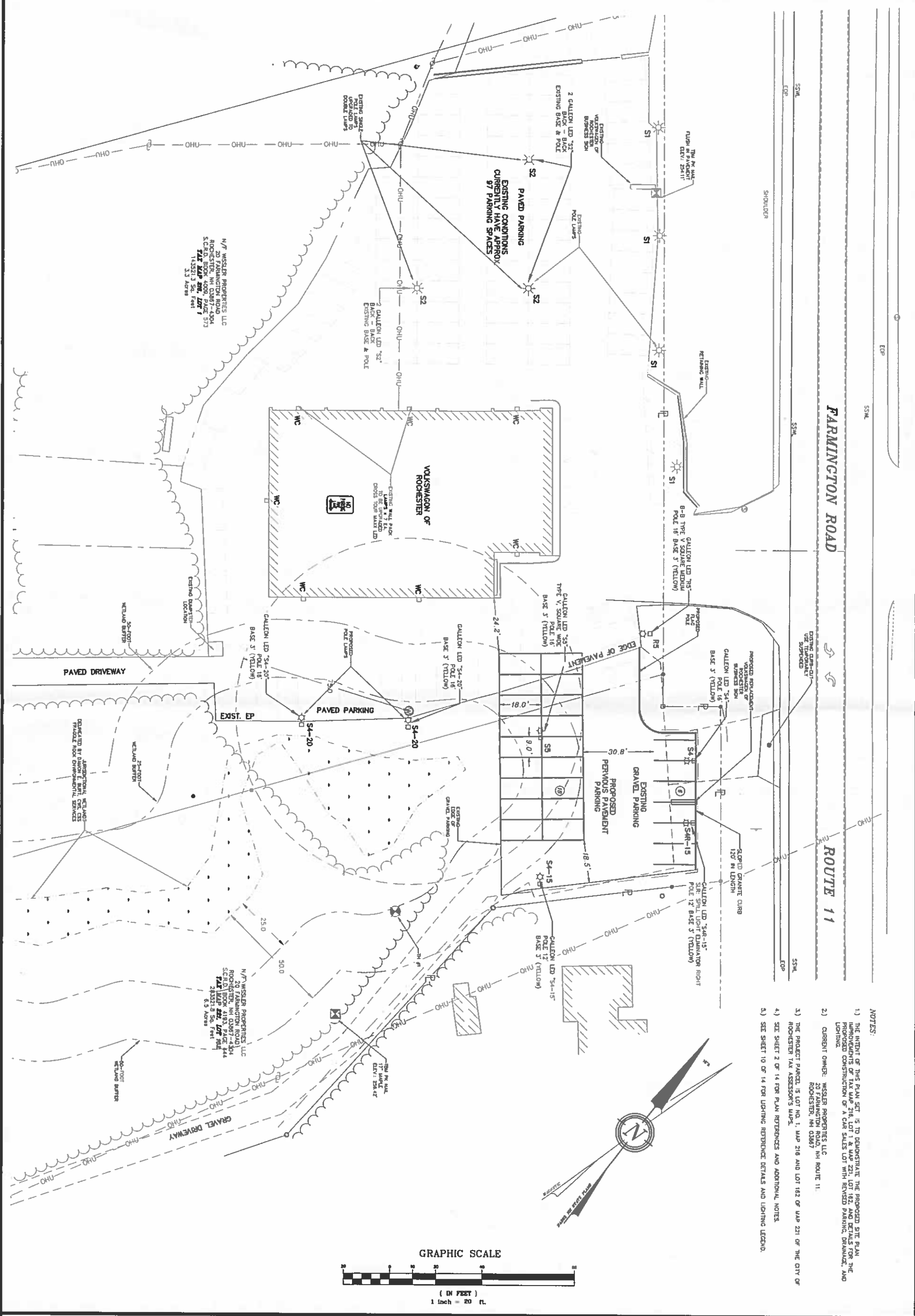
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 10 FT.
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049

EASEMENT PLAN
LAND OF WESSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION





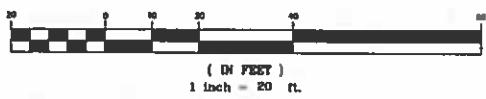
FARMINGTON ROAD

ROUTE 11

NOTES:

- 1) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE PROPOSED SITE PLAN IMPROVEMENTS OF TAX MAP 216, LOT 1 & MAP 221, LOT 162, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A COMBINATION LOT WITH REVERSED PARKING, DRIVEWAYS, AND UTILITIES.
- 2) CURRENT OWNER: WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, NH ROUTE 11
ROCHESTER, NH 03867
- 3) THE PROJECT PARCEL IS LOT NO. 1, MAP 216 AND LOT 162 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4) SEE SHEET 2 OF 14 FOR PLAN REFERENCES AND ADDITIONAL NOTES.
- 5) SEE SHEET 10 OF 14 FOR LIGHTING REFERENCE DETAILS AND LIGHTING LEGEND.

