



RECEIVED

MAY 10 2016

Planning Dept.

RESIDENTIAL SITE PLAN APPLICATION (townhouses, apts., etc.)
City of Rochester, New Hampshire

Date: May 10, 2016 [office use only. fee paid _____ amount \$ _____ date paid _____]

Property information

Tax map #: 134; Lot #'s: 5; Zoning district: Residential - 2 (R2)

Property address/location: 114 Rochester Hill Road

Name of project (if applicable): Apple Ridge Apartments

Size of site: 24.75 acres; overlay zoning district(s)? Conservation Overlay

Property owner

Name (include name of individual): Apple Ridge Estates, LLC

Mailing address: 2992 Lafayette Road, Unit D; Portsmouth, NH 03801

Telephone #: _____ Fax #: _____

Applicant/developer (if different from property owner)

Name (include name of individual): D.R. Lemieux Builders, Inc.

Mailing address: 76 Exeter Road; New Market, NH 03857

Telephone #: (603) 292-3555 Fax #: _____

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc; Scott A. Lawler, PE

Mailing address: PO Box 249; Rochester NH 03866-0249

Telephone #: (603) 335-3948 Fax #: (603) 332-0098

Email address: slawler@norwayplains.com Professional license #: NH 10026

Proposed use

The applicant is not bound by information on bedrooms and ownership arrangement unless that is a condition of approval.

Total number of proposed dwelling units: 102; number of existing dwelling units: 0

Proposed bedrooms/unit: 51 2-bedrooms units; total number of proposed bedrooms: 153
51 1-bedroom units

(continued Residential Site Plan application Tax Map: 134 Lot: 5)

New building(s)? 3 addition(s)/modifications to existing building(s)? 0

Townhouses/rowhouses: flats: duplexes: freestanding detached units:

Proposed ownership - leasehold: fee simple conveyance: condominiums:

Utility information

City water? yes X no ; How far is City water from the site? Across road

City sewer? yes X no ; How far is City sewer from the site? 110 feet

If City water, what are the estimated total daily needs? 18,360 gallons per day

Where will stormwater be discharged? un-named wetlands

Other information

parking spaces: existing: 0 total proposed: 180; Are there pertinent covenants? no

Describe existing conditions/use (vacant land?): Vacant

Check any that are proposed: variance X; special exception ; conditional use

Wetlands: Is any fill proposed? no; area to be filled: n/a; buffer impact? no

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	11,065 sf each building 33,195 sf total	3.1 %
Parking and vehicle circulation	82,780 sf	7.7 %
Planted/landscaped areas (excluding drainage)	112,133 sf	10.4%
Natural/undisturbed areas (excluding wetlands)	73,550 sf	6.8%
Wetlands	721,102 sf	66.9%
Other – drainage structures, outside storage, etc.	55,350 sf	5.1%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

A waiver request for a parking reduction from 2 spaces per unit to 1.75 spaces per unit.

A waiver is requested to allow for an increase in the volume of stormwater runoff leaving the site.

(continued Residential Site Plan application Tax Map: 134 Lot: 5)

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: 5/3/2016

Signature of applicant/developer: _____

Date: 5/3/2016

Signature of agent: _____

Date: 5/3/2016

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

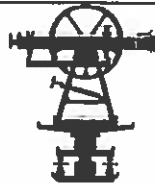
Signature of property owner: _____

Date: 5/3/2016

NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS • SEPTIC SYSTEM DESIGNERS • ENGINEERS • TRANSPORTATION PLANNERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
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P. O. Box 268
31 Mooney St.
Alton, NH 03809
www.norwayplains.com
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rtetreault@norwayplains.com

May 10, 2016

Seth Creighton, Chief Planner
Department of Planning and Development
31 Wakefield Street
Rochester, NH 03867-1917

Re: Residential Site Plan Application; Apple Ridge Apartments; 114 Rochester Hill Road - Map 134, Lot 5.

Dear Mr. Creighton:

On behalf of Apple Ridge Estates, LLC and D.R. Lemieux Builders, Inc., Norway Plains Associates Inc is please to submit a Site Plan Application for a multi-family project. The proposal is to construct a multi-family development with a total of 102 units. The proposed project is located at 114 Rochester Hill Road, as depicted on the Rochester Assessor Map 134, Lot 5. The parcel is located in the Residence 2 (R2) zoning district. This project was presented to the Planning Board in April, as a conceptual design review.

The 24.75 acre property is owned by Apple Ridge Estates, LLC and had previously gone through a 15 lot single family subdivision back in 2004. However, do to the down turn in the residential housing market, the subdivision was never constructed. D.R. Lemieux Builders, Inc will be purchasing the property once approvals are obtained.

