



NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only: Check # _____ Amount \$ _____ Date paid _____]

Date: _____ Is a conditional use needed? Yes: ☒ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 111; Lot #'s): 48; Zoning district: Residential 1

Property address/location: Eastern Avenue, Rochester, NH 03867

Name of project (if applicable): Monarch School Site Plan

Size of site: 8.83 acres; overlay zoning district(s)? N/A

Property owner

Name (include name of individual): Harold & Josephine Jacobs

Mailing address: 518 Portland Street, Rochester, NH 03867

Telephone #: _____ Email: _____

Applicant/developer (if different from property owner)

Name (include name of individual): The Monarch School of New England (Diane Bessey)

Mailing address: P.O. Box 1921, Rochester, NH 03867

Telephone #: (603) 235-0932 Email: dbessey@monarchschoollne.org

Engineer/designer

Name (include name of individual): CLD Consulting Engineers, Inc. (Rick Lundborn)

Mailing address: 316 U.S. Route 1, York, ME 03909

Telephone #: (207) 363-0669 Fax #: (207) 363-2384

Email address: RickL@cldengineers.com Professional license #: 10943

Proposed activity (check all that apply)

New building(s): ☒ Site development (other structures, parking, utilities, etc.): ☒

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: ☒

(Continued Nonresidential Site Plan application Tax Map: 111 Lot: 48 Zone R1)

Describe proposed activity/use: The proposed site includes two new 12,000+/- square foot school buildings, parking area, site access, utilities, landscaping and stormwater management.

Describe existing conditions/use (vacant land?): The current undeveloped lot is used as a hay field by the owners. A portion of this lot is being donated to the Monarch School to provide a new school site.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? ±380 feet

City sewer? yes ☒ no ☐; How far is City sewer from the site? ±380 feet

If City water, what are the estimated total daily needs? unkown gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? Rain Garden and Gravel Wetland and ultimately to on-site wetland

Building information

Type of building(s): School buildings

Building height: < 35-ft Finished floor elevation: 269.50 and 267.36

Other information

parking spaces: existing: 0 total proposed: 92; Are there pertinent covenants? ☐

Number of cubic yards of earth being removed from the site 0

Number of existing employees: 0; number of proposed employees total: 72

Check any that are proposed: variance ☐; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? N; area to be filled: ; buffer impact? yes

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	bldg1=12,082-sf, addition1=2,618-sf garage1=1,972-sf, bldg2=12,840-sf garage2=1,248-sf	7.97
Parking and vehicle circulation	parking=53,493 10-sf sidewalk=11,694 60-sf b-ball court=2,350-sf	17.56
Planted/landscaped areas (excluding drainage)	83,293-sf	21.66
Natural/undisturbed areas (excluding wetlands)	88,237-sf	22.94
Wetlands	102,419-sf	26.64
Other – drainage structures, outside storage, etc.	12,429.30-sf	3.23

(Continued Nonresidential Site Plan application Tax Map: 111 Lot: 48 Zone R1)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Waiver to Chapter 50 (c)(2)(A). We have attached a written waiver to Chapter 50(c)(2)(A) with
this application.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: 

Date: 3/3/16

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: See Conditional use Application



March 7, 2016

Mr. Seth Creighton, City Planner
City of Rochester
31 Wakefield Street
Rochester, New Hampshire 03867

Re: Monarch School of New England
Eastern Avenue
Tax Map 111, Lot 48
Preliminary Site Review Permit Application
CLD Reference: 15-0225

Dear Mr. Creighton:

On behalf of the Monarch School of New England, CLD Consulting Engineers Inc. is submitting a Site Review Application for a proposed site plan, on a lot to be subdivided from Tax Map 111 Lot 48, owned by Harold and Josephine Jacobs.

The project site is located off Eastern Avenue, within the Residential 1 (R-1) Zone. The lot being created for the school is 8.83 acres in size and is currently part of the fields owned by the Jacobs Family. The Monarch School of New England serves students that are developmentally handicapped; both physically and mentally. This application proposes to construct two (2) schools in a phased manner.

The first phase will consist of a 12,082-sf, 1-story school for high school aged students. The phase 1 school is designed to be expanded, with an additional 2,618-sf in the future, if needed. Phase 1 will also include a 6-bay garage for storing the schools vans, lawn equipment, etc. 72 parking spaces will be constructed as part of phase 1; all but fourteen (14) of these spaces are either to the side or rear of the school building and all of them are behind the garage. Phase 1 will also include the construction of all of the stormwater control and treatment structures for both phases of the project. The design team felt it was important for the Monarch School to set aside all of the space necessary to properly treat and control their stormwater now so that they would not be required to re-design these features in the future.

The work proposed as phase 2 is not foreseen to be constructed for some time. Phase 2 consists of constructing a second school for the elementary school aged students that are currently attending school a short distance away at the Monarch School on Eastern Avenue. The phase 2 school building will be 12,840-sf in size. Along with the school in phase 2, a cul-de-sac drop off drive, 20 additional parking spaces and a 4-bay garage are proposed. The stormwater design that is proposed for phase 1 is designed to control and treat the runoff from phase 2.

Both phases of the project will be served by municipal water and sewer and it is foreseen that the school will be served by either propane or oil for heat and hot water. New underground utility lines will be installed to service the property. Signage will be located at the entrance on Eastern Avenue, in accordance with the Rochester Sign Ordinance. Site lighting will be designed with full cut-off fixtures, to be dark skies compliant, and to meet the City of Rochester lighting regulations.

Mr. Seth Creighton
CLD Reference No. (15-0225)
March 7, 2016
Page 2 of 2



Currently the area being proposed for development is predominantly a mowed hayfield; some limited cutting of trees will occur.

I look forward to the opportunity to present this project to the Planning Board at the next available meeting. If you have any questions, please do not hesitate to contact me at (207) 363-0669 x314 or rickl@cldengineers.com.

Very truly yours,

Richard R. Lundborn, P.E.

RRL;kb

Enclosures

**Monarch School of New England
Eastern Avenue, Rochester, NH 03868
Tax Map 111, Lot 48**

Waiver Request

March 7, 2016

Stormwater Management and Erosion Control Regulations

The following summarizes the request for waivers of submittal requirements for the subject project, per the requirements in Chapter 50 of the City of Rochester Stormwater Management and Erosion Control Regulations:

Stormwater Management and Erosion Control Regulations Chapter 50(c)(2)A; Net Zero Runoff Rate and Volume;

This project is the development of a new school site for the Monarch School of New England. This development includes two new 12,000+ square foot school buildings, two garages, parking areas, site access, utilities, a half-court basketball court, landscaping and stormwater management. The stormwater management for the site includes four drainage manholes, four flared-end sections, four catch basins, a rain garden, a gravel wetland, two vegetated swales, roof drains, and any associated piping.

The existing site slopes down toward the southwest side of the property into a wetland. The proposed drainage picks up runoff around the site and runs down towards this side of the property and outlets into the gravel wetland to help store water, reduce runoff rate, and treat the water. This closed drainage system picks up a greater area of property to carry toward the southwest side of the lot than the existing, and, therefore, creates a larger volume of runoff than the existing conditions did. All other areas that runoff the site are reduced in both volume and flow in the proposed conditions.

It is not feasible to reduce the amount of volume in the proposed conditions towards the wetland side of the site due to it being the lowest point on the site and pipe cover restrictions. Therefore, a waiver is requested to 50(c)(2)A requiring a net zero increase in runoff volume in proposed conditions for this development.

In an effort to make stormwater improvements to the site and minimize impact to the existing wetlands, the gravel wetland has been sized appropriately to match the 2-year storm peak runoff rate in the proposed conditions to the 1-year storm peak runoff rate in the existing conditions. This allows the design to satisfy the NHDES Alteration of Terrain Program Channel Protection Requirements.



Conditional Use Permit Application
City of Rochester, New Hampshire

Date: _____

Property information

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Property owner

Name (include name of individual): Harold & Josephine Jacobs

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Engineer/designer

Name (include name of individual): CLD Consulting Engineers, Inc. (Rick Lundborn)

Mailing address: 316 U.S. Route 1, York, ME 03909

Telephone #: (207) 363-0669 Fax #: (207) 363-2384

Email address: RickL@cldengineers.com Professional license #: 10943

Proposed Project

Please describe the proposed project: The proposed site includes two new 12,000 square foot school buildings, parking area, site access, utilities, landscaping and stormwater management. This proposed site occurs in two phases, with phase 1 consisting of one of the buildings, one garage, most of the parking area, site access, utilities, landscaping and stormwater management. Phase 2 will add on another building, garage, and small parking area in front of the second building.

Please describe the existing conditions: The current undeveloped lot is used as a hay field
by the owners. A portion of this lot is being donated to the Monarch School to provide a new school site.

Submission of application

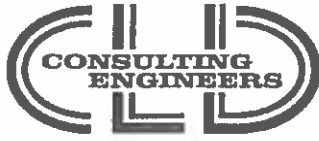
This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Harold P. Jacobs
Date: 3/2/16

Signature of applicant/developer: _____
Date: _____

Signature of agent: Michael S. L.
Date: 3/2/16



Park Place Corporate Center
316 US Route 1, Suite D, York, ME 03909
(207) 363-0669 • (207) 363-0768 • Fax: (207) 363-2384
cld@cldengineers.com • www.cldengineers.com
New Hampshire • Vermont • Maine

TO: City of Rochester, New Hampshire

FROM: CLD Consulting Engineers, Inc.

DATE: January 21, 2016

RE: The Monarch School of New England
Monarch School Site Plan
Eastern Avenue, Rochester, NH 03867
CLD Reference No. 15-0225

Rochester, NH Zoning Ordinance

42.21 Conditional Uses

c. Base Criteria

The Planning Board shall grant a conditional use approval if, and only if, it reasonably determines that all of the following criteria are met (in addition to those criteria/conditions articulated for particular uses in Section 42.21-d, below, or in addition to those articulated elsewhere in this chapter for departures from standards):

1. Allowed Use or Departure. *The use or departure from standards is specifically authorized under the Tables of Uses in Section 42.18 as a conditional use or is otherwise specifically authorized in this chapter;*

Table 18-B, Sales-Service-Office-Institutional, states that School, K-12 is a conditional use in the Residential 1 district. The proposed site is for The Monarch School of New England, a school serving children 5-21 with significant physical, medical, developmental, behavioral and emotional disabilities; therefore, it meets the authorized use.

2. Intent of Chapter. *The proposal is consistent with the purpose and intent of this chapter;*
The site proposal is to promote expansion for the Monarch School and provide services and care to the community of Rochester, NH and greater seacoast area at large.

3. Intent of Master Plan. *The proposal is consistent with the purpose and intent of the Master Plan;*

The Land Use Chapter of the Master Plan for the City of Rochester, NH states, in the Current Zoning Section under Background Information, that schools are a permitted use within the Residence 1 zoning district. The proposed site for the Monarch School is to develop two new school buildings; therefore, it meets the requirement in the Master Plan.

4. Compatibility. *The proposal is compatible with general dimensional, use, and design characteristics of the neighborhood and surrounding area;*

Currently, other congregate uses such as, the Community Baptist Church, American Legion, Emmanuel Advent Christian Church, and another site for the Monarch School, are located on Eastern Avenue in the Residential 1 district. This proposal will be compatible with the surrounding area and utilize the same design characteristics.

The proposed site has setbacks further from any abutters than required in order to provide adequate buffers out of respect for the surrounding neighborhood. The closest building to the property lot lines is a garage built for phase 2 of the proposal and is set back approximately 19 feet. The closest pavement edge is approximately 25 feet from the nearest abutter property. Most of the parking area is shielded by two proposed garages and the schools themselves, with the exception of one parking area in phase 2 located over 30 feet away from the nearest abutter property.

5. Streetscape. *The proposal will not adversely impact the quality of the streetscape;*

The proposed site access will match the existing streetscape. Traffic leading into the site should not negatively impact Eastern Avenue as the Monarch School is a private, specialty school. All proposed buildings will be set back from Eastern Avenue.

6. Resources. *The use or departure will not have a significantly adverse impact upon natural, scenic, historic, or cultural resources and can be designed with sensitivity to environmental constraints; and*

The New Hampshire Historical Resources Division has determined that no historical resources shall be impacted by the proposal. The New Hampshire Natural Heritage Bureau has determined that the nearest protected plant is located over 1,000 feet from the nearest corner of the proposed lot.

Drainage on the site is being designed to follow NH Department of Environmental Services Alteration of Terrain requirements for storm rate and volume leaving the proposed site. No adverse impact to environmental quality is anticipated.

7. Public Facilities. The use does not place an undue burden upon the City's resources including the effect on the City's water supply and distribution system, sanitary and storm sewage collection and treatment systems, fire protection, police protection, streets and schools.

Both proposed school buildings will include a sprinkler system to meet the requirements for the Fire Department and the NFPA.

The proposed development is not expected to impact police, fire and ambulatory services, and have allowable impact to the City's water supply and distribution system.

The stormwater management system for the proposed development is designed to limit post-development peak flows to the pre-development conditions; therefore, minimal impact is expected.

d. Conditions for Particular Uses.

For each individual use listed below, all of the specific conditions attached to that use must be met along with the base criteria articulated in Section 42.21-c, above.

11. School, K-12; School, Other. Within residential zones all parking shall be located beyond the rear facade, provided however that the Planning Board may approve parking to the side of the building, but situated no further forward than the front façade by conditional use subject to adequate screening from the road.

The majority of the proposed parking space shall be located beyond the rear façade with the exception of 22 parking spaces located on phase 2 of the designed site. This parking area is located over 30 feet away from the nearest abutter property, allowing plenty of space to develop the adequate screening needed for neighboring sites. The site access is located in the middle of the property to also allow space for adequate screening and vegetation.

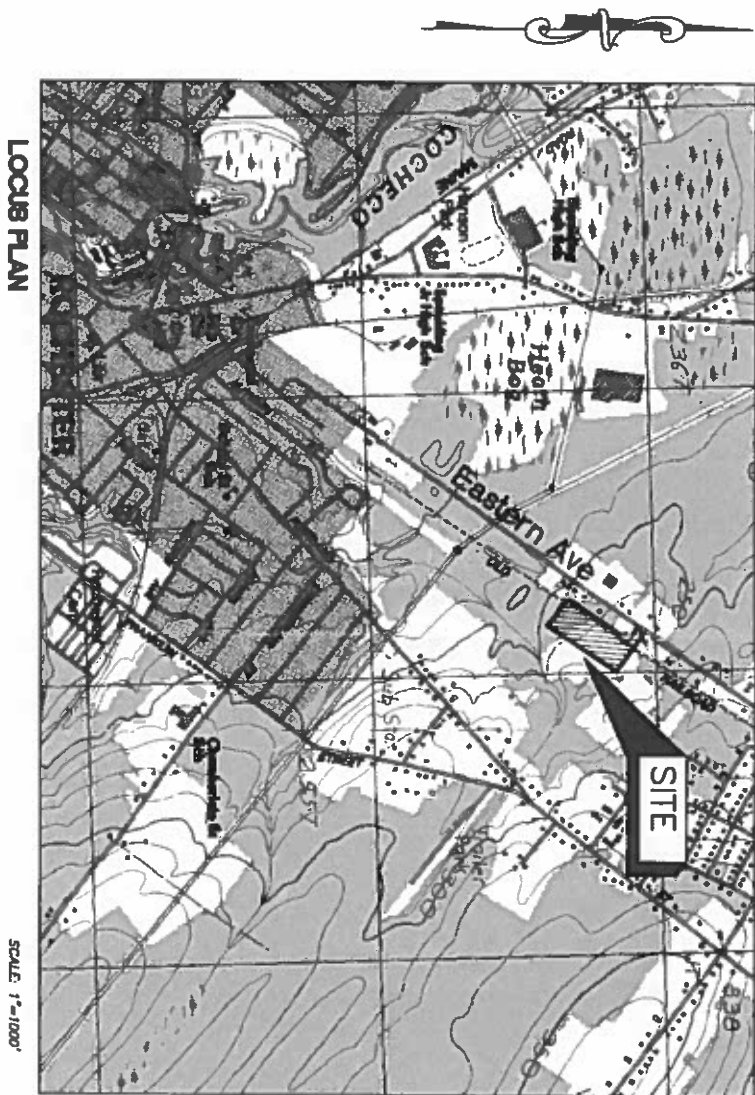
(STANDARD LEGEND - ALL SYMBOLS SHOWN DO NOT
NECESSARILY APPEAR IN THE PLAN SET)