GRAPHIC SCALE



SHEET 6 OF 14

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

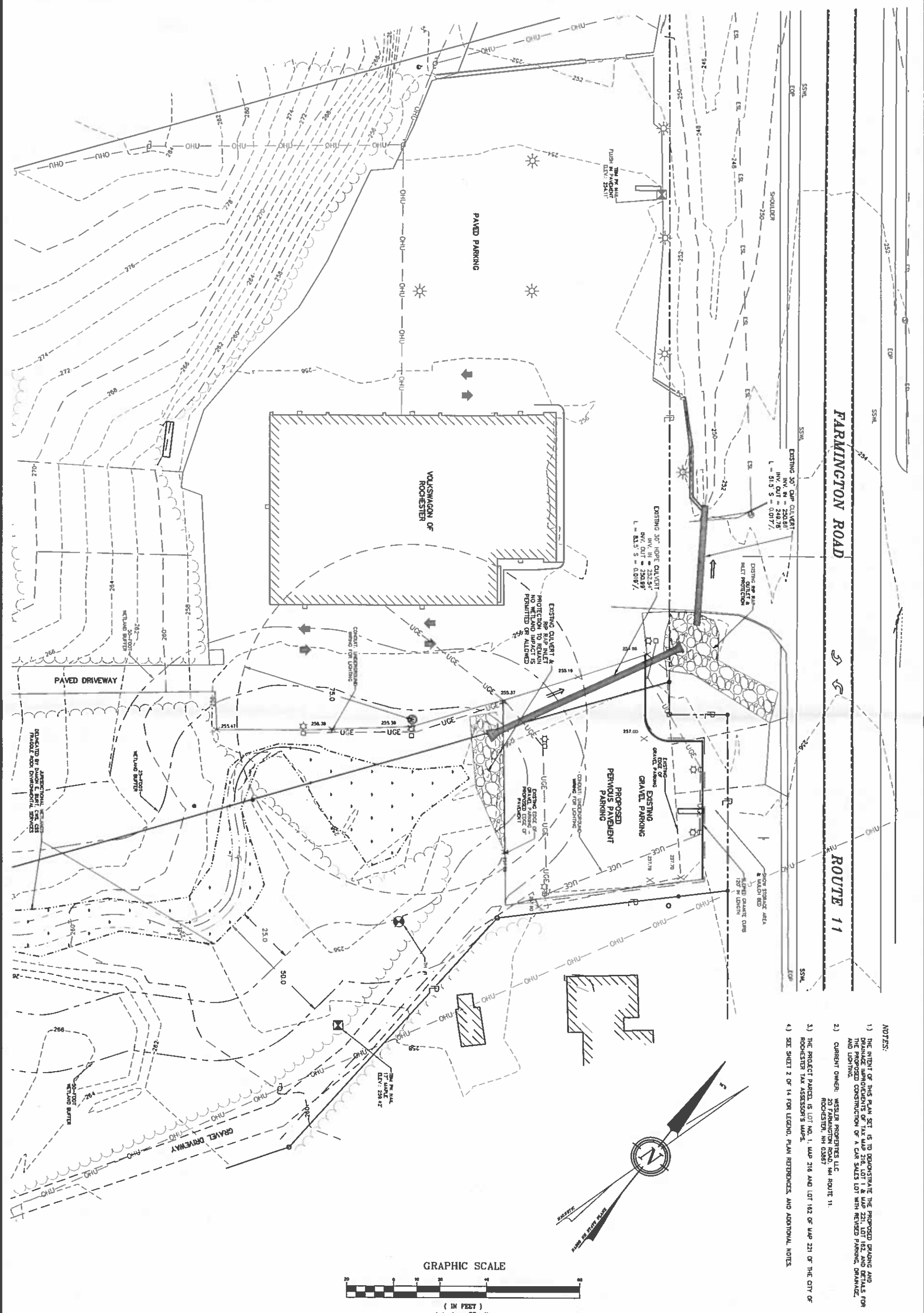
SCALE : 1 IN. EQUALS 20 FT.

DATE : AUGUST 10, 2016

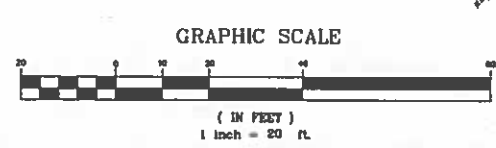
FILE NO. : DB 2015 - 049

PROPOSED SITE PLAN
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION



- NOTES:
- 1) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE PROPOSED GRADING AND DRAINAGE IMPROVEMENTS OF TAX MAP 216, LOT 1, MAP 221, LOT 162, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A CAR SALES LOT WITH REVED PARKING, DRAINAGE, AND LIGHTING.
 - 2) CURRENT OWNER: WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, RM ROUTE 11,
ROCHESTER, NH 03867
 - 3) THE PROJECT PARCEL IS LOT NO. 1, MAP 216 AND LOT 162 OF MAP 221 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - 4) SEE SHEET 2 OF 14 FOR LEGEND, PLAN REFERENCES, AND ADDITIONAL NOTES.



SHEET 7 OF 14

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : AUGUST 10, 2016

FILE NO. : DB 2015 - 049

PROPOSED GRADING & DRAINAGE PLAN
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION

	10 +/-	Cent.	6-7 Rd height
A	<i>Mulla scaberrima</i> Tiedg. ¹ / <i>Mulla</i> <i>Abnormis</i>	Cent.	6-7 Rd height
B	<i>Pyrus calleryana</i> Chentsew / <i>Chentsew</i> <i>Abnormis</i> pear	2 nd , 2 nd 2 nd Cult.	6-7 Rd height
C	<i>Fothergilla grandifolia</i> / <i>Diervilla</i> <i>foliolata</i>	Cent.	2 nd Ht. or 3 rd Cda.
D	<i>Tousi</i> = <i>meto</i> 'Green Wave' / <i>Green Wave</i> Yew	Cent.	2 nd Ht. or 3 rd Cda.