The project, which will be phased over several years, will consist of three building, associated parking and several communitive open spaces amenities. The 11,065 square foot footprint apartment buildings will have an even mixture of one-bedroom and two-bedroom units over three stories. The proposed buildings will have a center community space on the first floor, common entry mail rooms, laundry room and central office. There will be covered porches entrances and the buildings will be orientated to provide sunlight to the units.

Access to the project will be from a single driveway off Rochester Hill Road, also known as NH Route 108. Parking for the residents and visitors will be located around the perimeter of the development. This allows for circulation good around the site for emergency vehicles, while creating an inner core of play areas, gardens and outside community activity areas. Essentially, this will create a carless interior with walkable pathways for all ages.

Under the Site Review Regulations, each dwelling unit shall have a minimum of 2 parking spaces. At 102 units, the development would require at least 204 parking spaces. However, it is our opinion, that apartment complex which have one-bedroom units do not require as many spaces as a two-bedroom units. As such, we suggest a ratio of 1.75 parking spaces per unit would be an appropriate number for the

bases of design. Thus, we are depicting 180 parking spaces, which included 9 accessible parking spaces and 12 designated visitor parking spaces. A waiver to the Site Review Regulations, Section 10 (A) is attached. Should there be a need to accommodate additional parking, the plans show an additional 25 parking spaces, depicted as “future”. Therefore, bring the total number of parking spaces in compliance with the regulations.

The advantage to a reduced parking space calculation would allow for more green spaces around the buildings, all while reducing the impervious coverage. Stormwater from the proposed development will be collected with catch basins and area drains. The discharge from the closed system will be into a large gravel wetlands basin located at the north end of the development. After being treated, the stormwater will flow into an infiltration basin to allow for some recharge into the ground before being released down slope. The receiving area for the treated runoff is a very large wetlands complex, approximately 12 acres, located adjacent to the Northcoast Rail Road tracks.

The stormwater management system has been designed to meet the New Hampshire Department of Environmental Services; Alteration of Terrain regulations, but it does not quite meet the City of Rochester; Chapter 50 Stormwater Management and Erosion Control Ordinance. More specifically, Chapter 50 requires there be no increase in the rate of stormwater discharge and no increase in the volume of stormwater leaving the property. The stormwater management system is able to meet and/or exceed the requirements for rate of discharge; the total volume of stormwater will increase as the result of this development. Therefore, we are respectfully requesting a waiver to allow for a slight increase in the volume of stormwater.

To enhancing the neighborhood feel of the proposed development, a large play area field is proposed in the northwesterly corner. A bus pull-off is proposed for the school children and possible a Coast Bus stop. The site will be inundated with nice shade trees, community gardens, landscaping, patios, a gazebo and several play areas.

The site will be serviced by municipal water and sewer. A water main will be brought into the site that will provide both domestic and fire suppression needs. A sanitary sewer system comprised of a gravity sewer collection and a sewer pump station will discharge the wastewater to municipal system located on Rochester Hill Road. The site will be serviced by underground utility lines and natural gas. A lighting plan has been provided to which depicts attractive LED lighting fixtures around the parking lot and walkways. A nice freestanding granite sign will be erected at the entrance off Rochester Hill Road.

A nice row of large trees will be planted along the main driveway, creating an inviting entrance to the site. Shade and ornamental trees will be installed around the parking lot and walkways. Foundation plantings will spruce up the buildings and evergreens will be installed as necessary to provide screening to the abutting residential properties. Dumpster enclosures are located in three convenient locations, which a PVC panel fencing. Snow storage areas are depicted around the perimeter of the site.

The project requires a variance from Section 42.5(b)(2)(a) of the zoning ordinance to provide for parking along the front of the structures. In discussing this provision with the Planning Department, it is understand that the ordinance requirement is intended to prohibit parking in front of a structure, where the parking can be seen from the roadside, or in this case, Rochester Hill Road. The general intent of the regulation is to provide, where a multi-unit structure is proposed along a road, that parking be on the side or rear of a structure to avoid seeing the parking as one drives by the structure. In this instance, buffering will be located within the narrow portion of the lot in order to shield the parking so that those travelling

along Rochester Hill Road will avoid seeing the parking within the proposed development. Even without the proposed buffering, given the unique shape of the property, any such parking could only be seen from Rochester Hill Road by looking down a long and narrow driveway, with the parking located more than 325 feet away.

The proposed project will require several State permits including the NHDES Alteration of Terrain Permit, NHDES Sewer Discharge Permit and NHDOT Driveway permit.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Scott A. Lawler". The signature is fluid and cursive, with a large initial "S" and a stylized "L".