- | | | |
|---------------------------|----------|----------|
| 2' CONTOUR | EXISTING | PROPOSED |
| 148 = | 148 | 148 |
| 10' CONTOUR | 150 = | 150 |
| EDGE OF PAVEMENT | 5 = | 5 |
| SEWER LINE | 148 TC = | 148 TC |
| 48" GAS LINE | 48 | 48 |
| WATER LINE | 36 | 36 |
| OVERHEAD WIRES | 30 | 30 |
| VERTICAL GRANITE CURB | 24 | 24 |
| SLOPED GRANITE CURB | 18 | 18 |
| FLUSH GRANITE CURB | 12 | 12 |
| CHAIN LINK FENCE | 6 | 6 |
| SHRUB LINE | 0 | 0 |
| SPOT GRADE | 0 | 0 |
| SEWER MANHOLE | 0 | 0 |
| CATCH BASIN | 0 | 0 |
| DRAIN MANHOLE | 0 | 0 |
| FIRE HYDRANT | 0 | 0 |
| GAS REGULATOR | 0 | 0 |
| GAS CAVE | 0 | 0 |
| WATER VALVE | 0 | 0 |
| WATER VALVE | 0 | 0 |
| THRUST BLOCK | 0 | 0 |
| ELECTRIC MANHOLE | 0 | 0 |
| STREET SIGN | 0 | 0 |
| UTILITY POLE | 0 | 0 |
| UTILITY POLE & GUY WIRE | 0 | 0 |
| UTILITY POLE W/ LIGHT | 0 | 0 |
| LIGHT POLE (ONE ARM) | 0 | 0 |
| LIGHT POLE (TWO ARMS) | 0 | 0 |
| LIGHT POLE (FOUR ARMS) | 0 | 0 |
| ACCESSIBLE PARKING SPACE | 0 | 0 |
| BIODRAIN | 0 | 0 |
| TEST PIT | 0 | 0 |
| IRON PINS/ROLL HOLE BOUND | 0 | 0 |
| OBSCURE TREE | 0 | 0 |
| CONFER TREE | 0 | 0 |
| RAINFALL FLOW | 0 | 0 |
| EDGE OF WETLANDS | 0 | 0 |
| PROTECTIVE LINE | 0 | 0 |
| SLIT FENCE | 0 | 0 |
| WELL | 0 | 0 |

FOR

**THE MONARCH SCHOOL
OF NEW ENGLAND**

**PO BOX 1921
ROCHESTER, NH**



1. THIS PROPOSAL DISTURBS 133,000 SF (3,100 AC) OF LAND WHICH EXCEEDS THE PERMITTED DISTURBANCE AMOUNT OF 15,000 SF (0.35 AC) ALLOWED UNDER THE PERMIT. THE DISTURBANCE OF THIS LAND WILL BE LIMITED TO THE MINIMUM NECESSARY TO CONDUCT THE REQUIRED CONSTRUCTION AND INSTALLATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

REVISION DATE

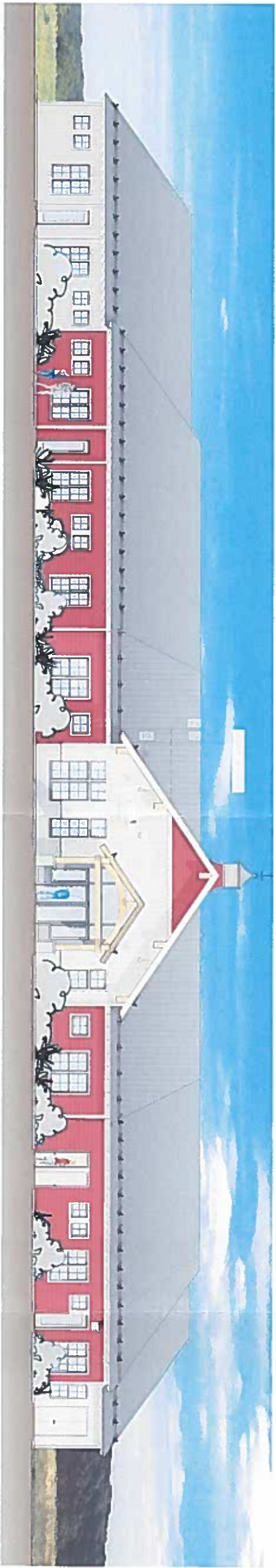
T1	COVER SHEET
A1	BUILDING ELEVATIONS
A2	BUILDING ELEVATIONS
M/A	TOPOGRAPHICAL SUPERVISION PLAN
C0	SITE SPECIFIC SOILS MAP
C1	SITE PLAN PHASE 1
C2	SITE PLAN PHASE 2
C3	GRAVEL AND DRAINAGE PLAN PHASE 1
C4	GRAVEL AND DRAINAGE PLAN PHASE 2
C5	UTILITY PLAN PHASE 1
C6	UTILITY PLAN PHASE 2
C7	GRAVEL, WETLANDS DETAILS
C8	DRAINAGE AND UTILITY DETAILS
C9	DRAINAGE AND UTILITY DETAILS
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION DETAILS
C12	EROSION AND SEDIMENT CONTROL MEASURES
C13	EROSION AND SEDIMENT CONTROL MEASURES
L1	LANDSCAPE PLANTING PLAN
L2	LANDSCAPE PLANTING PLAN
L3	LANDSCAPE PLANTING NOTES AND DETAILS PLAN
L5	LANDING PLAN

COVER SHEET

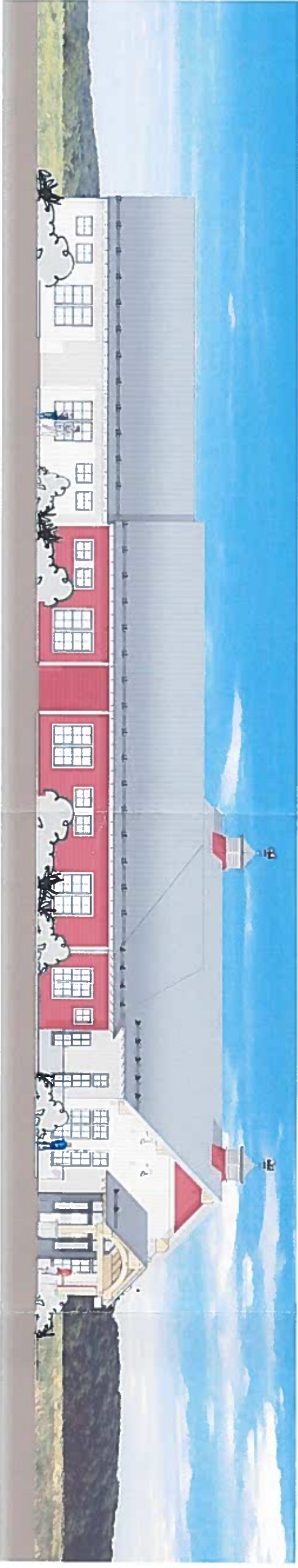
References



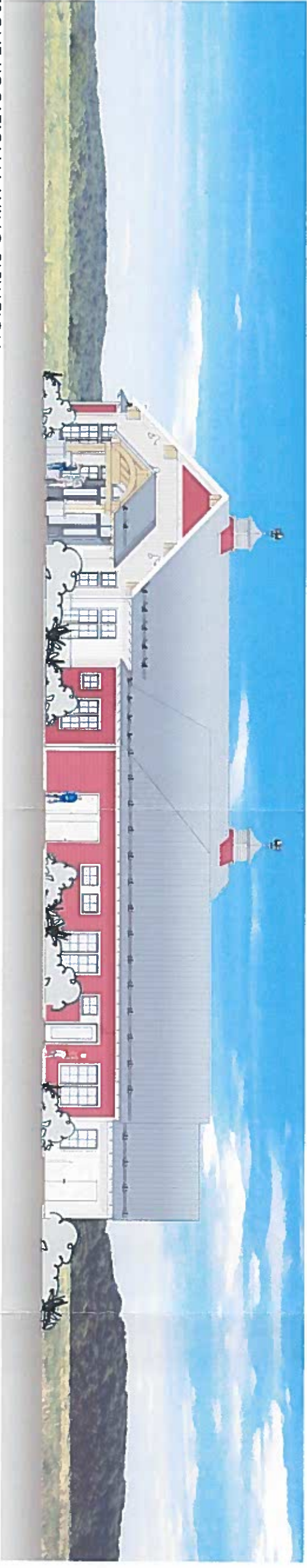
NO.	DATE	REVISION		
DRAWN:		DESIGNED:	CHECKED:	APPROVED:



FRONT ENTRY ELEVATION (NORTH)



FRONT CLASSROOM WING ELEVATION



FRONT VOCATIONAL WING ELEVATION

NEW CONSTRUCTION FOR
MONARCH SCHOOL OF NEW ENGLAND
EASTERN AVENUE, ROCHESTER, NEW HAMPSHIRE

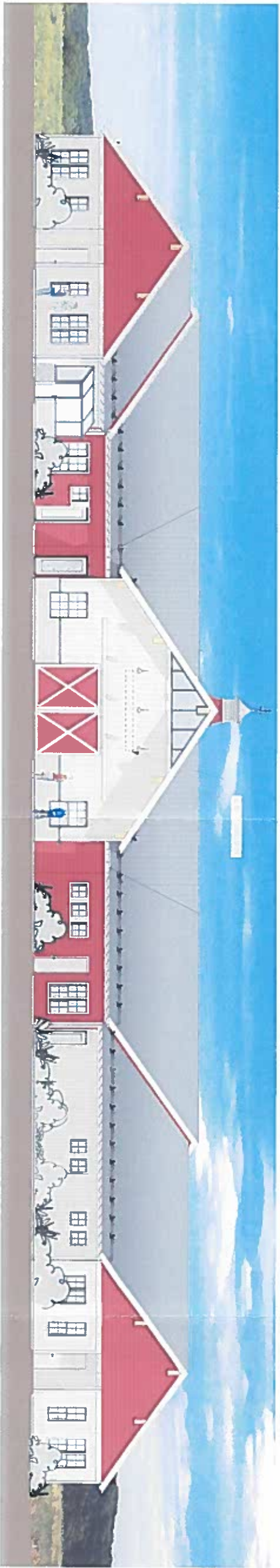
BUILDING ELEVATIONS

1/8" = 1'-0"

07 MARCH 2016

PROJECT NO. 201531

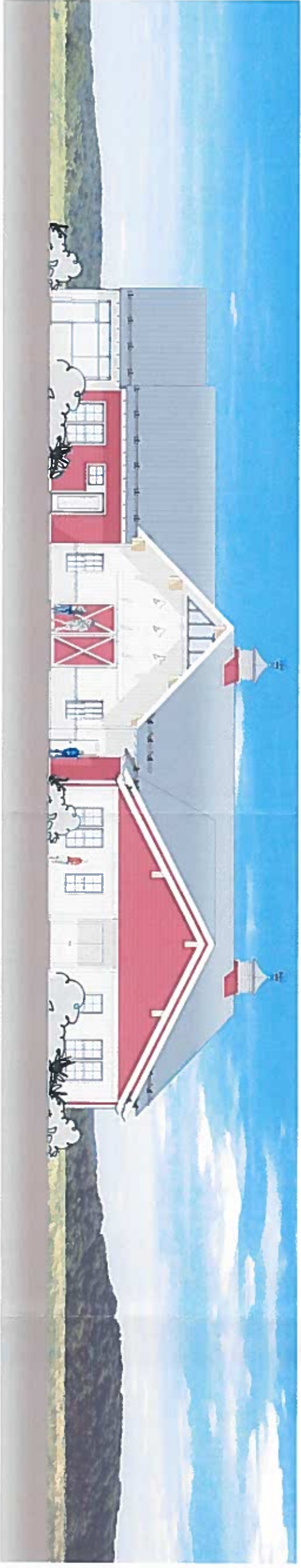
DIA
DISTEFANO | ARCHITECTS



REAR MULTIPURPOSE ELEVATION (SOUTH)



VOCATIONAL WING END ELEVATION



CLASSROOM WING END ELEVATION

NEW CONSTRUCTION FOR
MONARCH SCHOOL OF NEW ENGLAND
EASTERN AVENUE, ROCHESTER, NEW HAMPSHIRE

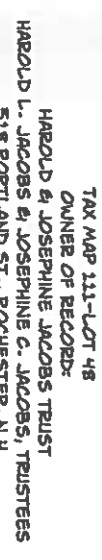
BUILDING ELEVATIONS

1/8" = 1'-0"

07 MARCH 2016

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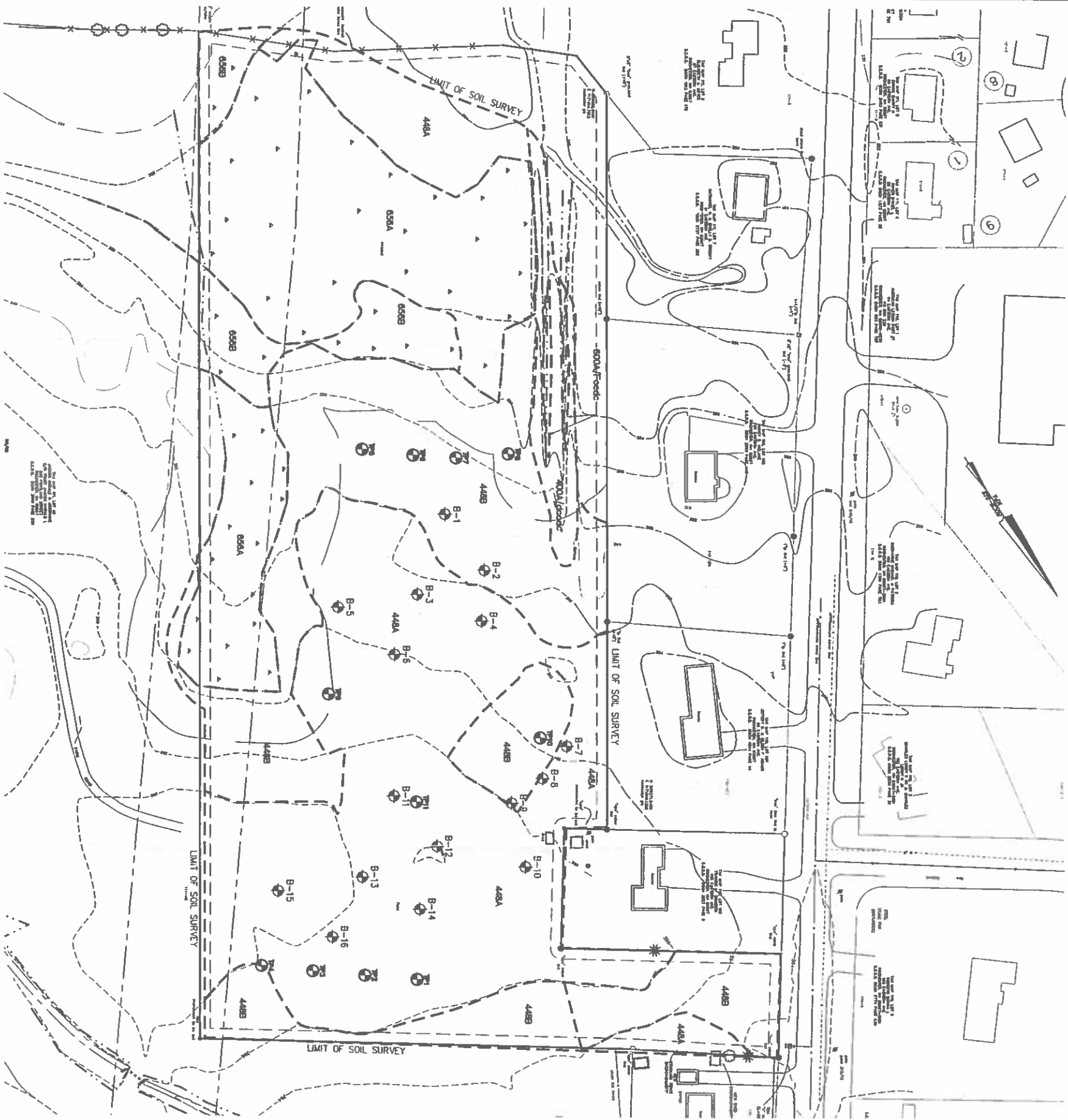
D/A
DISTERANO ARCHITECTS



GRAPHIC SCALE

0 25 50 100 400

EMISSION DATE



TEST PIT DATA

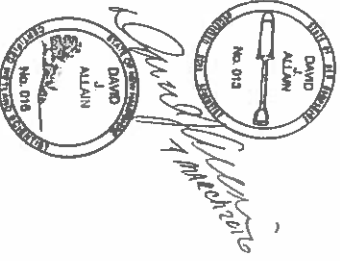
THE SOILS WITHIN THE AREA SHOWN WERE EXAMINED DURING 2015 TO DETERMINE THE BEST USE OF THE LAND. THE SOILS WERE CLASSIFIED INTO THREE CATEGORIES: A, B, AND C. CATEGORY A SOILS ARE SUITABLE FOR AGRICULTURE AND CONSTRUCTION. CATEGORY B SOILS ARE SUITABLE FOR CONSTRUCTION AND AGRICULTURE. CATEGORY C SOILS ARE SUITABLE FOR CONSTRUCTION AND AGRICULTURE. THE SOILS WERE CLASSIFIED INTO THREE CATEGORIES: A, B, AND C. CATEGORY A SOILS ARE SUITABLE FOR AGRICULTURE AND CONSTRUCTION. CATEGORY B SOILS ARE SUITABLE FOR CONSTRUCTION AND AGRICULTURE. CATEGORY C SOILS ARE SUITABLE FOR CONSTRUCTION AND AGRICULTURE.