Item	Qty	Related Items / Common Items	Unit	Size	Remarks
A1	28	Depth Min : Minimums Big Time Happy / Dugally Minimums Mean Returns / Dugally	Cent	1 Col	16" OC
			Cent	1 Col	16" OC



ROUTE 11

1.) CURRENT OWNER: WISSLER PROPERTIES LLC
20 FARINGTON ROAD, NH ROUTE 11
ROCHESTER, NH 03867

- 3) PLAN INTENT: THIS LANDSCAPING PLAN HAS BEEN COMPILED TO DEMONSTRATE THE PROPOSED LANDSCAPING IN SUPPORT OF THE PROJECTS PAVEMENT INSTALLATION SYSTEM AND PARKING AREA.
- 4) CALL OF SITE FROM TOPOGRAPHIC MAPS (1-888-344-7373): THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING ANY AND ALL CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 5) CONTRACTOR SHALL PROVIDE 4" FILL/PAVEMENT THICKNESS WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING.
- 6) PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 7) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEMEN.
- 8) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 9) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE: PROPER MIX OF SOIL BED AND TREE PLANTING, PROPER PRUNING, STAKING OR CURING, WEEPING, SPACING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 10) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 11) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS TO PROTECT THEM FROM DAMAGE. ALL EXISTING TREES AND SHRUBS SHALL BE PROTECTED, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE GRASS LINE OF TREES OR THINLY FELT WHICH EVER IS GREATER.
- 12) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 13) ALL SHRUB BEDS AND TREE ENITS SHALL BE MULCHED WITH 4" CLEAN SCREENED ACED PINEBARK WHERE INDICATED ON PLAN. PLANTING SOIL MIXTURE FOR GRASS COVER AND PERENNIAL BEDS SHALL BE 50% TOP SOIL, 50% SCREENED PINEBARK. MULCH SHALL BE SUBSTITUTED WITH MULCH-SORTED OR DECOMPOSED MANURE OR COMPOST. MOTIONED BEDS TO A DEPTH OF 8 INCHES.
- 14) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACED/REPLANT MATERIAL SHALL BE GUARANTEED FOR ONE AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 15) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES ACCEPTED BY THE CONTRACTOR AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 16) THE GENERAL CONTRACTOR AND/OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE CUTTING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 17) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS PER ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UREAN 75% CATION OF TURF IS REQUIRED FOR ACCEPTANCE.
- 18) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 19) SHRUBS OR TREES WHICH DO NOT BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 20) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER MONTHS.
- 21) THESE ARE TO BE 0' TALL AT PLANTING
- 22) 1" LEAD BARRIER WOOD AND A 3/4" LEAD BARRIER (7'-0" HIGH FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO SHRUB AND GRASS COVER BEDS. INSTALLED BARRIER IS PER ALL FACTORS AND RECOMMENDATIONS.
- 23) PLANT-PIIT BARK-MULCH SHALL BE LAYED AT A RATE OF 7 PANTS OF TOPSOIL TO 2 PARTS OF DEEPERATED BARK-MULCH. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING BARKS (E.G.SOL) AS PART OF BACK-FILL WHEN AVAILABLE.
- 24) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GRASS/COVER SHALL BE RESTORED WITH LOAM AND SEED.
- 25) TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
- 26) ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