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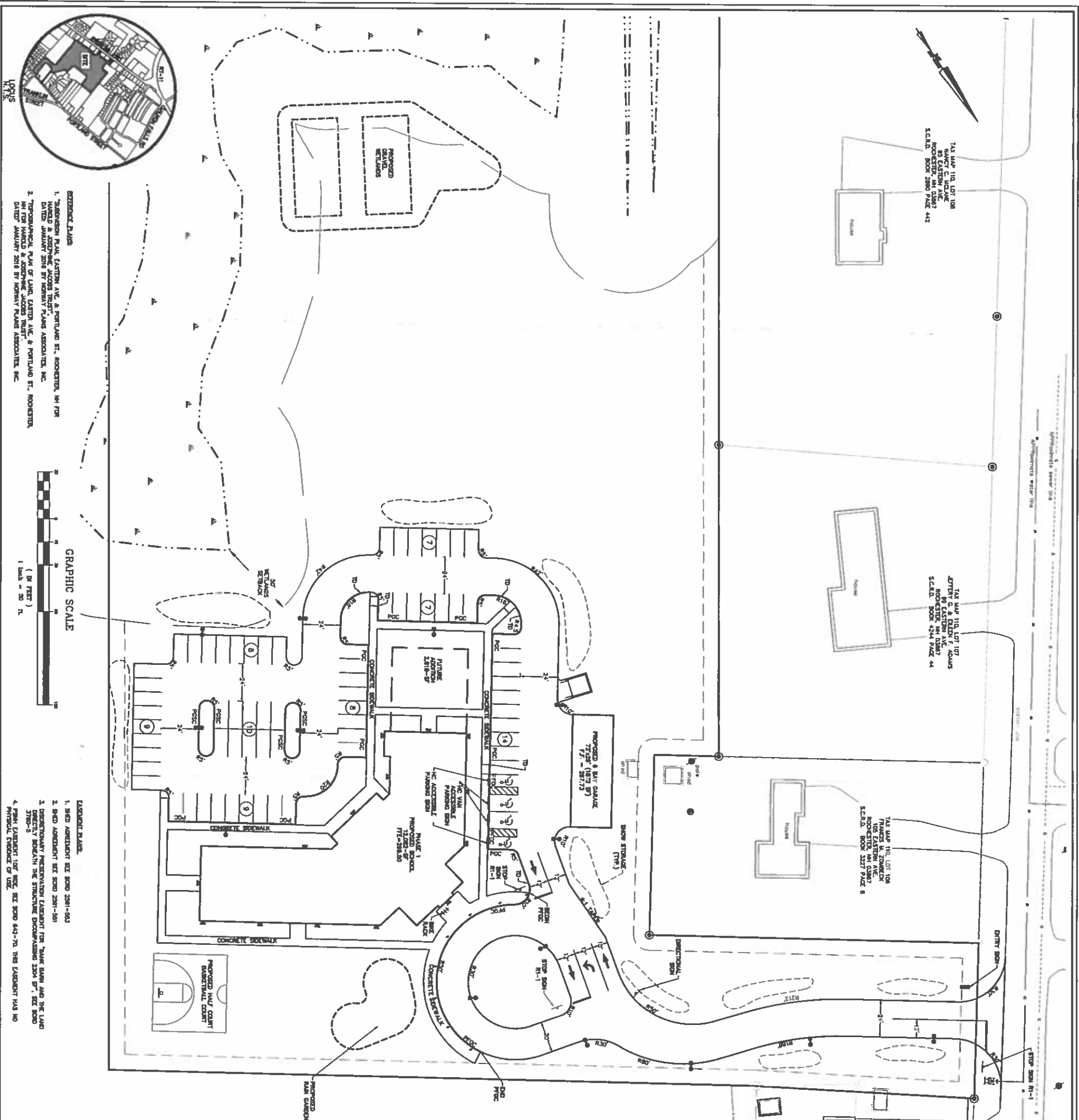
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WETLAND DELINEATION NOTE:

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TAX MAP 111 LOT 48 THE MONARCH SCHOOL 61 EASTERN AVENUE ROCHESTER, NH SITE SPECIFIC SOILS MAP		CLIENT: THE MONARCH SCHOOL OF NEW ENGLAND PO BOX 1921 ROCHESTER, NH 03866		 318 U.S. Route 1, Suite D • York, ME 03909 (207) 363-0666 • Fax: (207) 363-2384 cd@cdengineers.com • www.cdengineers.com Maine • New Hampshire • Vermont		<table><tr><td>DATE</td><td>REVISION</td></tr><tr><td>DATE</td><td>REVISION</td></tr><tr><td>DATE</td><td>REVISION</td></tr><tr><td>NO. DATE</td><td>DESIGN</td></tr><tr><td colspan="2">DRAWN: _____</td></tr><tr><td colspan="2">DESIGNED: _____</td></tr><tr><td>CHECKED: _____</td><td>APPROVED: _____</td></tr></table>		DATE	REVISION	DATE	REVISION	DATE	REVISION	NO. DATE	DESIGN	DRAWN: _____		DESIGNED: _____		CHECKED: _____	APPROVED: _____
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CHECKED: _____	APPROVED: _____																				
SCALE: 1"=50'	JOB NO. 19-0225	DATE: MAR, 2016	DWG. CO																		



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN SET IS TO DEPICT A PROPOSED FACILITY AND PARKING LOT FOR MONARCH SCHOOL OF NEW ENGLAND.
- TOTAL PARKING AREA: MAP 111 LOT 110 835 ACRES
- PANEL IS ZONED: RESIDENTIAL 1
- ADDITIONAL SETBACKS: THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100' YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/70 COMMUNITY PANEL 33502L, PANEL CORNO OF 402. THE SOILS DEPICTED ON THE SITE BY A SITE SPECIFIC SOIL SURVEY ARE 44a - SCATTERED, 44b - MODERATELY WELL SORTED, 44c - MODERATELY WELL SORTED, 44d - MODERATELY WELL SORTED, 44e - MODERATELY WELL SORTED, 44f - MODERATELY WELL SORTED, 44g - MODERATELY WELL SORTED, 44h - MODERATELY WELL SORTED, 44i - MODERATELY WELL SORTED, 44j - MODERATELY WELL SORTED, 44k - MODERATELY WELL SORTED, 44l - MODERATELY WELL SORTED, 44m - MODERATELY WELL SORTED, 44n - MODERATELY WELL SORTED, 44o - MODERATELY WELL SORTED, 44p - MODERATELY WELL SORTED, 44q - MODERATELY WELL SORTED, 44r - MODERATELY WELL SORTED, 44s - MODERATELY WELL SORTED, 44t - MODERATELY WELL SORTED, 44u - MODERATELY WELL SORTED, 44v - MODERATELY WELL SORTED, 44w - MODERATELY WELL SORTED, 44x - MODERATELY WELL SORTED, 44y - MODERATELY WELL SORTED, 44z - MODERATELY WELL SORTED.
- THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100' YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/70 COMMUNITY PANEL 33502L, PANEL CORNO OF 402. THE SOILS DEPICTED ON THE SITE BY A SITE SPECIFIC SOIL SURVEY ARE 44a - SCATTERED, 44b - MODERATELY WELL SORTED, 44c - MODERATELY WELL SORTED, 44d - MODERATELY WELL SORTED, 44e - MODERATELY WELL SORTED, 44f - MODERATELY WELL SORTED, 44g - MODERATELY WELL SORTED, 44h - MODERATELY WELL SORTED, 44i - MODERATELY WELL SORTED, 44j - MODERATELY WELL SORTED, 44k - MODERATELY WELL SORTED, 44l - MODERATELY WELL SORTED, 44m - MODERATELY WELL SORTED, 44n - MODERATELY WELL SORTED, 44o - MODERATELY WELL SORTED, 44p - MODERATELY WELL SORTED, 44q - MODERATELY WELL SORTED, 44r - MODERATELY WELL SORTED, 44s - MODERATELY WELL SORTED, 44t - MODERATELY WELL SORTED, 44u - MODERATELY WELL SORTED, 44v - MODERATELY WELL SORTED, 44w - MODERATELY WELL SORTED, 44x - MODERATELY WELL SORTED, 44y - MODERATELY WELL SORTED, 44z - MODERATELY WELL SORTED.
- THE LOT IS SERVED BY THE MONARCH WATER AND SEWER SYSTEM.
- ADDITIONAL SETBACKS: THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100' YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/70 COMMUNITY PANEL 33502L, PANEL CORNO OF 402. THE SOILS DEPICTED ON THE SITE BY A SITE SPECIFIC SOIL SURVEY ARE 44a - SCATTERED, 44b - MODERATELY WELL SORTED, 44c - MODERATELY WELL SORTED, 44d - MODERATELY WELL SORTED, 44e - MODERATELY WELL SORTED, 44f - MODERATELY WELL SORTED, 44g - MODERATELY WELL SORTED, 44h - MODERATELY WELL SORTED, 44i - MODERATELY WELL SORTED, 44j - MODERATELY WELL SORTED, 44k - MODERATELY WELL SORTED, 44l - MODERATELY WELL SORTED, 44m - MODERATELY WELL SORTED, 44n - MODERATELY WELL SORTED, 44o - MODERATELY WELL SORTED, 44p - MODERATELY WELL SORTED, 44q - MODERATELY WELL SORTED, 44r - MODERATELY WELL SORTED, 44s - MODERATELY WELL SORTED, 44t - MODERATELY WELL SORTED, 44u - MODERATELY WELL SORTED, 44v - MODERATELY WELL SORTED, 44w - MODERATELY WELL SORTED, 44x - MODERATELY WELL SORTED, 44y - MODERATELY WELL SORTED, 44z - MODERATELY WELL SORTED.
- ADDITIONAL SETBACKS: THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100' YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/70 COMMUNITY PANEL 33502L, PANEL CORNO OF 402. THE SOILS DEPICTED ON THE SITE BY A SITE SPECIFIC SOIL SURVEY ARE 44a - SCATTERED, 44b - MODERATELY WELL SORTED, 44c - MODERATELY WELL SORTED, 44d - MODERATELY WELL SORTED, 44e - MODERATELY WELL SORTED, 44f - MODERATELY WELL SORTED, 44g - MODERATELY WELL SORTED, 44h - MODERATELY WELL SORTED, 44i - MODERATELY WELL SORTED, 44j - MODERATELY WELL SORTED, 44k - MODERATELY WELL SORTED, 44l - MODERATELY WELL SORTED, 44m - MODERATELY WELL SORTED, 44n - MODERATELY WELL SORTED, 44o - MODERATELY WELL SORTED, 44p - MODERATELY WELL SORTED, 44q - MODERATELY WELL SORTED, 44r - MODERATELY WELL SORTED, 44s - MODERATELY WELL SORTED, 44t - MODERATELY WELL SORTED, 44u - MODERATELY WELL SORTED, 44v - MODERATELY WELL SORTED, 44w - MODERATELY WELL SORTED, 44x - MODERATELY WELL SORTED, 44y - MODERATELY WELL SORTED, 44z - MODERATELY WELL SORTED.

ADDITIONS:

LOCATION	TAX MAP	OWNER	LEGAL ADDRESS
87 EASTERN AVE	MAP 111 LOT 8	ELIZABETH A. KOTIS	87 EASTERN AVENUE, ROCHESTER, NH 03607
91 EASTERN AVE	MAP 111 LOT 7	MATTHEW C. & SHELLEY B. OROSKY	91 EASTERN AVENUE, ROCHESTER, NH 03607
95 EASTERN AVE	MAP 111 LOT 6	HANCKY C. MCCLANE	95 EASTERN AVENUE, ROCHESTER, NH 03607
99 EASTERN AVE	MAP 111 LOT 5	JERRY Q. & EILEEN F. ADAMS	99 EASTERN AVENUE, ROCHESTER, NH 03607
103 EASTERN AVE	MAP 111 LOT 4	FRANKS W. ZIMMERER	103 EASTERN AVENUE, ROCHESTER, NH 03607
107 EASTERN AVE	MAP 111 LOT 3	ANGELO J. LANZELLO	107 EASTERN AVENUE, ROCHESTER, NH 03607
111 EASTERN AVE	MAP 111 LOT 2	NANCY MUGLIA	111 EASTERN AVENUE, ROCHESTER, NH 03607
115 EASTERN AVE	MAP 111 LOT 1	KAREN LIBERTY	115 EASTERN AVENUE, ROCHESTER, NH 03607
119 EASTERN AVE	MAP 111 LOT 0	HANDLOA JOSEPH JACOB TRUST	119 EASTERN AVENUE, ROCHESTER, NH 03607
123 EASTERN AVE	MAP 111 LOT 0	CLO CONSULTING ENGINEERS, INC.	123 EASTERN AVENUE, ROCHESTER, NH 03607
127 EASTERN AVE	MAP 111 LOT 0	NORMAN PLANS ASSOCIATES, INC.	127 EASTERN AVENUE, ROCHESTER, NH 03607
131 EASTERN AVE	MAP 111 LOT 0	DAVID L. ALLEN, CEN, CCS	131 EASTERN AVENUE, ROCHESTER, NH 03607
135 EASTERN AVE	MAP 111 LOT 0	ROLAND ROAD SURVEY	135 EASTERN AVENUE, ROCHESTER, NH 03607

SCALE: 1"=50'

DATE: 1/15/2016

DRAWN BY: DNL

TAX MAP 111 LOT 48

THE MONARCH SCHOOL

61 EASTERN AVENUE

ROCHESTER, NH

SITE PLAN

PHASE 1

CUSTOMER:

THE MONARCH SCHOOL

OF NEW ENGLAND

PO BOX 1921

ROCHESTER, NH 03666

CONSULTING ENGINEERS

315 U.S. Route 1, Suite D • York, ME 03909

(207) 363-0869 • Fax: (207) 363-2384

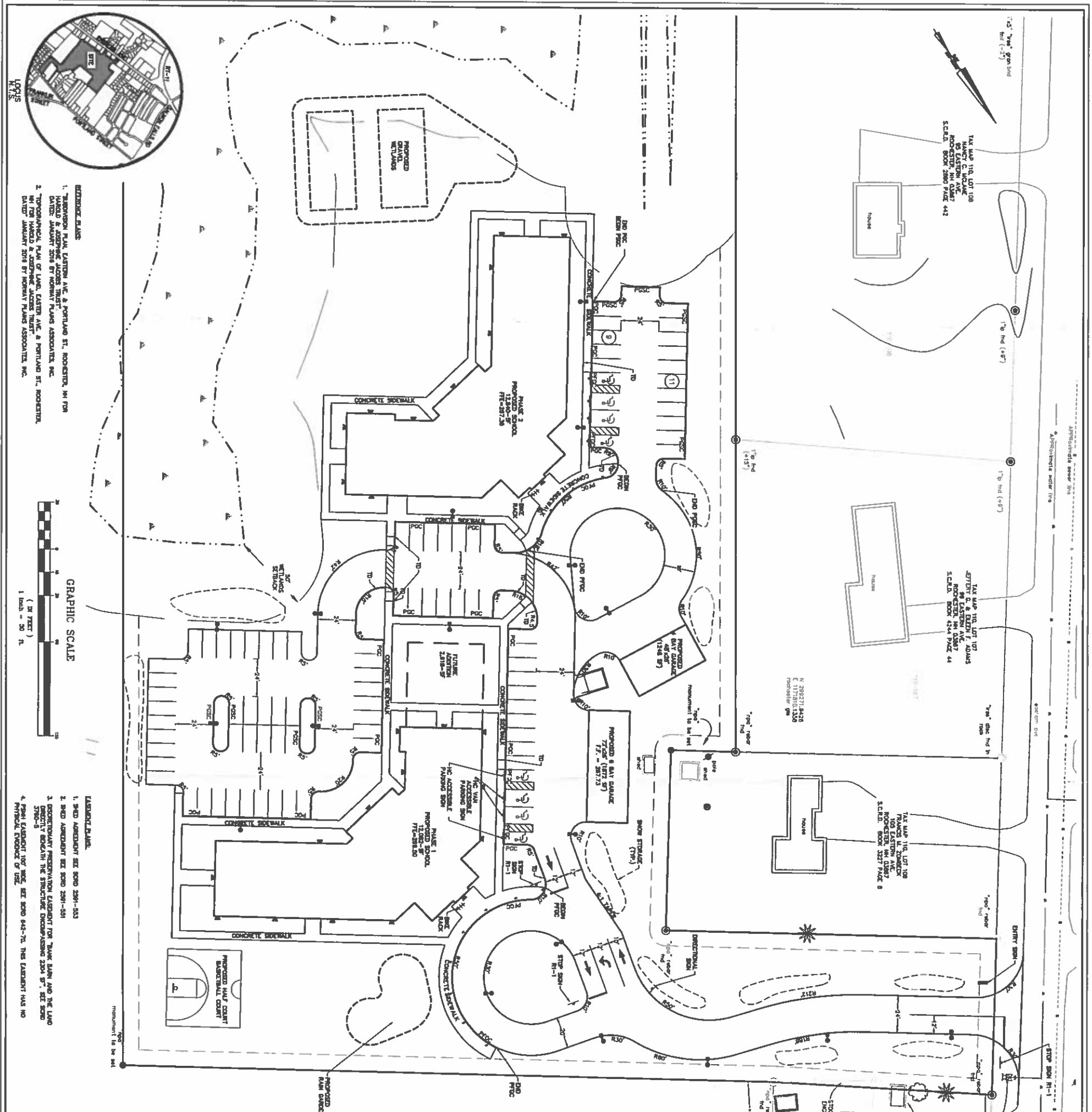
cd@cdengineers.com • www.cdengineers.com

Maine • New Hampshire • Vermont

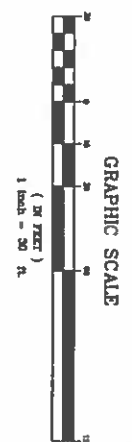
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NO.	DATE	REVISION

DRAWN:	DESIGNED:	CHECKED:	APPROVED:



REFERENCE PLANS
1. TOWNSHIPS PLAN, EASTERN AVE. & PORTLAND ST., ROCHESTER, NH FOR
WALDO & JOSEPHINE JACOBS TRUST
DATED: JANUARY 2016 BY NORMAN PLANS ASSOCIATES, INC.
2. TOWNSHIPS PLAN, EASTERN AVE. & PORTLAND ST., ROCHESTER,
NH FOR WALDO & JOSEPHINE JACOBS TRUST
DATED: JANUARY 2016 BY NORMAN PLANS ASSOCIATES, INC.



EXISTING PLANS
1. SHED ADJACENT SET ROAD 259-533
2. SHED ADJACENT SET ROAD 259-531
3. DISCONTINUED PRESERVATION EASEMENT FOR BANK LANE AND THE LAND
DIRECTLY BENEATH THE STRUCTURE DISCUSSING 250A ST., SET 250B
250C-3
4. FARM EASEMENT FOR ROAD SET ROAD 642-71. THIS EASEMENT HAS NO
PHYSICAL EVIDENCE OF USE.

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN SET IS TO DESIGN A PROPOSED FACILITY AND PARKING LOT FOR MONARCH SCHOOL OF NEW ENGLAND.
- TOTAL PARCEL AREA: MAP 111 LOT 110 2.83 ACRES
- PARCEL IS ZONED: RESIDENTIAL 1
- EXISTING UTILITIES, WETLANDS, AND FLOODING ARE SHOWN IN 2015 BY DAVID J. ALLAN AND ASSOCIATES, INC. AND TO BE IN COMPLIANCE WITH THE STANDARDS SET FORTH IN THE CODES OF ORDINANCES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE. THE PROPOSED FACILITY AND PARKING LOT ARE LOCATED IN AN AREA THAT IS NOT A FLOOD HAZARD. THE PROPOSED FACILITY AND PARKING LOT ARE LOCATED IN AN AREA THAT IS NOT A FLOOD HAZARD. THE PROPOSED FACILITY AND PARKING LOT ARE LOCATED IN AN AREA THAT IS NOT A FLOOD HAZARD.
- THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD RESISTANCE MAP. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD RESISTANCE MAP. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD RESISTANCE MAP.
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ABUTTERS:

LOCATION	TAX MAP	OWNER	USING ADDRESS
87 EASTERN AVE	MAP 111 LOT 8	ELIZABETH A. KETTES	87 EASTERN AVENUE, ROCHESTER, NH 03607
81 EASTERN AVE	MAP 111 LOT 7	NATHANIEL C. & SHELLEY B. GINSKY	91 EASTERN AVENUE, ROCHESTER, NH 03607
65 EASTERN AVE	MAP 111 LOT 100	NANCY C. MCNAMEE	65 EASTERN AVENUE, ROCHESTER, NH 03607
89 EASTERN AVE	MAP 110 LOT 107	JEFFREY R. & EILEEN F. ADAMS	99 EASTERN AVENUE, ROCHESTER, NH 03607
100 EASTERN AVE	MAP 110 LOT 106	FRANKS L. ROXBOROUGH	105 EASTERN AVENUE, ROCHESTER, NH 03607
107 EASTERN AVE	MAP 110 LOT 105	ANGILO J. LANDOLFO	107 EASTERN AVENUE, ROCHESTER, NH 03607
117 EASTERN AVE	MAP 110 LOT 103	NANCY WOLFA	117 EASTERN AVENUE, ROCHESTER, NH 03607
514 PORTLAND STREET	MAP 111 LOT 47	KAREN LINDSEY	514 PORTLAND STREET, ROCHESTER, NH 03607
516 PORTLAND STREET	MAP 111 LOT 48	HANCOCK JOSEPHINE JACOBS TRUST	516 PORTLAND STREET, ROCHESTER, NH 03607
518 PORTLAND STREET	MAP 111 LOT 49	C/O CONSULTING ENGINEERS, INC.	316 US ROUTE 1, SUITE D, YORK, ME 03909
520 PORTLAND STREET	MAP 111 LOT 50	NORMAN PLANS ASSOCIATES, INC.	P.O. BOX 246, ROCHESTER, NH 03607
522 PORTLAND STREET	MAP 111 LOT 51	DAVID J. ALLAN, CRES. COS.	374 POND HILL ROAD, BARRINGTON, NH 03825

THE MONARCH SCHOOL
OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866

CONSULTING ENGINEERS Inc.
316 U.S. Route 1, Suite D • York, ME 03909
(207) 363-0669 • Fax: (207) 363-2364
cid@cdengineers.com • www.cdengineers.com
Maine • New Hampshire • Vermont

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SCALE: 1"=50'
DATE: MAR, 2016
JOB NO. 15-0225
DWG. C2

TAX MAP 111 LOT 48
THE MONARCH SCHOOL
61 EASTERN AVENUE
ROCHESTER, NH
SITE PLAN
PHASE 2



DMH 1	RIM = 265.20	CB 1	RIM = 263.43
INV. IN (CB1) = 260.435		INV. OUT (DMH1) = 260.71	
INV. IN (DMH2) = 259.535			
INV. OUT (GRAY. WETLANDS) = 259.435		CB 2	RIM = 266.80
		INV. OUT (DMH3) = 262.27	
DMH 2	RIM = 266.50	CB 3	RIM = 266.08
INV. IN (DMH3) = 261.19		INV. OUT (DMH5) = 262.46	
INV. IN (DMH5) = 261.19			
INV. IN (FE1) = 261.69		CB 4	RIM = 266.28
INV. OUT (DMH1) = 260.68		INV. OUT (DMH6) = 262.84	
DMH3	RIM = 267.10	FE 1	INV. = 263.00
INV. IN (DMH4) = 261.845			
INV. IN (CB2) = 262.095		FE 2	INV. = 263.73
INV. OUT (DMH2) = 261.595			
DMH 4	RIM = 267.40	FE 3	INV. = 263.72
INV. IN (FE2) = 263.346			
INV. IN (FE3) = 263.346		FE 4	INV. = 263.52
INV. IN (RC1) = 263.846			
INV. OUT (DMH3) = 263.098		FE5	INV. = 259.00
DMH 5	RIM = 266.68	FE6	INV. = 256.85
INV. IN (DMH6) = 262.03			
INV. IN (CB3) = 262.28			
INV. OUT (DMH2) = 261.78			

INV. OUT (DMHS) = 262.53

- [illegible]

THE MONARCH SCHOOL
OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866

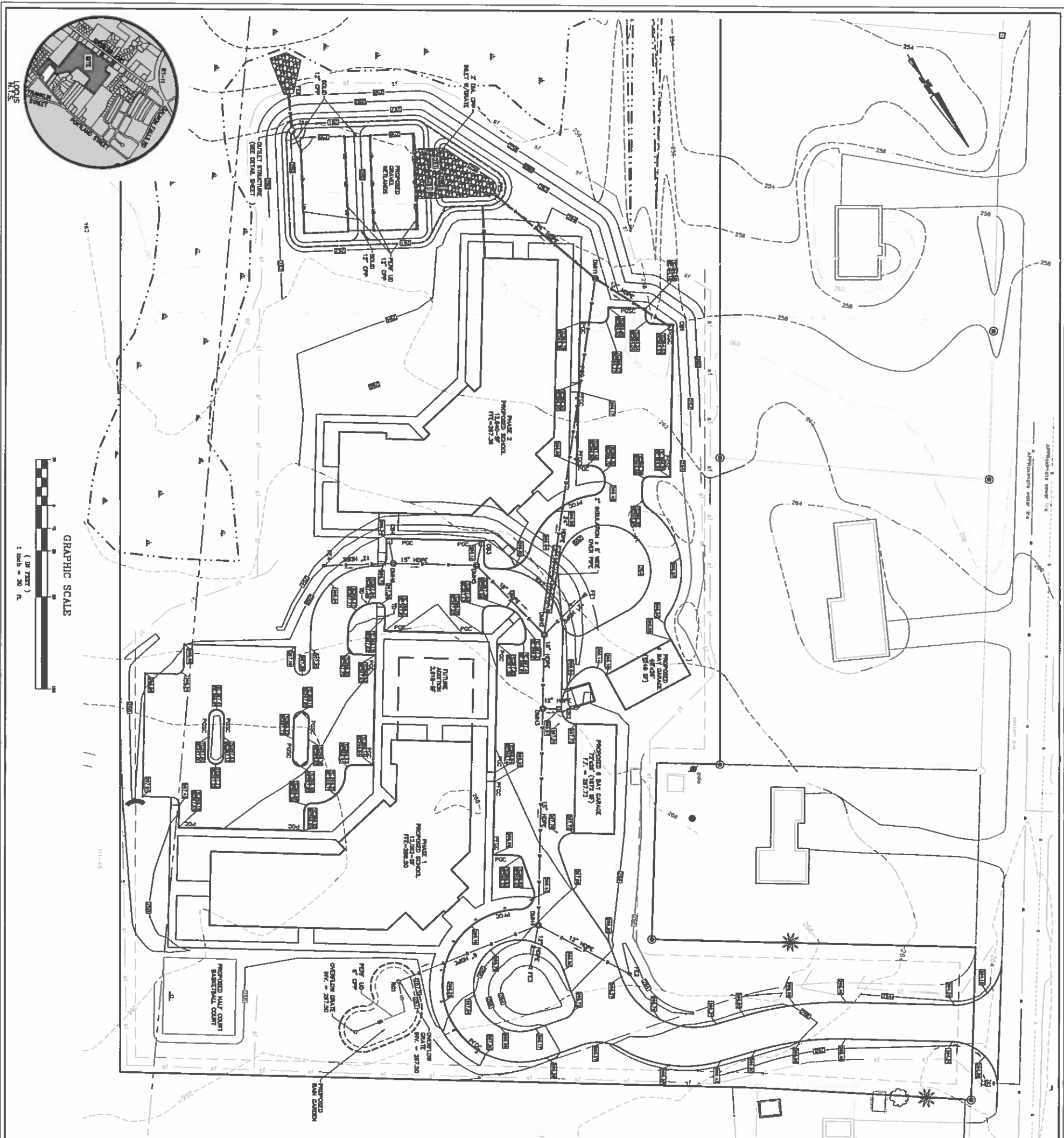
PLANS UNDER DESIGN
DEVELOPMENT.
ISSUED FOR INTERIM
REVIEW ONLY. NOT
FOR CONSTRUCTION



#	DATE	REVISION		
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DRAWN:		DESIGNED:	CHECKED:	APPROVED:

TAX MAP 111 LOT 48
THE MONARCH SCHOOL
61 EASTERN AVENUE
ROCHESTER, NH
**GRADING & DRAINAGE PLAN
PHASE 1**

SCALE: 1"=30'	JOB NO. 15-0225
DATE	DWG.



DRAINAGE SUMMARY

DMH 1	RIM = 265.20	CB 1	RIM = 263.43
INV. IN (CB1) = 260.435		INV. OUT (DMH1) = 260.71	
INV. IN (DMH2) = 259.535		CB 2	RIM = 266.80
INV. OUT (GRAV. WETLANDS) = 259.435		INV. OUT (DMH3) = 262.27	
DMH 2	RIM = 266.50	CB 3	RIM = 266.08
INV. IN (DMH3) = 261.19		INV. OUT (DMH5) = 262.46	
INV. IN (DMH5) = 261.19			
INV. IN (FE1) = 261.69			
INV. OUT (DMH1) = 260.69			
DMH3	RIM = 267.10	CB 4	RIM = 266.28
INV. IN (DMH4) = 261.845		INV. OUT (DMH6) = 262.84	
INV. IN (CB2) = 262.095			
INV. OUT (DMH2) = 261.595			
DMH 4	RIM = 267.40	FE 2	INV. = 263.73
INV. IN (FE2) = 263.346		FE 3	INV. = 263.72
INV. IN (FE3) = 263.346		FE 4	INV. = 263.52
INV. IN (RG1) = 263.846			
INV. OUT (DMH3) = 263.098			
DMH 5	RIM = 266.68	FE5	INV. = 259.00
INV. IN (DMH6) = 262.03		FE6	INV. = 256.85
INV. IN (CB3) = 262.28			
INV. OUT (DMH2) = 261.78			
DMH 6	RIM = 266.82		
INV. IN (FE4) = 262.78			
INV. IN (CB4) = 262.78			
INV. OUT (DMH5) = 262.53			

PROJECT SPECIFIC SEQUENCING NOTES:

1. REFER TO THE "GENERAL CONSTRUCTION PRACTICES" NOTES PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING:
2. INSTALL ALL TEMPORARY EROSION CONTROL BARRIERS (I.E. Silt FENCE, EROSION CONTROL MATS, STICK CHECK DAMS, ETC.) AROUND THE OUTER PERIMETER OF THE CONSTRUCTION SITE AS DIRECTED ON SHEET C-1.
3. CLOSURE OF THE SITE, STUMPS, BRUSH AND OTHER ORGANIC MATERIAL SHALL BE REMOVED OR SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
4. INSTALL A TEMPORARY CONSTRUCTION ERT AT THE ENTRANCE ONTO THE CONSTRUCTION SITE AS DIRECTED BY THE TEMPORARY CONSTRUCTION ERT DETAIL.
5. STOCKPILE EXCESS TOPSOIL AND CUT MATERIAL TO BE STORED ON SITE IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH THE SOIL STABILIZATION PRACTICES. MAINTAIN THE STOCKPILES AS DIRECTED IN THE SOIL STABILIZATION PRACTICES.
6. PERFORM THE NECESSARY CUTS AND FILLS TO CONSTRUCT THE GRAVEL WETLAND AS DIRECTED ON SHEET C-2 AND IN ACCORDANCE WITH THE GRAVEL WETLAND DETAIL.
7. CONSTRUCT THE SEDIMENT FOREBAY FOR THE GRAVEL WETLAND. LOAM SEDIMENT AND WHICH THE SOIL SLOPES OF THE BASIN AS DIRECTED IN THE DETAIL.
8. PERFORM THE NECESSARY CUTS AND FILLS TO SUBGRADE IN THE BASIN AND FINISH THE FILL.
9. INSTALL FILL/STABILIZED TILLS IN MAXIMUM 3'-0\"/>

SCALE: 1"=30'

DATE: 03-08-2016

DWG: C4

TAX MAP 111 LOT 48

THE MONARCH SCHOOL

61 EASTERN AVENUE

ROCHESTER, NH

GRADING & DRAINAGE PLAN

PHASE 2

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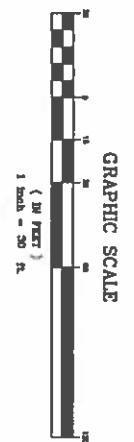
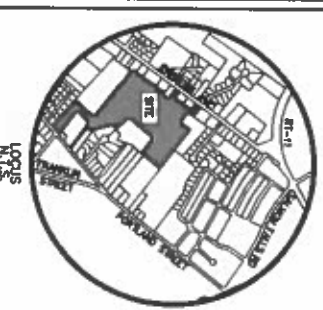
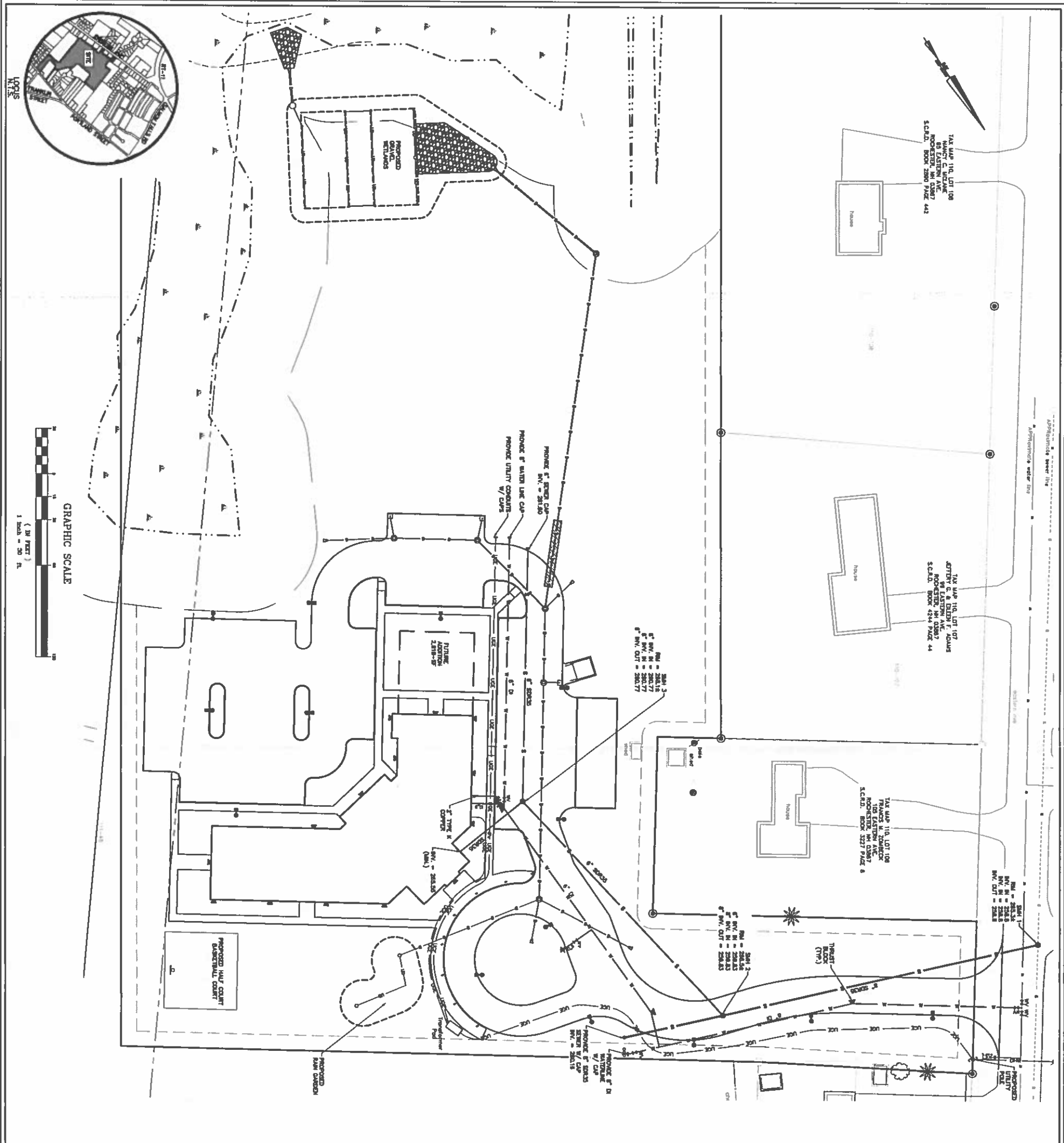
THE MONARCH SCHOOL

OF NEW ENGLAND

PO BOX 1921

ROCHESTER, NH 03866

DATE	REVISION		
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DRAWN:	DESIGNED:	CHECKED:	APPROVED:



UTILITIES NOTES:

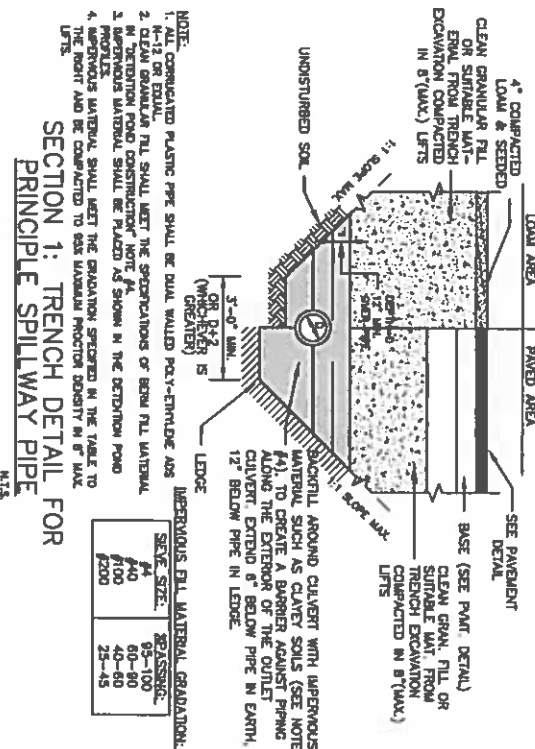
1. CONTRACTOR SHALL NOTIFY DE-LAYE (1-888-344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR LOCATION AND DEPTH.
3. THIS PLAN SHOWS ONLY THOSE UTILITIES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE PRESENCE OF UNDISCOVERED UTILITIES, SUCH AS GAS, WATER, SEWER, OR OTHER, IS NOT GUARANTEED.
4. ANY UTILITY PIPES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH EXISTING OR FUTURE TELECOMMUNICATIONS.
5. PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TELECOMMUNICATIONS PIPES WITH EXISTING AND OTHER FUTURE UTILITY COMPANIES.
6. WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10-FT APART HORIZONTALLY.
7. WHERE SEWER AND WATER LINES MUST CROSS, SEWER PIPES SHALL BE LOCATED A MINIMUM 6-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
8. SEWER PIPES SHALL BE TESTED WITH 200 LBS. AIR AT 20 PSI PRESSURE FOR 15 MINUTES.
9. SEWER PIPES SHALL BE TESTED WITH 10-1/2 INCHES WATER PRESSURE FOR 15 MINUTES.
10. ALL PROPOSED WATER LINE MATERIAL USED SHALL MEET ALL REQUIREMENTS OF THE NEW ENGLAND WATER PIPE MANUFACTURING ASSOCIATION (NEW ENGLAND WATER PIPE MANUFACTURING ASSOCIATION) AND SHALL BE APPROVED BY THE NEW ENGLAND WATER PIPE MANUFACTURING ASSOCIATION.
11. ALL WATER LINES SHALL BE BORED A MINIMUM OF 5'.
12. IF A COVER IS NOT AVAILABLE, WATER LINES SHALL BE RELOCATED AS SHOWN IN THE 'SHALLOW COVER TROUGH DETAIL' FOR RELOCATED WATER PIPES.
13. ALL WATER FITTINGS SHALL BE CLASS 300.
14. PROPOSED WATER DATE VALVE SHALL OPEN COUNTERCLOCKWISE (CCW).
15. WORK TO CONNECT INTO THE WATER OR SEWER LINES REQUIRES A PERMIT TO BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE FULLY QUALIFIED.
16. CONTRACTOR SHALL LOCATE EXISTING SERVICES AND COORDINATE WITH THE CITY OF ROCHESTER FOR RECONSTRUCTION OF THE SERVICES.

DIG SAFE

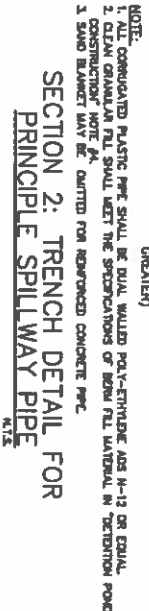
CONTACT DE-LAYE 72 HOURS

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. OLD 3300W, 72 HOURS PRIOR TO ANY EXCAVATION BY SITE, THE CONTRACTOR SHALL CONTACT DE-LAYE AT 1-888-344-7233.

TAX MAP 111 LOT 48 THE MONARCH SCHOOL 61 EASTERN AVENUE ROCHESTER, NH UTILITY PLAN PHASE 1		CLIENT: THE MONARCH SCHOOL OF NEW ENGLAND PO BOX 1921 ROCHESTER, NH 03866	 CONSULTING ENGINEERS 316 U.S. Route 1, Suite D - York, ME 03909 (207) 363-0669 • Fax: (207) 363-2384 cd@cdengineers.com • www.cdengineers.com Maine New Hampshire Vermont	<table><tr><td>#</td><td>DATE</td><td>REVISION</td></tr><tr><td>#</td><td>DATE</td><td>REVISION</td></tr><tr><td>#</td><td>DATE</td><td>REVISION</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISION</td></tr></table>		#	DATE	REVISION	#	DATE	REVISION	#	DATE	REVISION	NO.	DATE	REVISION	<table><tr><td>DRAWN:</td><td>DESIGNED:</td><td>CHECKED:</td><td>APPROVED:</td></tr></table>		DRAWN:	DESIGNED:	CHECKED:	APPROVED:
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SCALE: 1"=30'	JOB NO. 15-0225	DATE: MAR, 2016	DWG. 35																				



SEWE SIZE.	PASSING:
#4	95-100
#40	60-90
#100	40-60
#200	25-45

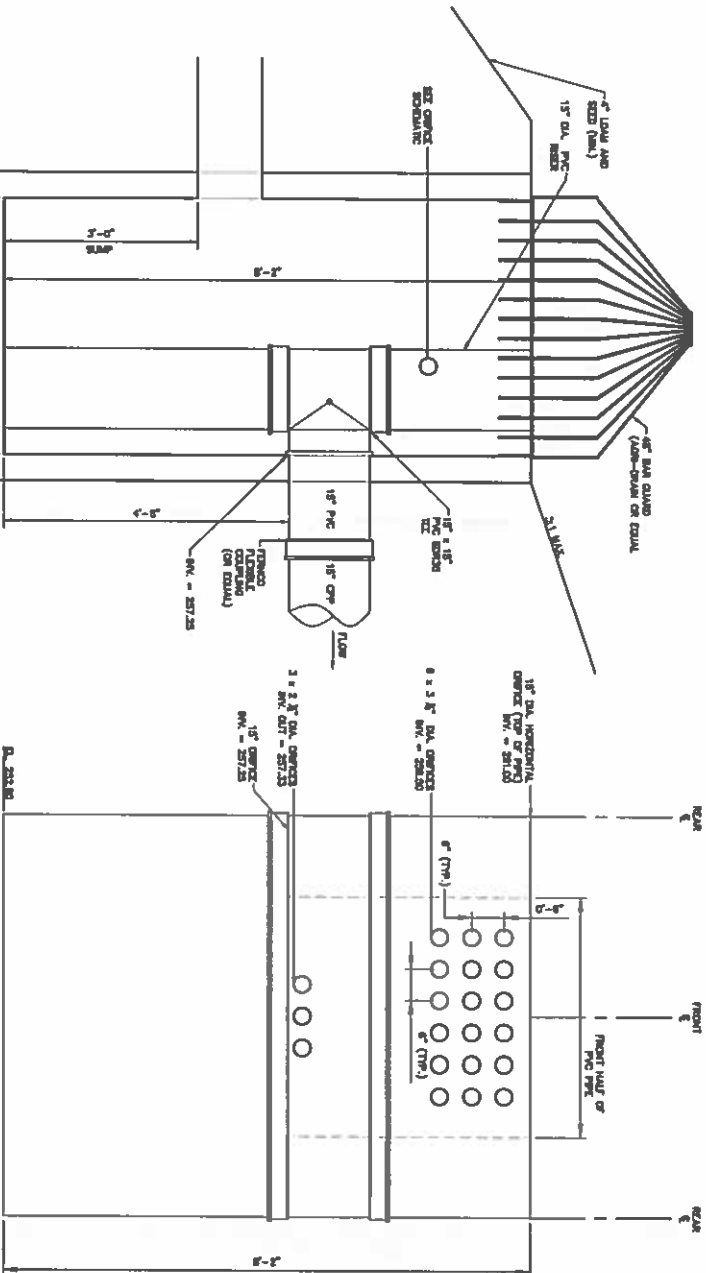


GRAVEL WETLAND OUTLET STRUCTURE DETAIL

ORIFICE SCHEMATIC

SCALE 3/4\"/>

SCALE 1/4\"/>



SEDIMENT FOREBAY.

1. CONSTRUCT THE SEDIMENT FOREBAY TO THE GRADES SHOWN ON THE PLAN AND CROSS-SECTION.

2. LOAM AND SEED THE SLOPES AND BOTTOM OF THE SEDIMENT FOREBAY AS SHOWN ON THE TENDRANT MATERIALS. NOTES FOUND ON SHEET 022.

SEDIMENT - A

1. INSPECT SEDIMENT FOREBAY BE-ANNUALLY. ONCE IN THE SPRING PRIOR TO MAY 15 AND ONCE IN THE FALL PRIOR TO OCTOBER 15.

2. CONDUCT PERIODIC MOWING OF THE SEDIMENT FOREBAY SLOPES AND TENDRANT MATERIALS (TENDRANT MATERIALS) TO MAINTAIN A LOW GROWTH OF WEEDS AND OTHER VEGETATION. MOWING SHOULD BE DONE ANNUALLY.

3. REMOVE DEBRIS FROM THE OUTLET STRUCTURE OF THE SEDIMENT FOREBAY (LE STONE CHECK DAM) AT LEAST ONCE ANNUALLY.

4. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION. WHEN SEDIMENT HAS REACHED THE RED MARK ON THE SEDIMENT STAFF GAUGE, IT SHOULD BE REMOVED. REMOVE SEDIMENT AND DISPOSE OF IT OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

5. DEVIATION OF RED CLAMONT MARK ON STAFF GAUGE = 28.50.

GRAVEL WETLAND.

1. CONSTRUCT THE GRAVEL WETLAND TO THE GRADES SHOWN ON THE PLAN AND CROSS-SECTION. OVER EXCAVATE THE AREA OF THE 2-FT STONE SECTION AS SHOWN TO ACCOMMODATE 24-INCHES OF 3/4\"/>

2. STONEWALLS SHOULD BE PERFORATED FOR UP TO 12 INCHES W/ 1/2\"/>

3. 12 INCH WOODEN PILES SHOULD BE PERFORATED DUAL WALLED HOPE. BASES OTHERWISE NOTED.

4. LOAM AND SEED ONLY THE SLOPES OF THE INFILTRATION BASIN AS SHOWN ON THE TENDRANT MATERIALS. NOTES FOUND ON SHEET 022.

SEDIMENT - A

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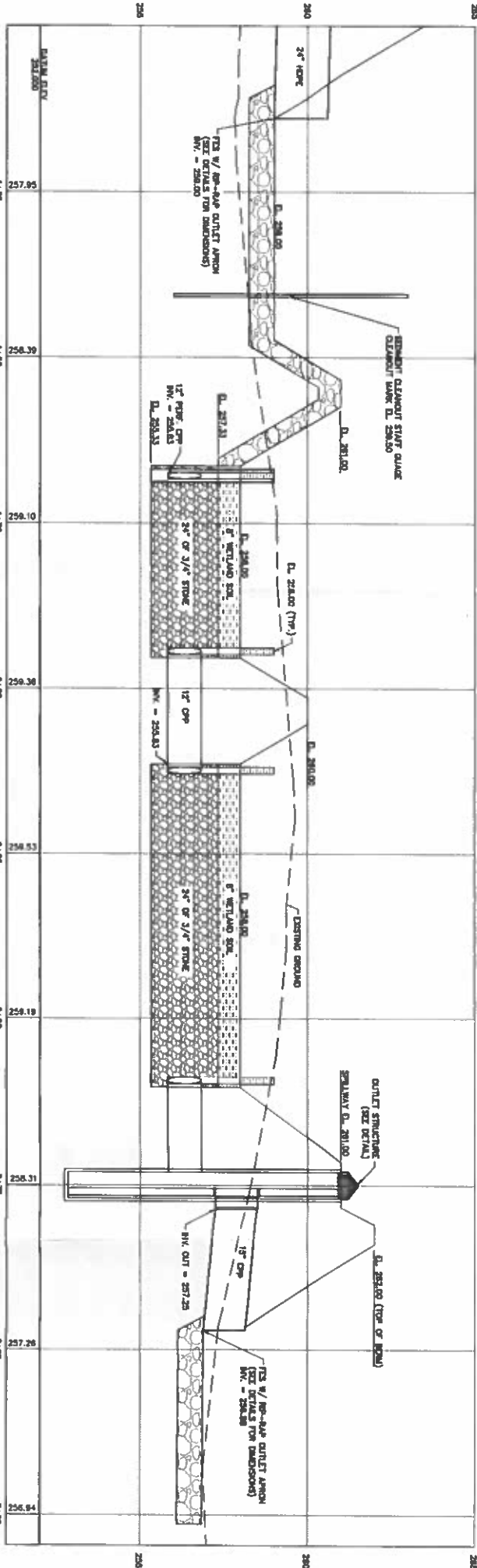
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SEDIMENT STAFF GAUGE DETAIL

N.T.S.

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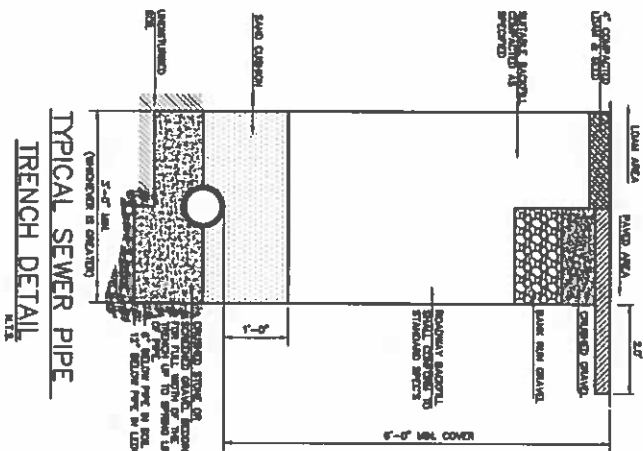
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SCALE/NOTES: 15-0225
DATE: MAR. 2016
DWG: C7

TAX MAP 111 LOT 48
THE MONARCH SCHOOL
61 EASTERN AVENUE
ROCHESTER, NH
GRAVEL WETLANDS
DETAILS

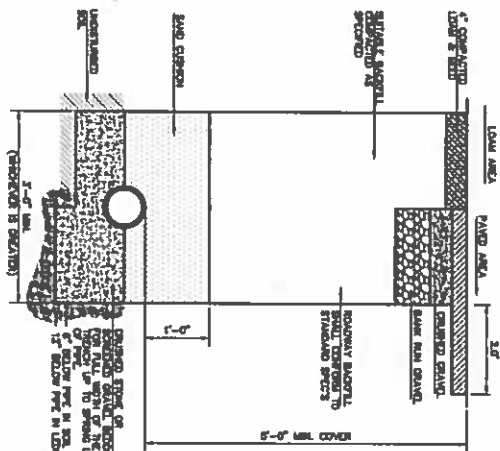
CLIENT:
THE MONARCH SCHOOL
OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866

CONSULTING ENGINEERS
INC.
316 U.S. Route 1, Suite 0 - York, ME 03909
(207) 363-0669 • Fax: (207) 363-2384
cd@cldeengineers.com • www.cldeengineers.com
Maine • New Hampshire • Vermont

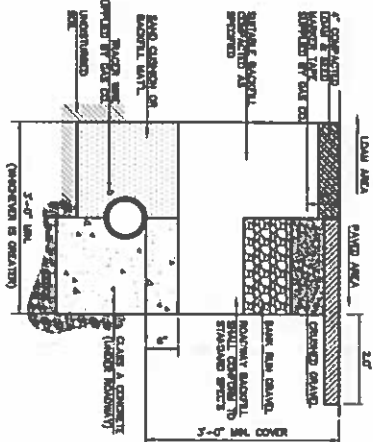
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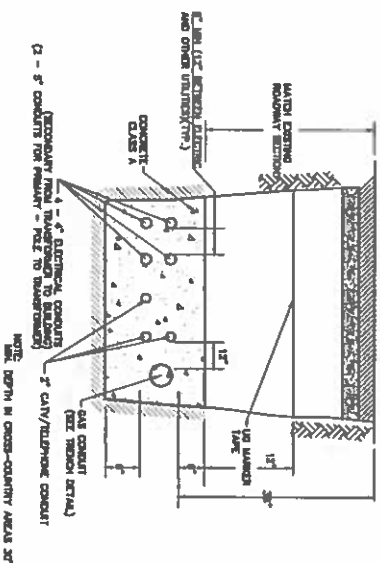
TYPICAL SEWER PIPE
TRENCH DETAIL
N.T.S.



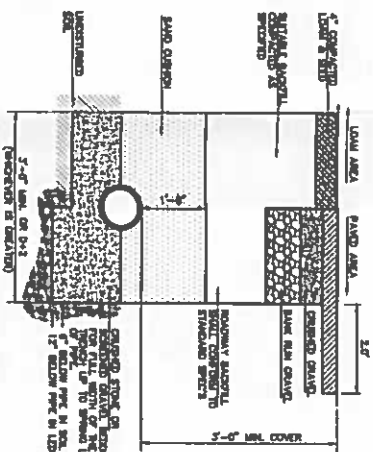
TYPICAL WATER PIPE
TRENCH DETAIL
N.T.S.



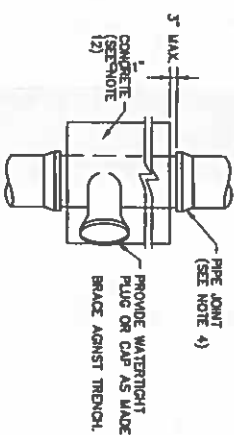
**TYPICAL GAS MAIN
TRENCH DETAIL**
IN T.S.



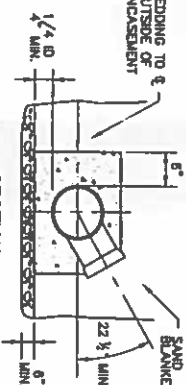
CONDUIT TRENCH DETAIL



**TYPICAL DRAINAGE PIPE
TRENCH DETAIL**
N.T.S.

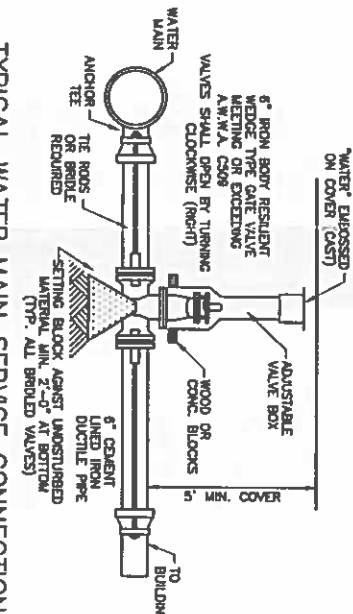


PLAN

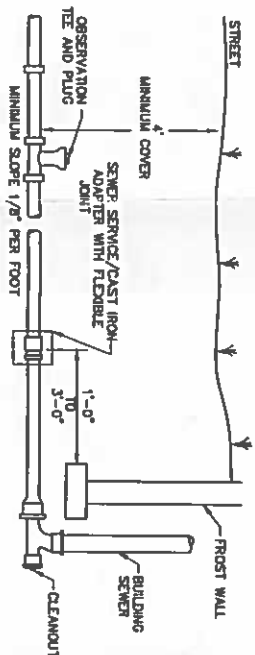


SECTION

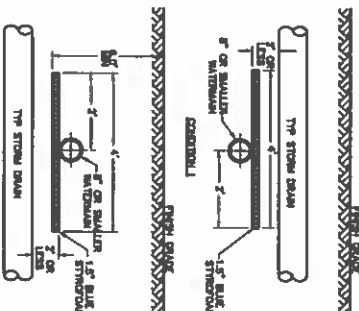
CONCRETE FULL ENCASEMENT



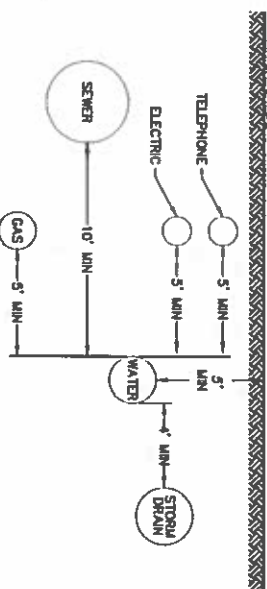
TYPICAL WATER MAIN SERVICE CONNECTION
N.T.S.



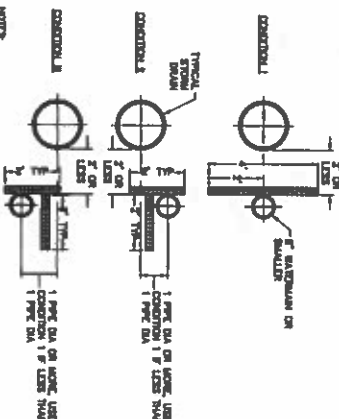
**BUILDING SEWER
SERVICE DETAIL**
N.T.S.



STORM DRAIN - WATERMAIN
INTERSECTING RUNS
4:23

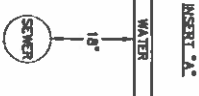


STORM DRAIN-WATERMAIN
PARALLEL RUNS

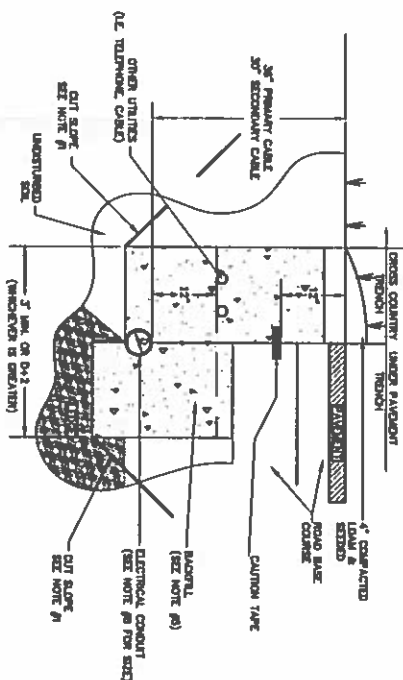


1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.D. TECHNICAL SPECIFICATIONS.
2. ALL WATER MAINS SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF SPOLE TO FINISH GRADE.
3. SEE DETAIL A-2 FOR TRENCH DETAIL.
4. SEE DETAIL A-11 FOR OUTSIDE SERVICE ENTRANCE DETAIL.
4. AT CROSSINGS WHERE 10' HORIZONTAL SEPARATION IS NOT POSSIBLE, 10" VERTICAL SEPARATION SHALL BE PROVIDED. SEE INSERT "A".

WATER MAIN-NUMEROUS DETAILS SEPARATION



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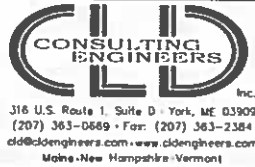


ELECTRICAL &

UNDERGROUND UTILITY TRENCH INSTALLATION DETAIL

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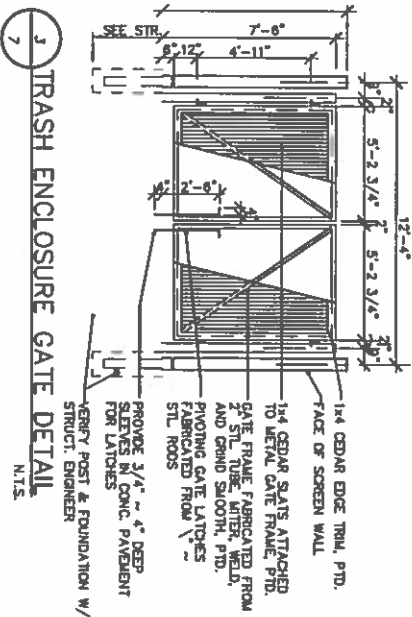


THE MONARCH SCHOOL
OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866

TAX MAP 111 LOT 48
THE MONARCH SCHOOL
61 EASTERN AVENUE
ROCHESTER, NH
DRAINAGE & UTILITY DETAILS

SCALE: N.T.S.	JOB NO. 15-0225
DATE: MAR, 2018	DWG. 09

TRASH ENCLOSURE PLAN, SECTION
AND ELEVATION DETAILS
N.T.S.

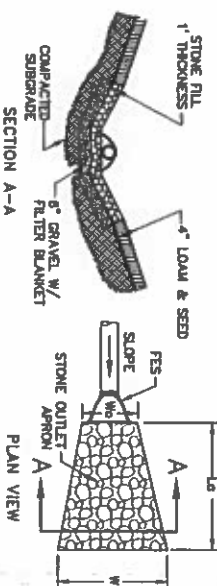


D10=10"
RIP-RAP GRADATION

R OF ADULT SAMPLING THAN THE GFTN SZT		SIZE OF STONE (INCHES)	
100	0	TO	0
85	5	TO	7
50	4	TO	8
15	1	TO	2

APRON DIMENSION TABLE

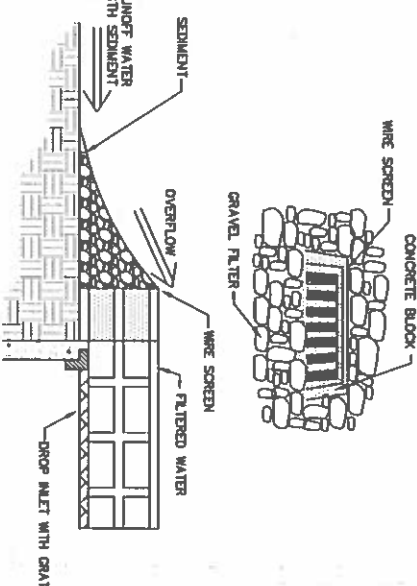
PIPE QUALITY	HQ	W	LG	Y	GRD
34" HOPE QUALITY	6"	26"	20"	8"	4"
FROM DASH #1					
15" HOPE QUALITY	8"	26"	20"	9"	4"
FROM COW #1					



WELL GRADED WITH SUFFICIENT SAND AND GRAVEL TO FILL THE VOIDS

- [illegible]

RIP RAP APRON OUTLET PROTECTION



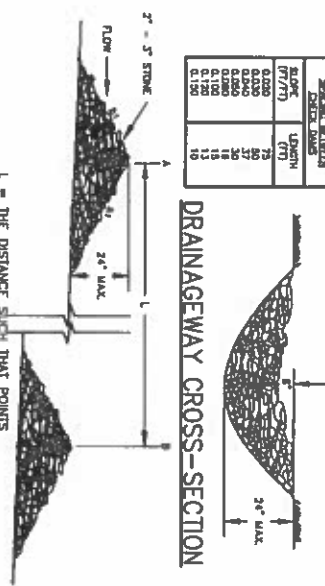
BLOCK AND GRAVEL INLET SEDIMENT FILTER

NOTES

1. STONE SHALL BE PLACED IN THE MIDDLE OF THE PILE WITHIN 10 FEET OF THE CENTER OF GRAVITY OF THE PILE. THE PILE SHALL BE PLACED WITHIN 10 FEET OF THE CENTER OF GRAVITY OF THE PILE. THE PILE SHALL BE PLACED WITHIN 10 FEET OF THE CENTER OF GRAVITY OF THE PILE.
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SEDIMENTATION CONTROL AT CATCH BASIN

DRAINAGEWAY CROSS-SECTION

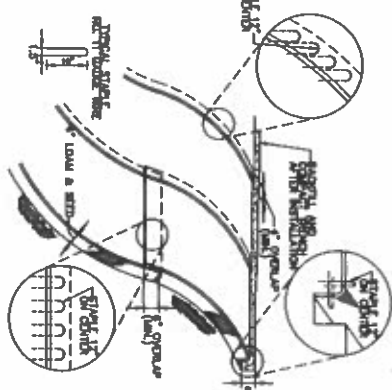


SPACING BETWEEN STONE CHECK DAMS

CONSTRUCTION SPECIFICATIONS:
1. STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.