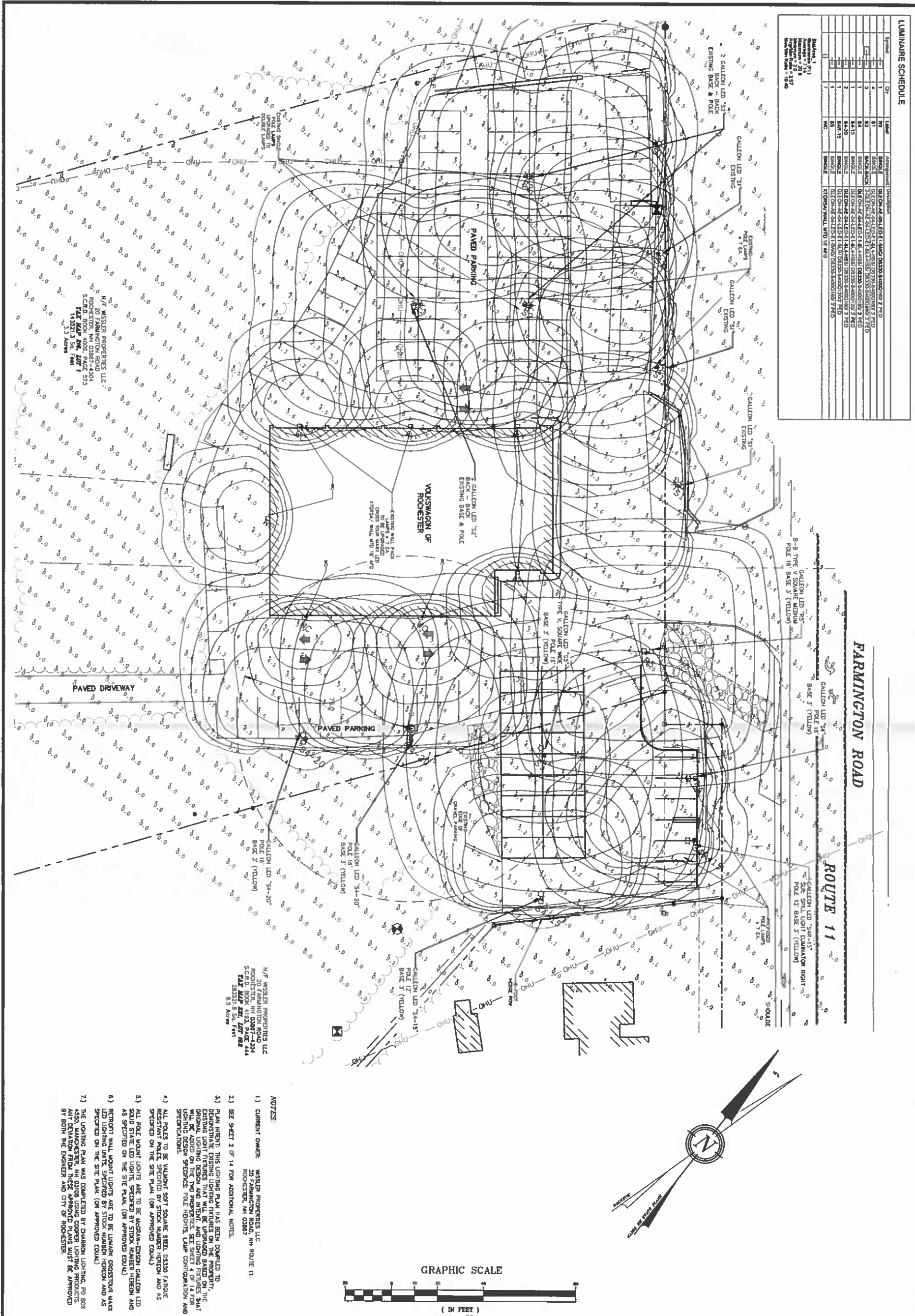
SHEET 9 OF 14

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049

PROPOSED LANDSCAPING PLAN
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION


LUMINAIRE SCHEDULE			
Symbol	Qty	Label	Replacement Luminaire
1	4	S1	SHOULDER
2	4	S2	SHOULDER
3	4	S3	SHOULDER
4	4	S4	SHOULDER
5	4	S5	SHOULDER
6	4	S6	SHOULDER
7	4	S7	SHOULDER
8	4	S8	SHOULDER
9	4	S9	SHOULDER
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100	4	S100	SHOULDER



REVISION	DATE	DESCRIPTION

PROPOSED LIGHTING PLAN
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

SHEET 10 OF 14



BERRY SURVEYING & ENGINEERING

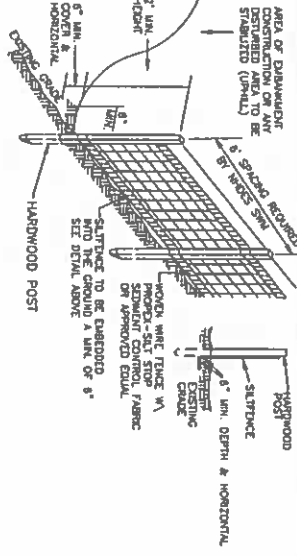
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : AUGUST 10, 2016

FILE NO. : DB 2015 - 049

E1



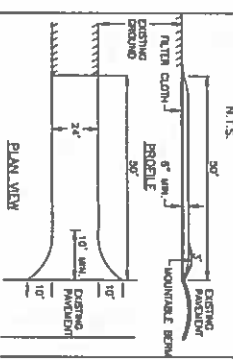
SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MINIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
 2. FENCE SECTIONS SHALL BE JOINED TOGETHER BY OVERLAPPING THE ENDS OF THE FABRIC AND SECURING WITH STAPLES OR WIRE TIES. FENCE SHALL BE EMBEDDED INTO GROUND BY PASSING SEDIMENT FROM BY-PASSING.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF SEE MAINTENANCE NOTE BELOW. REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
 4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 5. FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
 6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
- SILT FENCE MAINTENANCE
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME WEARIED DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
 4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL

NOT TO SCALE

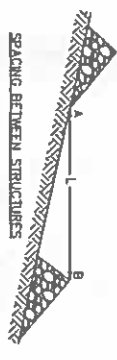
E5 STABILIZED CONSTRUCTION ENTRANCE



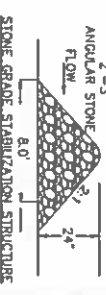
1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE.
2. FOR A STONE ENTRANCE, THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET EXCEPT FOR A SHORT RESURFACING LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE DRIVEWAY WHERE WIDENESS OR DECREASE OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. SEDIMENT FILTER CLOTH SHALL BE EMBEDDED INTO THE GROUND A MINIMUM OF 8" AND BE SECURED TO THE STONE WITH STAPLES OR WIRE TIES.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERSED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PREVENTED BY THE ENTRANCE. IF PAVING IS IMPRACTICAL, A BERM WITH A 1:1 SLOPE SHALL BE CONSTRUCTED TO PREVENT FLOWING TOWARD THE CONSTRUCTION ENTRANCE.
7. THE SEDIMENT ONTO A STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED AND DISPOSED AS DIRECTED BY THE ENGINEER. SEDIMENT SHALL BE WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STONE CHECK DAM

L= THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.



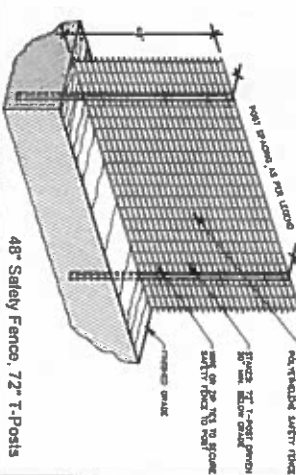
- 1) CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH
- 2) THE MANHOLE CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
- 3) THE MANHOLE HEIGHT OF THE DAM SHOULD BE TWO FEET LONGER THAN THE DRAIN EDGES.
- 4) THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LONGER THAN THE DRAIN EDGES.
- 5) THE MANHOLE SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
- 6) CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
- 7) TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.



E2 CONSTRUCTION SAFETY FENCE

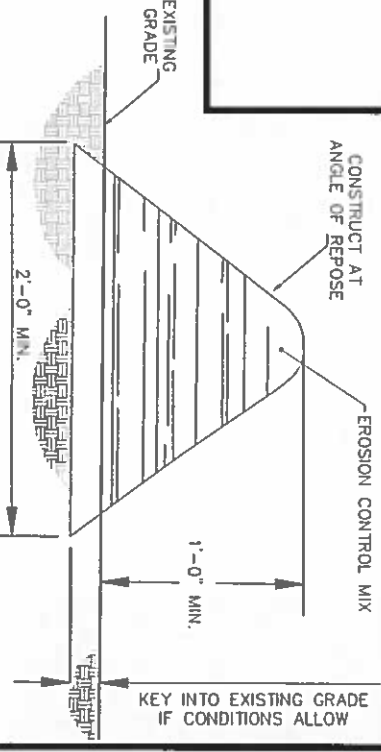
NOT TO SCALE

LEGEND	
SALT 1	48" ORANGE FENCE, 12 FEET O.C.
SALT 2	48" ORANGE FENCE, 11 FEET O.C.
SALT 3	48" ORANGE FENCE, 10 FEET O.C.
SALT 4	48" ORANGE FENCE, 9 FEET O.C.
SALT 5	48" ORANGE FENCE, 8 FEET O.C.
SALT 6	48" ORANGE FENCE, 7 FEET O.C.
SALT 7	48" ORANGE FENCE, 6 FEET O.C.
SALT 8	48" ORANGE FENCE, 5 FEET O.C.



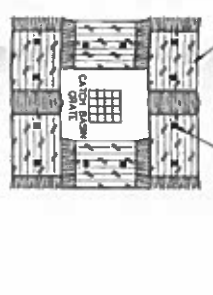
E6 EROSION CONTROL MIX BERM

CONSTRUCT AT ANGLE OF REPOSE



- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
- (A) BERMS SHALL BE USED IN AREAS WHERE EROSION HAS OCCURRED ONLY IN THE FORM OF SHEET ABOVE THE BERM.
 - (B) THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 - (C) THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 4:1.
 - (D) SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDED WOOD, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
 - (E) WOOD AND BARK CHIPS, GRASS, CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL BE USED ONLY IF THEY ARE FIBROUS AND ELONGATED.
 - (F) THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
 - (G) THE MIX SHALL BE BETWEEN 5.0 AND 8.0.
 - (H) THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.

E3



NOTE: BULGES TO REMAIN UNTIL SUBBASE PREPARATION IS COMPLETE AND PAVING IS TO BEGUN OR UNTIL ALL UPSTREAM AREAS ARE STABILIZED WITH VEGETATION.

FOR STRAW OR HAY BALE BARRIERS

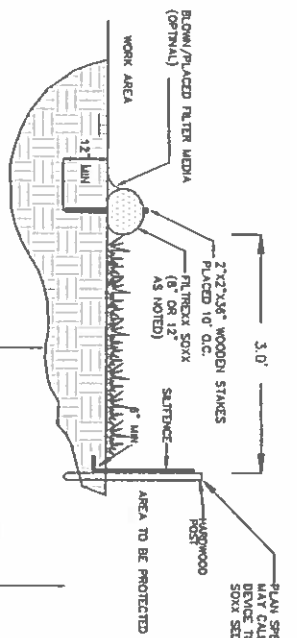
CONSTRUCTION SPECIFICATIONS

1. STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT THE STRUCTURES SHALL NOT BE DAMAGED OR DESTROYED.
3. WHEN THE SOIL BARRIER STRUCTURES ARE USED, THE NUMBER SHALL EXTEND AT LEAST 16 BONES INTO THE SOIL.
4. BONES FOR RIGID BARRIER BULGES SHALL BE 16 BONES INTO THE SOIL.
5. SEDIMENT REMOVAL AND MAINTENANCE SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATE VEGETATION SUP.
6. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR UTILITY LIFE HAS BEEN COMPLETED.

SEDIMENT CONTROL AT CATCH BASINS

NOT TO SCALE

E4



SILT SOX/SILT FENCE DETAIL

NOT TO SCALE

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL, WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOX APPLICATIONS, THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOX.

E8 TEMPORARY EROSION & SEDIMENT CONTROL MEASURES

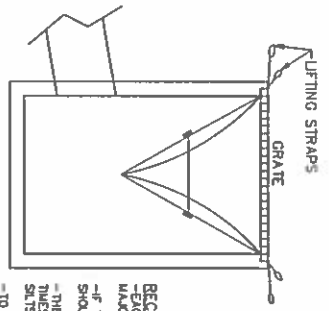
1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DETERMINED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF MULCH AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE FEET OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE RESTORATION WITHIN 45 DAYS, AT ANY ONE TIME, NO MORE THAN 5 ACRES. (217,600 SQ. FT.) WILL BE RESTORED.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL, SMOOTHED AND RE-VEGETATED.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL, SMOOTHED AND RE-VEGETATED.
7. PER THE EPA CDP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL, INSPECTIONS AND SWEEP PREPARED BY BERRY. ALL DAMAGED AREAS SHALL BE REPAIRED WEEKLY AND WITHIN 24 HOURS AFTER 0.5" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DRAINAGE RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT, IF POSSIBLE. IF TRAFFIC IS REQUIRED, THE SURFACES SHALL BE COVERED WITH A MINIMUM OF 4" OF MULCH AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE FEET OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
10. DRIVEWAYS AND CUT AND FILL SPORES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
 - 11.1. A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - 11.2. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RAP RAP HAS BEEN INSTALLED, OR
 - 11.3. EROSION CONTROL BARRIERS HAVE BEEN INSTALLED.
12. THIS PROJECT IS TO BE MAINTAINED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE INCHES STORMWATER MANUAL, IN THEIR VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN.