2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION, AIN AND WATER POLLUTION WILL BE MINIMIZED.
 3. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
 4. MAINTENANCE NOTES:
 - 1. TEMPORARY DRAINage STABILIZATION STRUCTURES SHOULD BE INSPECTED AFTER EACH STORM AND DAILY DURING PROLONGED STORM EVENTS. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
 - 2. PRACTICAL ATTENTION SHALL BE GIVEN TO EROSION AND DEPOSITION AT THE DOWNSTREAM TOE OF THE STRUCTURE.
 - 3. WHEN REMOVING THE STRUCTURES, THE DESTROYED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL, GRADE AND THE AREAS PREPARED, STODD AND MULCHED.
 - 4. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STONE CHECK DAM INSTALLATION DETAIL**
- M.T.S

STONE CHECK DAM INSTALLATION DETAIL



THOM

1. ALL WORKMAN SHALL BE INSTRUCTED BEFORE THE CONSTRUCTION PERIOD, AND AFTER ANY STOPPAGE OF WORK, TO MAINTAIN THE PROPOSED SLOPE OF THE SLOPE. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
2. ANY FILLER SHALL BE SPREAD UNIFORMITY OF THE SLOPE. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THE SLOPE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SOIL DOWN.

- [illegible]

EROSION CONTROL - BLANKET SLOPE PROTECTION

PERMANENT VEGETATION:

SPECIFICATIONS

5. INITIAL PREPARATION AND REMOVAL DURING MEASURED SLOPE STATION BARBERS, DIVERSION, AND REMOVAL TASKS.
6. SOIL IS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SOILED PREPARATION, SOILING, MARCH APPLICATION, AND FIELD MEASUREMENTS.
7. REMOVAL SHOULD BE DIVIDED INTO THE SOILED AREA.
8. ON STOPS 4, 1 OR SOILED, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SOIL AND REDUCE RUNOFF.
9. SOILED PREPARATION:
10. SOILED PREPARATION WITH THE SOIL IS HEAVY AS PREPARED TO A DEPTH OF 1 INCHES WITH A DISC, SPRING TINE HARROW OR OTHER SOILED COMPACT. THE FINAL LAYING OF SOILED SHOULD BE ON THE LEFT HAND AND RIGHT HAND SIDE. THE SOILED SHOULD BE PLACED TO THE LEFT OF THE SOILED AREA AND BE PLACED TO THE RIGHT OF THE SOILED AREA.
11. REMOVE FROM THE SURFACE ALL STONES, BRUSHES OR LUMBER IN ANY DIRECTION, REMOVE ALL OTHER MATERIALS.
12. SOILED AREA IS WHEN CATCHES THE SOIL, CATCHES OTHER LUMBER, BRUSH OR OTHER MATERIALS.
13. SOILED SHOULD BE PLACED TO THE LEFT OF THE SOILED AREA. THE AREA MUST BE TILLED AND FRIED AS ABOVE.
14. RESPECT SOILED AS NOT SOILED SOILED. IF THERE WAS LEFT THE SOIL COMPACTED, THE AREA MUST BE TILLED AND FRIED AS ABOVE.
15. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, TILLAGE AND SOIL.
16. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL ADDENDUMS SHOULD BE APPLIED DURING THE SOILING STATION.
17. APPLY LUMBERING AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT AVAILABLE, APPLY SOIL ON VARIABLE SITES ON WETTER THINGS OF ORGANIC FERTILIZER AND LUMBERING IS NOT AVAILABLE.

TEMPORARY VEGETATION:

5-20-2018 07:07

- [illegible]

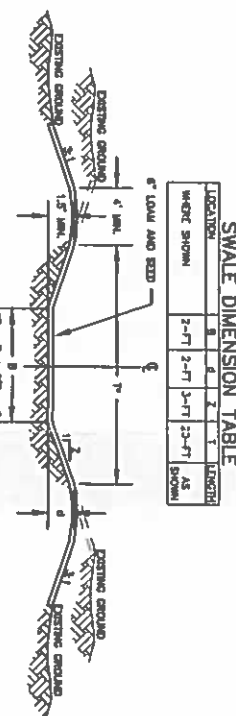
TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

SPECIES	SEEDS (BU) OR POUNDS (LBS.)	DEPT. 1,000-9"	NOTES
WHITER PINE	2.5 BU OR 112 LBS.	2.5 LBS.	SEED FOR FALL SOWING. SEED FROM JULY 15 TO SEPTEMBER 15 DEPT. OF 1" MOH.
OAKS	2.5 BU OR 80 LBS.	2.0 LBS.	SEED FOR SPRING SOWING. SEED NO LATER THAN MAY 15 FOR SPRING PROTECTION. SEED TO A DEPTH OF 1" MOH.
ANNUAL PITCHPINES	40 LBS.	1.0 LB.	SOWING QUICKLY, BUT BE OF SHORTY DURATION. SEEDS ARE IMPORTANT.
PERENNIAL PITCHPINES	30 LBS.	0.7 LBS.	SEED LAST SPRING AND/OR SPRING AUGUST 15 AND/OR SEPTEMBER 15. SEED NO LATER THAN MAY 15 FOR DEPT. NO DEPT. THAN 0.25 INCH OF SOIL.
			SEED FOR FALL SOWING. SEED FROM JULY 15 TO SEPTEMBER 15 DEPT. OF 1" MOH.

PERMANENT VEGETATION

USE	MATERIAL	SPECIES	USE/ACRE	USE/SY 1,000-SY
STEEL CUTS AND AND SPOON AND SPOON	A	TALL TREES AND TREES TOTAL	20 20 42	0.45 0.45 0.90
WATERWAYS EMERGENCY AND CHANNELS WITH FLUING WATER	A	TALL TREES AND TREES TOTAL	20 20 42	0.45 0.45 0.90
UTILITY USED PARKING LOT, UNPAVED LANE, AND LOW REDIRECTION SITS	A	TALL TREES AND TREES TOTAL	20 20 42	0.45 0.45 0.90
PLAY AREAS AND ATHLETIC FIELDS (TROPIC GOOD TURF)	F	GRASS AND TREES AND TREES TOTAL	50 50 100	1.15 1.15 2.30

VEGETATED SWALE DETAIL



1. THE SWIMMERS SHOULD BE DIVIDED INTO THE BEST OF THE SIXES, LEAVE AREAS TO PROMOTE HEALTHY GROWTH AND PREVENT THE DEVELOPMENT OF WEEDS AND WOODY SHRUBS (LEAVING A CLEAR CORRIDOR IN SWIMLIES) FOR SHORT. THE BEST FIVE
2. THE SWIMMERS SHOULD BE FERTILIZED ON AN ANNUAL BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION COULD RESULT IN THE SWIMMERS BECOMING A MAJOR PROBLEM TO THE ENTIRE POND. WEEDS AND SHRUBS SHOULD BE REMOVED
3. THE SWIMMERS SHOULD BE MONITORED FOR WEEDS AND SHRUBS. EVERY MAJOR SWIMMING AREA SHOULD BE MONITORED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DEGRADATION.

#	DATE	REVISION		
#	DATE	REVISION		
#	DATE	REVISION		
NO.	DATE	REVISION		
DRAWN:		DESIGNED:	CHECKED:	APPROVED:



THE MONARCH SCHOOL
OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866

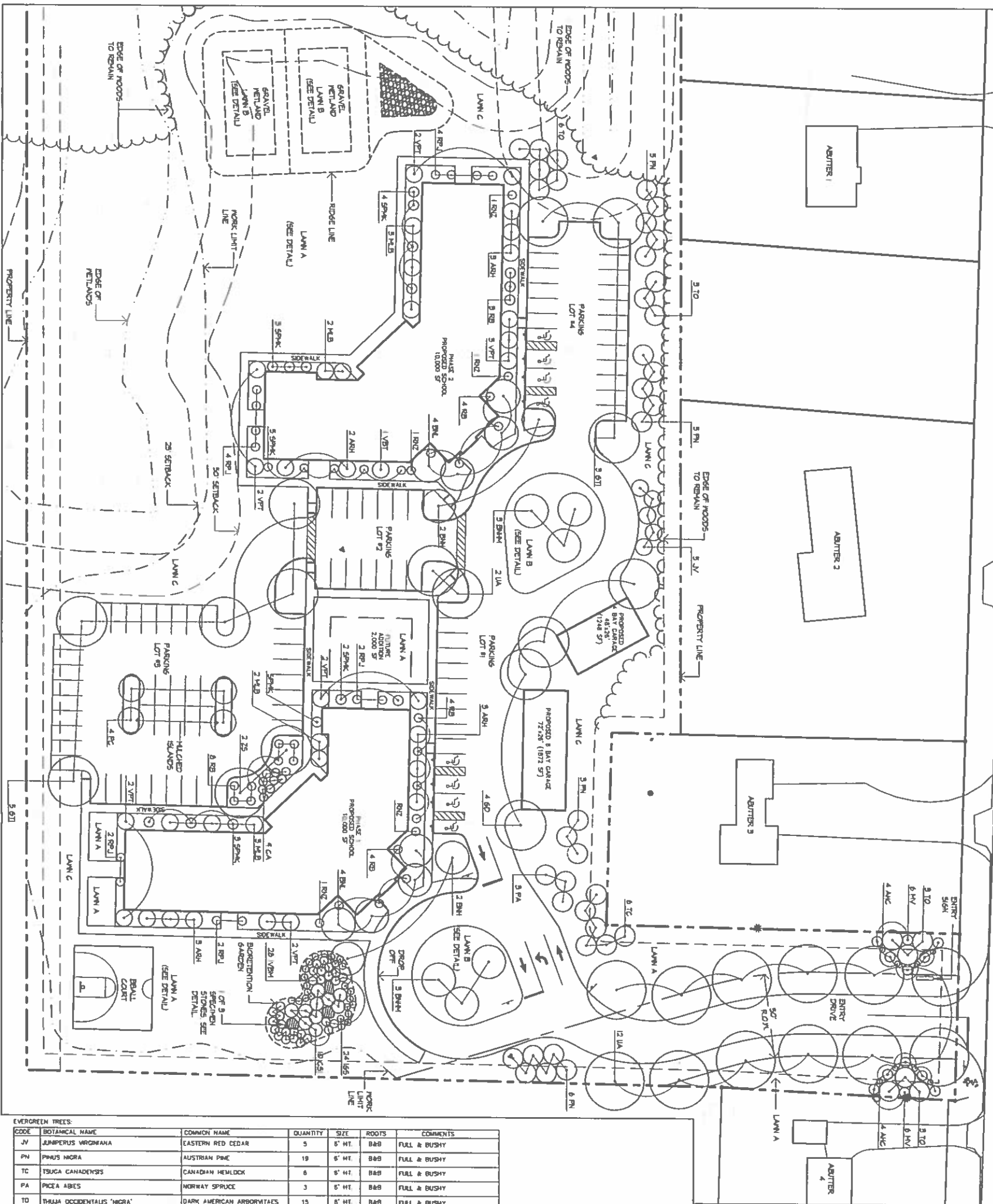
**TAX MAP 111 LOT 48
THE MONARCH SCHOOL
61 EASTERN AVENUE
ROCHESTER, NH
EROSION & SEDIMENT
CONTROL MEASURES**

SCALE: N 7.5	JOB NO. 15-0225
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WAR., 2016

C73

EASTERN AVENUE



EVERGREEN TREES:					
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOTS
JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5	6" HT.	B&B
PN	PRUNUS NIGRA	AUSTRIAN PINE	18	6" HT.	B&B
TC	TSUGA CANADENSIS	CANADIAN HEMLOCK	6	6" HT.	B&B
PA	PICEA ABIES	NORWAY SPRUCE	3	6" HT.	B&B
TO	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	15	6" HT.	B&B
DECIDUOUS TREES:					
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOTS
ARH	AMELANCHIER ROBIN HILL	ROBIN HILL SERVICEBERRY	11	5' HT.	B&B
BH	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	4	3" CAL.	B&B
BH	BETULA NIGRA 'HERITAGE' (MULTI-STEM)	HERITAGE RIVER BIRCH	8	6" HT.	B&B
BH	BETULA NIGRA 'LITTLE KING'	LITTLE KING RIVER BIRCH	8	10' HT.	B&B
CO	CYNOCALADUS DOUGLASS	KENTUCKY COFFEE TREE	4	3" CAL.	B&B
CT	QUERCUS TRICANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	8	3" CAL.	B&B
PI	PIRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	4	3" CAL.	B&B
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	14	3" CAL.	B&B
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2	3" CAL.	B&B
DECIDUOUS SHRUBS:					
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOTS
CS	CORNUS SERICEA 'SANT'	SANT RED OSER DOGWOOD	10	24" HT.	CONT.
MLB	MAGNOLIA LOEBNERI 'BALLARNA'	BALLARNA MAGNOLIA	10	3" HT.	B&B
WV	WAPLEAF VIBURNUM	VIBURNUM ACERIFOLIUM	12	3" CAL.	B&B
SPMK	SYRINGA PATULA 'WISS KIM'	WISS KIM LILAC	17	3" HT.	B&B
VPT	VIBURNUM P.T. MARIE'S	MARIE'S DOUBLETLE VIBURNUM	14	3" CAL.	B&B

EVERGREEN SHRUBS:					
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOTS
AHC	AZALEA 'HYPO-CRUSON'	HYPOCRUSON AZALEA	8	18" HT.	B&B
IGS	ILEX QUILA 'SHAMROCK'	SHAMROCK HIBERNIA	24	16" HT.	CONT.
IVMB	ILEX VERTICILLATA 'MARYLAND BEAUTY'	MARYLAND BEAUTY WINTERBERRY	28	24" HT.	CONT.
RB	RHOODODENDRON BOULE DE NEIGE	BOULE DE NEIGE RHOODODENDRON	20	24" HT.	B&B
RNZ	RHOODODENDRON NOVA ZEMBLA	NOVA ZEMBLA RHOODODENDRON	4	30" HT.	B&B
RPJ	RHOODODENDRON P.J.M.	P.J.M. RHOODODENDRON	14	30" HT.	B&B
ORNAMENTAL GRASSES:					
CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOTS
CA	CALAMAGROSTIS 'ACUTIFLORA 'EARL FORESTER'	EARL FORESTER FEATHER REED GRASS	9	3 GAL.	CONT.

L-1 NOTE

SEE L-2 FOR PLANTING NOTES AND DETAILS.