BLOCK & GRAVEL DROP INLET SEDIMENT FILTER

NOT TO SCALE

TO BE USED IN ALL AREAS WHERE THERE WILL BE NO TRAFFIC.

E11



SILTSACK DETAIL

NOT TO SCALE

E-101

35481 Goffen Eastern Rd | Goffen, OH 44044
440-825-2807 | fax: 440-926-4021
BERRYENGINEERING.COM
OR APPROVED EQUAL

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : AS MARKED
DATE : AUGUST 10, 2016
FILE NO. : DB 2015 - 049

KENNETH A. BERRY
No. 12045
REGISTERED PROFESSIONAL ENGINEER - 38 E

SEDIMENT AND EROSION CONTROL DETAILS
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

REVISION	DATE	DESCRIPTION

The diagram illustrates a cross-section of a road pavement structure. The vertical axis represents elevation in feet, with existing and proposed levels marked on both sides. The horizontal axis represents the road surface, with a dashed line indicating the 'SURFACE TO FOLLOW EXISTING CONTOUR'. The structure consists of several layers, each with a specific material and thickness. The layers are labeled as follows:

- 4" PERVIOUS PAVEMENT (UNIRC 2007S AS UPDATED)**: 254.66' (Existing), 254.67' (Proposed)
- 1" CRACKER COURSE**: 254.35' (Proposed)
- 3" 1/2" CRACKER LAYER**: 254.35' (Proposed)
- 1" HOT 702 #2**: 254.35' (Proposed)
- VARIABLE DEPTH FILTER COURSE**: 254.35' (Proposed)
- 1" 1/2" CRACKER LAYER**: 254.35' (Proposed)
- 13.50" MINIMUM DEPTH**: 254.35' (Proposed)
- 48" MAXIMUM DEPTH**: 254.35' (Proposed)
- SEE GRADING PLAN**: 254.35' (Proposed)
- 3" FILTER BLANKET**: 253.20' (Proposed)
- 3/8" PEA GRAVEL**: 253.20' (Proposed)
- 1" HOT 702 #2**: 253.20' (Proposed)
- 6" RESERVOIR COURSE**: 252.95' (Proposed)
- 3" 1/4" WASHED CRUSHED STONE**: 252.95' (Proposed)
- 1" HOT 702 #2**: 252.95' (Proposed)
- GEOTECHNICAL FABRIC**: 252.45' (Proposed)
- MINIMUM**: 252.45' (Proposed)
- PAVEMENT MATERIAL**: 252.45' (Proposed)

The diagram also includes a note: 'APPROX. 5.4 W.T. 250.0'.

PERVIOUS BITUMINOUS CONCRETE PAVEMENT SECTION

Number of leafy twigs	% Within	Standard error (SE)	Distance from twigs	Weight of twigs (mg)	PM content (%)
1-4	15.1 ± 7.2 ^a (11.0 twigs)	17.4 ± 3.0 ^a (12.0 twigs)	19.0 ± 2.2 ^a	0.36	
5-9	21.8 ± 7.7 ^a (17.0 twigs)	5.0 ^a (12.0 twigs)	6.1 ^a	1.00	
≥ 10	27.6 ± 7.7 ^a (22.0 twigs)	1.7 ^a (22.0 twigs)	5.4 ^a	1.07	
3-10	23.3 ± 6.0 ^b (10 twigs)	1.6 ^a (10 twigs)	7.0 ± 0.4 ^b	1.12	

COOPER LIGHTING GALLEON LED AREA / SITE LUMINAIRE
HOT TO SCALE

SEE ADDITIONAL LIGHTING NOTES IN DETAIL C6

ELECTRICAL, TELEPHONE, AND GAS TRENCH
NOT TO SCALE

PARKING SPACE DETAIL
NOT TO SCALE

CURB AT PARKING LOT ISLANDS AND ADJACENT TO SIDEWALKS OR 4" WHITE PAINT LINE IN NON-CURBED DOUBLE PARKING BAYS

WHITE TRAFFIC PAINT LINE

- 1.) PROVIDE TWO COATS OF PAINT ON ALL PARKING LINES.
- 2.) SEE PROPOSED SITE PLANS FOR LOCATION OF PARKING SPACES.
- 3.) PAINTED SPACES ONLY WHERE MARKED ON SITE PLAN

65

LIGHTING NOTES

- 4.) ALL POLES TO BE VALUANT SQT SQUARE STEEL D35X30 FINISH RESISTANT POLES, SPECIFIED BY STOCK NUMBER HEREIN AND AS SPECIFIED ON THE SITE PLAN. (OR APPROVED EQUAL)
- 5.) ALL POLE WAGON JOINTS ARE TO BE MURRAY-DIXON GALETON LTD SOLID STATE LED LIGHTS, SPECIFIED BY STOCK NUMBER HEREIN AND AS SPECIFIED ON THE SITE PLAN. (OR APPROVED EQUAL)
- 6.) RETROFIT WALL MOUNT LIGHTS ARE TO BE LUAMAR CROSS-TORR MAX LED LIGHTING UNITS, SPECIFIED BY STOCK NUMBER HEREIN AND AS SPECIFIED ON THE SITE PLAN. (OR APPROVED EQUAL)
- 7.) THE LIGHTING PLAN WAS COMPLETED BY CHARRON LIGHTING, PO BOX 4500, MANICHESTER, MN 55045 USING COOPER LIGHTING PRODUCTS. ANY DEVIATION FROM THESE APPROVED PLANS MUST BE APPROVED BY BOTH THE ENGINEER AND CITY OF ROOSEVELT.

Technical drawing of a steel pole foundation showing cross-section and elevation views with dimensions and labels.

Labels and Dimensions:

- 3/4" x 8' DRIVEN GROUND ROD WITH #9 CU. GROUND**: Label for the ground rod.
- MIN.**: Label for the minimum distance between rods.
- 1'-6"**: Dimension for the height of the pole above ground.
- 5'-0"**: Dimension for the height of the pole above ground.
- 2'-0"**: Dimension for the height of the pole above ground.
- LINE OF GRADE OR PAVING**: Label for the ground level.
- ELECTRICAL FEED TO LIGHT POLE, REFER TO PANEL SCHEDULE FOR SIZES, SCHEDULES AND CONDUCTORS**: Label for the electrical feed.
- ANCHOR BOLTS, 4 RECD.**: Label for the anchor bolts.
- STEEL POLE**: Label for the pole.
- SEE SITE PLAN FOR TOTAL HEIGHT**: Label for the total height.
- STEEL BASE PLATE, 1/2" THICK, WELD TO COLUMN**: Label for the base plate.
- 18" DIAMETER CONCRETE FOUNDATION, SONATUBE (REMOVE FORM AFTER CONCRETE HAS SET) (SONATUBE HAS SET) 4" BARS AND #5 TIES AT 12" ON CENTER**: Label for the foundation.

LIGHT BASE DETAIL

SCALE: NONE

SEE ADDITIONAL LIGHTING NOTES IN DETAIL. C

[illegible]

**XTON
CROSTON
MAXX LEE**

COOPER LIGHTING CROSSTOUR MAXX LED WALL LIGHTING

NOT TO SCALE

C-101

SHEET 115 OF 115

CONSTRUCTION DETAILS
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE :	AS MARKED
DATE :	AUGUST 10, 2016
FILE NO. :	DB 2015 - 049

REFERENCE IS MADE TO A
LONG TERM MAINTENANCE
MANUAL PREPARED BY BERRY
SURVEYING & ENGINEERING,
WHICH IS ON FILE AT THE
CITY OF ROCHESTER
PLANNING DEPARTMENT, AND
CAN BE FOUND AT THE
OFFICE OF BERRY SURVEYING
& ENGINEERING. (603)
1352-2863

DESCRIPTION

DATE _____

REVISION

L1

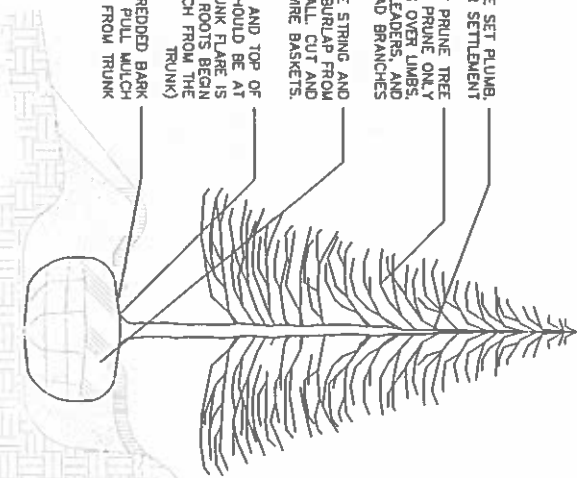
TREE TO BE SET PLUMB,
AFTER SETTLEMENT

DO NOT HEAVILY PRUNE TREE
AT PLANTING PRUNE ONLY
AT CROSS OVER LIMBS,
CO-DOMINANT LEADERS, AND
DAMAGED OR DEAD BRANCHES

REMOVE STRING AND
BURLAP FROM
ROOTBALL CUT AND
REMOVE WIRE BASKETS.

TRUNK FLARE AND TOP OF
ROOTBALL SHOULD BE AT
GRADE (TRUNK FLARE IS
WHERE THE ROOTS BEGIN
TO BRANCH FROM THE
TRUNK)

3" SHREDED BARK
MULCH, PULL MULCH
BACK 4" FROM TRUNK

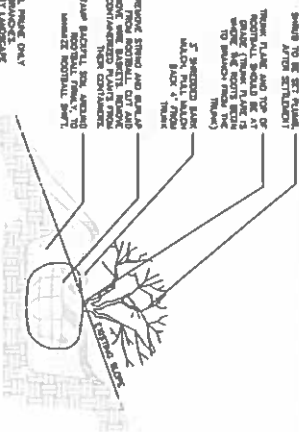


VARIES
3X ROOTBALL DIAMETER MIN.

- NOTES:
- DO NOT STAKE EVERGREEN TREES.
 - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 - TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.

EVERGREEN TREE PLANTING

L4



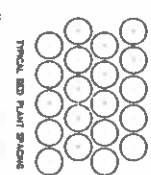
- NOTE:
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 - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 - TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.