THE MONARCH
SCHOOL OF
NEW ENGLAND
61 EASTERN AVENUE
ROCHESTER, NH

LANDSCAPE ARCHITECT:
HB LA
N.C.
170 Commerce Way, Suite 102
Portsmouth, NH 03801
P 603-431-4000

DESIGNED FOR: DATE:

PLANNED SUBMITTAL: 09/07/16

STAMP / SIGNATURE

LANDSCAPE
PLANTING PLAN

SCALE: 1" = 30'
DATE: AS SHOWN
JOB: 00000
FILE: 0000000000
DRAWN: ID
CHECKED: RCH

L-1

81 EASTERN AVENUE
ROCHESTER, NH

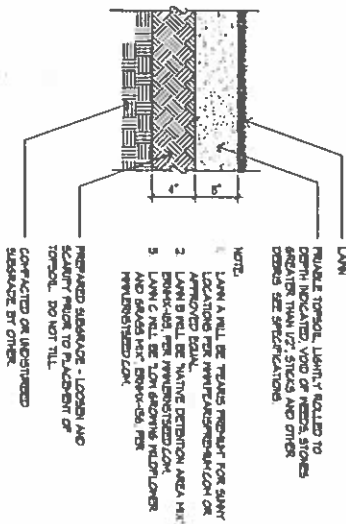
HB LA

P 603-431-4000

FLAN BOARD SUBMITAL 09/27/16

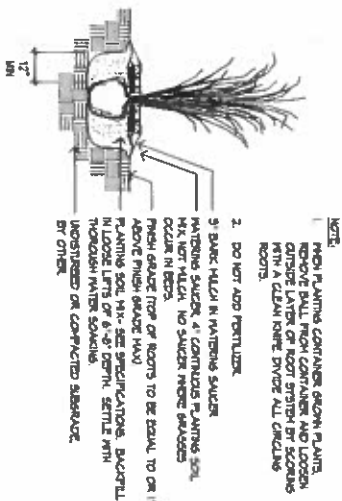
SCALE:	AS SHOWN
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LAWNS AND LOAM
NOT TO SCALE



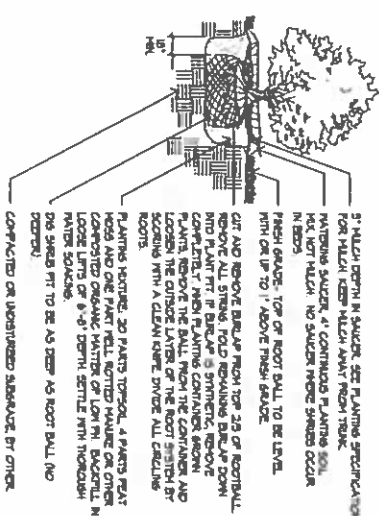
ORNAMENTAL GRASS PLANTING

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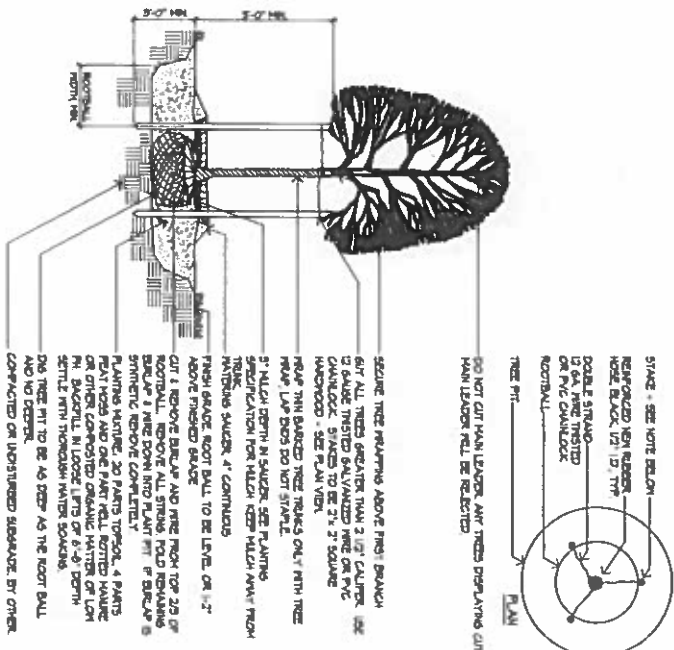
SHRUB PLANTING
NOT TO SCALE

NOT TO SCALE



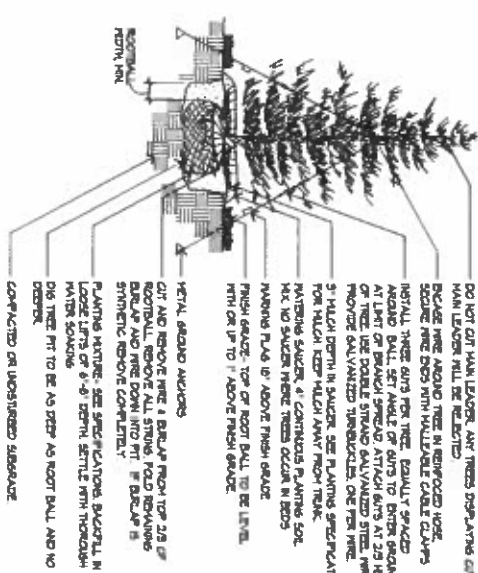
DECIDUOUS TREE PLANTING

NOT TO SCALE



EVERGREEN TREE PLANTING

NOT TO SCALE



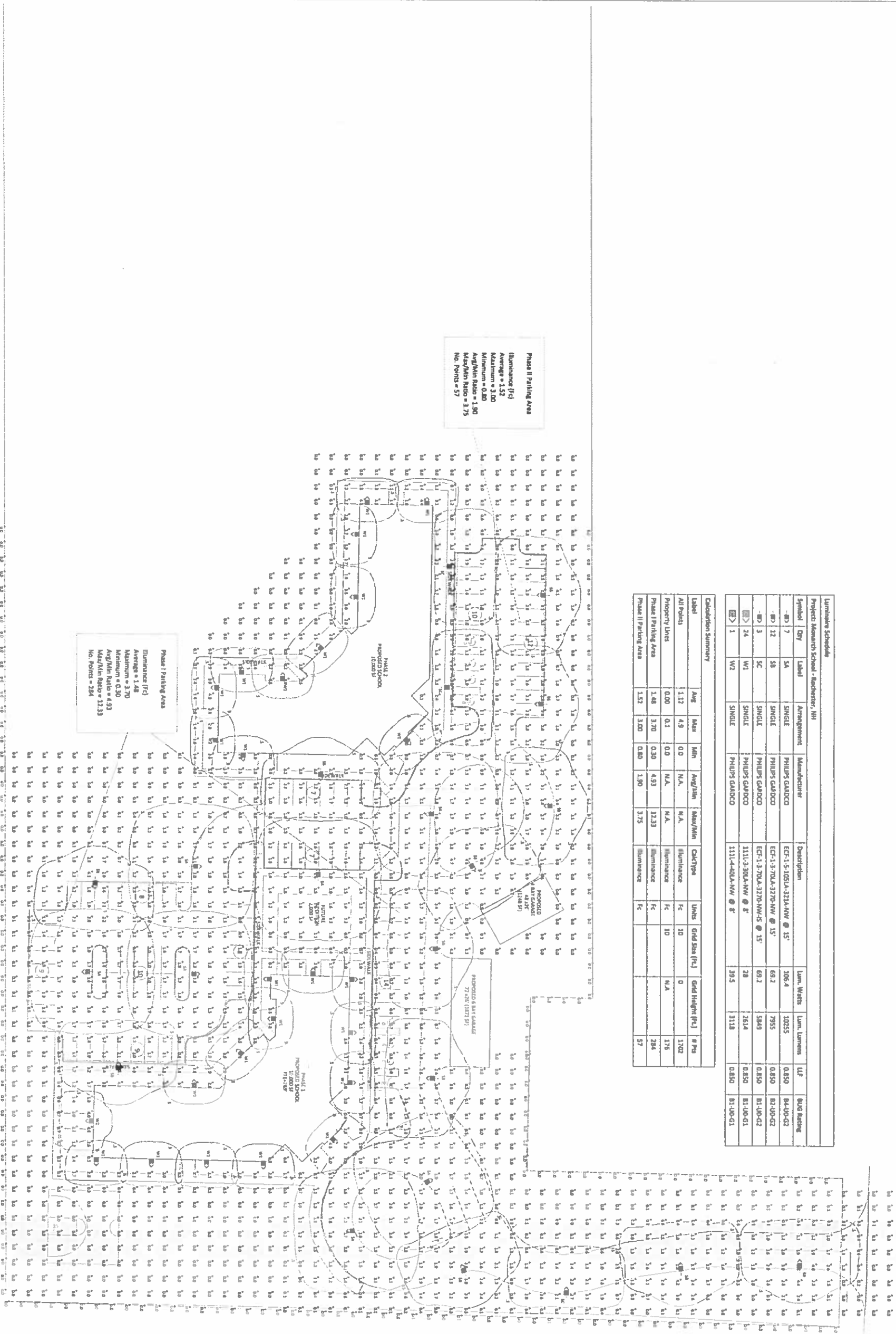
L-2 NOTE

SEE L-1 FOR PLANTING PLAN

PLANTING NOTES

- 1 CONTRACTOR SHALL SUPPLY PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS SHOWN ON THESE DRAWINGS OR PLANT LIST - WHICH EVER IS GREATER. CLEARLY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PLANTER ORDER.
- 2 ALL PLANT MATERIALS SHALL CONFORM AT A MINIMUM TO SPECIFICATIONS ESTABLISHED BY LATEST EDITION OF AMERICAN ASSOCIATION OF DECIDUOUS AMERICAN STANDARD OF NURSERY STOCK.
- 3 DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL WILL NOT BE RECEIVED FOR ACCEPTANCE DUE TO STRESS OF LEAF PHYLLOCLASIS. THIS PLANT MATERIAL WILL NOT BE RECEIVED UNTIL FOLLOWING GROWING SEASON. QUARANTINE PERIOD WILL BE 90 DAYS. PLANT MATERIALS ACCEPTED FOR PLANTING SHALL BE PLANTED ON OR ABOUT 15 THROUGH NOVEMBER 15.
- 4 REPRESENTATIVE PLANT MATERIAL OF SPECIES SHALL BE USUALLY PROVIDED WITH PROCTOR CORNERS AND BOTANICAL TAGS. TAGS SHALL BE PLACED IN PLANT MATERIALS IN SUCH MANNER AS TO BE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT AT HIS OR HER SOLE DISCRETION.
- 5 PLANT MATERIAL IS SUBJECT TO APPROVAL AND OR REJECTION OF LANDSCAPE ARCHITECT AT THE NURSERY OR AT PROJECT SITE.
- 6 MULCH FOR PLANTED AREAS SHALL BE ASED ONE INCH DEEP, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF NOOD CHIPS THICKER THAN 1/4 INCH PIECES OTHERWISE SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS.
- 7 PLANT MATERIAL SHALL BE LOCATED OUTSIDE BUILDING FOOTPRINT AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE FROM ROOF RUN OFF. CLIMATIC CONFLICTS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALL.
- 8 ALL SHEDS GARAGES SHALL BE INCORPORATED INTO PLANTING BEDS. WHERE MULCHED PLANT BED ADJACENT LANE CONTRACTOR SHALL PROVIDE A TIEP OUT EDGE.
- 9 ALL PLANT BED EDGES SHALL INTERSECT WITH PAVEMENTS AT 90 DEGREE ANGLES UNLESS OTHERWISE SHOWN ON DRAWINGS.
- 10 ALL PLANT BED EDGES SHALL BE SMOOTH AND CONSISTENT IN LAYOUT. IRREGULAR, WAGY EDGES WILL NOT BE ACCEPTED.
- 11 CONTRACTOR SHALL DESIGN MATERIALS AND MAINTENANCE IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTING AND METHODS OF MATERIALS AND MAINTENANCE. PLANTINGS ARE TO BE THOROUGHLY WATERED AT LEAST THREE IN THE FIRST 40 DAYS.
- 12 CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- 13 CONTRACTOR SHALL REMOVE ALL TREE STAKES (IF INCLUDED) ONE YEAR AFTER INSTALLATION.
- 14 ROOT BALL SHALL BEAR SAME RELATIONSHIP TO NEW GRADE AS TO ORIGINAL GRADE.
- 15 NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF SUBSURFACE DRAINAGE AND ROUGH GRADING.
- 16 NO PLANTS SHALL BE PLANTED BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THAT AREA.
- 17 IF CONTRACTOR DISCOVERS POCKET DRAINAGE SOILS (BATH TUB BOTTOM) OR CODES WITHIN ANY PLANTING BED CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING IMMEDIATELY FOR DIRECTION FROM TO INSTALLATION.
- 18 CONTRACTOR SHALL STAKE OR PLACE ON SURFACE OF GROUND ALL UNDESIRABLE PLANT MATERIAL LOCATIONS AS PER PLAN CONTRACTOR SHALL REMOVE ALL PLANT MATERIAL FROM TO REMOVAL AND APPROVAL.
- 19 LANDSCAPE ARCHITECT SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND REQUESTING A FERTING OR INJECTION.
- 20 CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
- 21 AFTER ON PLANTING IS COMPLETED ON GROUND DISTANCE AS A RESULT OF CONSTRUCTION WILL BE PLANT AS EXPOSED. ALL UNDESIRABLE PLANTS NOT TREATED WILL BE REJECTED. PLANTING ARE TO BE COMPLETED WITH MINIMUM 6 INCHES SLOPED DOWN (2:1 OR LESS) AND SECTED WITH NIN CONSISTENT WITH LANDSCAPE PLANTING PLAN.

Scale: 1 Inch= 30 Ft.



Luminaire Schedule						
Project: Monarch School - Rochester, NH						
Symbol	Qty	Label	Arrangement	Manufacturer	Description	
-B7	7	SA	SINGLE	PHILIPS GARDCO	ECF-1-5-105A-3270-NW @ 15'	Lum. Waits Lum. Lumens U.F. BULB Rating
-B12	12	SB	SINGLE	PHILIPS GARDCO	ECF-1-3-70LA-3270-NW @ 15'	106.4 10255 0.850 B4-U0-G2
-B3	3	SC	SINGLE	PHILIPS GARDCO	ECF-1-3-70LA-3270-NW-5 @ 15'	69.2 7955 0.850 B2-U0-G2
-B24	24	W1	SINGLE	PHILIPS GARDCO	1111-3-30LA-NW @ 8'	584.9 584.9 0.850 B1-U0-G2
-B24	24	W2	SINGLE	PHILIPS GARDCO	1111-4-40LA-NW @ 8'	28 261.4 0.850 B1-U0-G1

Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	CalcType
All Points	1.12	4.9	0.0	N.A.	N.A.	Units Grid Size (Ft.) Grid Height (Ft.) # Pts
Property Lines	0.00	0.1	0.0	N.A.	N.A.	10 176
Phase I Parking Area	1.48	3.70	0.30	4.93	12.33	176 176
Phase II Parking Area	1.52	3.00	0.30	3.75	11.00	284 284
Phase III Parking Area	1.52	3.00	0.30	3.75	11.00	57 57

Phase II Parking Area
Illuminance (Fc)
Average = 1.52
Maximum = 3.00
Minimum = 0.30
Avg/Min Ratio = 1.90
Max/Min Ratio = 3.75
No. Points = 57

Phase I Parking Area
Illuminance (Fc)
Average = 1.48
Maximum = 3.70
Minimum = 0.30
Avg/Min Ratio = 4.93
Max/Min Ratio = 12.33
No. Points = 284

PHILIPS

Help 27 www.ssa-lighting.com
indoorlighting applications@philips.com
outdoorlighting applications@philips.com

Project #: 463-12775
Created By: R. Johnstone
Revision #: R3
Size: ARCH D
Date: 2/9/16
Page #: Page 1 of 1

Project: Monarch School - Rochester, NH
Agent: Jeff Givens - Apex Lighting
Spec For: Polge Dickie - CLD Engineers

Disclaimer
The calculations are for foot candles based on project specifications provided to PHILIPS. Actual or measured values may differ from those calculated due to variations in reflectance, mounting, lighting conditions, component performance, component performance, measurement techniques and varying conditions such as, but not limited to, foot candles, temperature, atmospheric conditions and varying conditions and conditions of the calculation, including design accuracy, and compliance with any applicable lighting codes to the responsibility of PHILIPS, and that the responsibility of the architect, owner, or owner representative, as applicable. Please refer to Luminaire Schedule for light foot candles (FC) directly used in the calculations.

Rev. #	Description	Rev. Date
R1		1/1/16
R2		1/1/16
R3		1/1/16
R4		1/1/16
R5		1/1/16