TYPICAL SHRUB PLANTING

12" LOAM BACKFILL (COMPOSTED
SHOULD BE USED)



TYPICAL PERENNIAL PLANTING



NOTE:
DO NOT STAKE PERENNIALS
OR PLANT SPACING (BASED ON
SPECIFICATIONS IS INDICATED BY PLAN)

L7

L2

NEVER CUT LEADER
AFTER SETTLEMENT

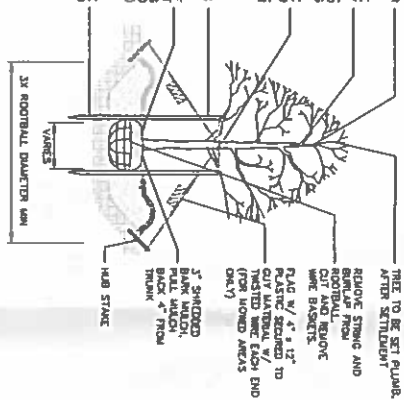
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TO BRANCH FROM THE
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3" SHREDED BARK
MULCH, PULL MULCH
BACK 4" FROM TRUNK

STAKE TO BE SET PLUMB,
AFTER SETTLEMENT

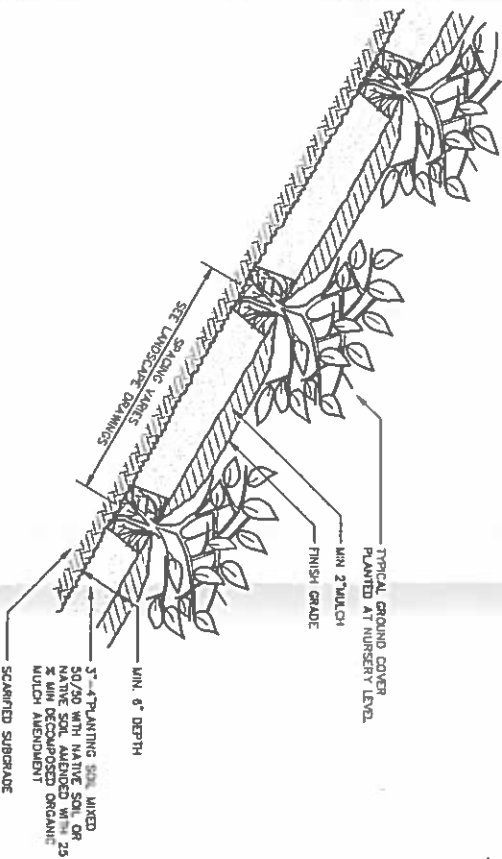


- NOTES:
- CUTTING AND STAKING TO BE DETERMINED BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL BE CONSIDERED IN THE DETERMINATION OF STAKING.
 - TYPICALLY ONLY TREES WITH A 3" OR GREATER CULM NEED TO BE STAKED. TREES WITH LESS THAN A 3" CULM NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
 - ONE-WAY TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
 - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
 - CITY TREES PLANTED TO PRIVATE PROPERTY, ADJACENT TO PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 3 FEET FROM THE EDGE OF THE CITY SIDEWALK.

DECIDUOUS TREE PLANTING

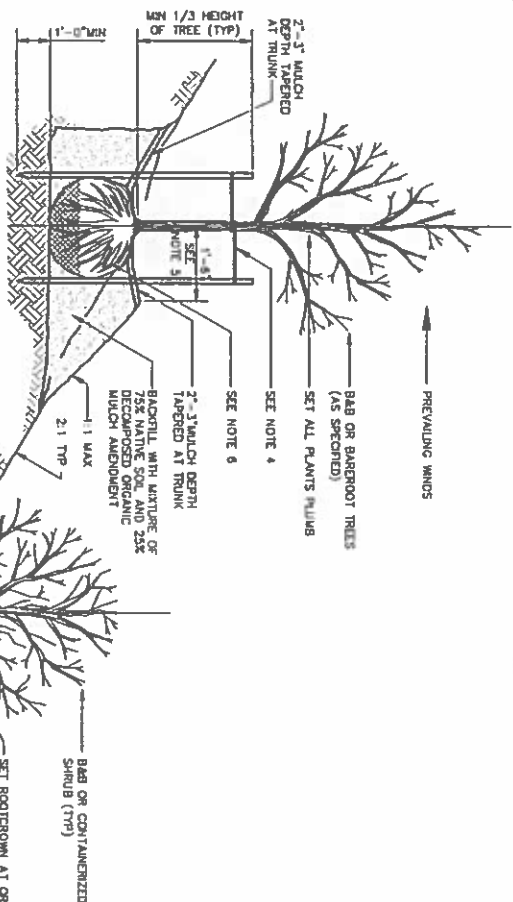
TYPICAL SLOPE COVER PLANTINGS

L8



L5

L3



TREE PLANTING ON SLOPES

- NOTES:
- PLANT TREES PER STD PLAN NO 100.
 - ONE STAKE PER TREE ON SHOULDER SIDE.
 - SLOPES STEEPER THAN 2:1 MAY REQUIRE AN IMPROVED EROSION CONTROL SYSTEM TO PREVENT SOIL LOSS.
 - PRECAST CONCRETE WALL UNITS.
 - UNSTAKED SLOPE RETENTION UNITS.
 - CHARLOCK TREE THE LOOP EACH BE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
 - SHAPE SOIL TO PROVIDE 3" DIAMETER OR MORE OF MULCH, WHICHEVER IS GREATER.
 - REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

L6

L9

L-101

REVISION	DATE	DESCRIPTION

LANDSCAPING DETAILS
LAND OF WISSLER PROPERTIES LLC
20 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 1 & MAP 221 LOT 162

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
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SHEET 14 OF 14