By:

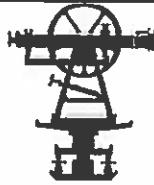
Scott A. Lawler, PE, Project Engineer

cc: Apple Ridge Estates, LLC
D.R. Lemieux Builders, Inc.
FX Bruton; Bruton & Berube, PLLC

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May 10, 2016

Seth Creighton, Chief Planner
Planning Department
City of Rochester
31 Wakefield Street
Rochester, NH 03867

**Re: Waiver Request: Section 13(A)(1); Chapter 50 Stormwater Management.
Apple Ridge Apartments, 114 Rochester Hill Road; Rochester, NH, Tax Map 134, Lot 5.**

Dear Seth:

On behalf of D.R. Lemieux Builders, Inc and Apple Ridge Estates, LLC, Norway Plains Associates respectfully requests waivers to the following Site Plan Regulation:

Waiver Request Section 13 (A)(1):

Section 13(A)(1) of the Rochester Site Plan Review Regulations requires that a design for a sites stormwater management systems shall be in compliance with Chapter 50 Stormwater management and Erosion Control. Pursuant to section 50.8(c)(2), the proposed methods of handling stormwater runoff so there is no increase in the rate or volume of runoff that leaves the boundary of the site.

A Drainage Analysis and Report has been prepared for the project and the specific details of the stormwater management system will be discussed in detail with Owen Friend-Gray, Assistant City Engineer. All of the stormwater runoff from the proposed impervious surfaces will be collected within an open and closed drainage system and treated via a gravel wetlands basin before leaving the site. Additional, an infiltration basin will be constructed to provide groundwater recharge and infiltrate some of the stormwater runoff from the development. However, there will be an increase in the total volume of stormwater generated by the development.

Due to the existing soils characteristics, the underling soils infiltration rates are slow. As such, the ability to balance the volume of stormwater generated under the post development conditions against the pre-development is not obtainable. With the implementation of the grassed infiltration basin downstream of the proposed development, the volumes were reduced to the extent possible, just not to the threshold of the pre-existing conditions. It should be noted; the stormwater management system meets or exceeds the requirements of the New Hampshire Department of Environmental Services, Alteration of Terrain Program.

A review of the downstream conveyance system indicates the stormwater would travel overland down to a large 12-acre wetlands complex and another 400 linear feet prior to reaching a 65" round culvert under

the railroad tracks. This overland flow path is heavily vegetated and virtually flat. As such, the total volume of stormwater reaching the culvert will be significantly dissipated from the amount that is leaving the proposed project.

In conclusion, although there is a slight increase in the total volume of stormwater leaving the property in the post construction analysis, there should be no impacts to the downstream watershed as the result of the proposed lot development.

Thank you for your consideration.

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.



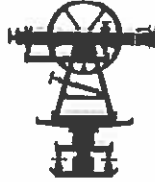
By: _____
Scott A. Lawler, P.E., Project Engineer

cc: David Lemieux, D.R. Lemieux Builders, Inc.
Owen Friend-Gray; Assistant City Engineer, City of Rochester

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May 10, 2016

Seth Creighton, Chief Planner
Planning Department
City of Rochester
31 Wakefield Street
Rochester, NH 03867

**Re: Waiver Request: Section 10(A); Number of Parking Spaces
Apple Ridge Apartments, 114 Rochester Hill Road; Rochester, NH, Tax Map 134, Lot 5.**

Dear Seth:

On behalf of D.R. Lemieux Builders, Inc and Apple Ridge Estates, LLC, Norway Plains Associates respectfully requests waivers to the following Site Plan Regulation:

Waiver Request Section 10 (A):

Section 10(A) of the Rochester Site Plan Review Regulations requires that the minimum number of designated off street parking shall be provided on each site based upon the type of use, as shown in the Table of Parking Requirements. For Residential use, the requirement is 2 spaces per dwelling unit.

Under the Site Review Regulations, each dwelling unit shall have a minimum of 2 parking spaces. With the proposed 102 units, the development would require a minimum of 204 parking spaces. However, the site Review Regulations does not specify the number of bedrooms per dwelling unit.

It is our opinion, based on other similar projects, that apartment complex which have one-bedroom units do not require as many spaces as two or more bedroom units. Furthermore, given the close proximity to public transportation, Coast Bus, there is a potential of fewer vehicles and parking. Therefore, we suggest a ratio of 1.75 parking spaces per unit would be an appropriate number for the bases of design. Thus, we are depicting 180 parking spaces, which included 9 accessible parking spaces and 12 designated visitor parking spaces.

Since the proposed project will be constructed in phases, the ability to reevaluate the parking needs can be closely observed and adjustments can be made. As such, the plans show an additional 25 parking spaces, depicted as "future", should it be determined there is a need for more parking. Thus, bring the total number of parking spaces in compliance with the regulations.

Thank you for your consideration.

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Scott A. Lawler", written over a horizontal line.

By: _____
Scott A. Lawler, P.E., Project Engineer

cc: David Lemieux, D.R. Lemieux Builders, Inc.



APPLE RIDGE APARTMENTS

114 ROCHESTER HILL ROAD

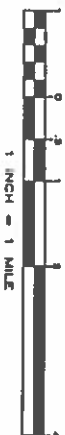
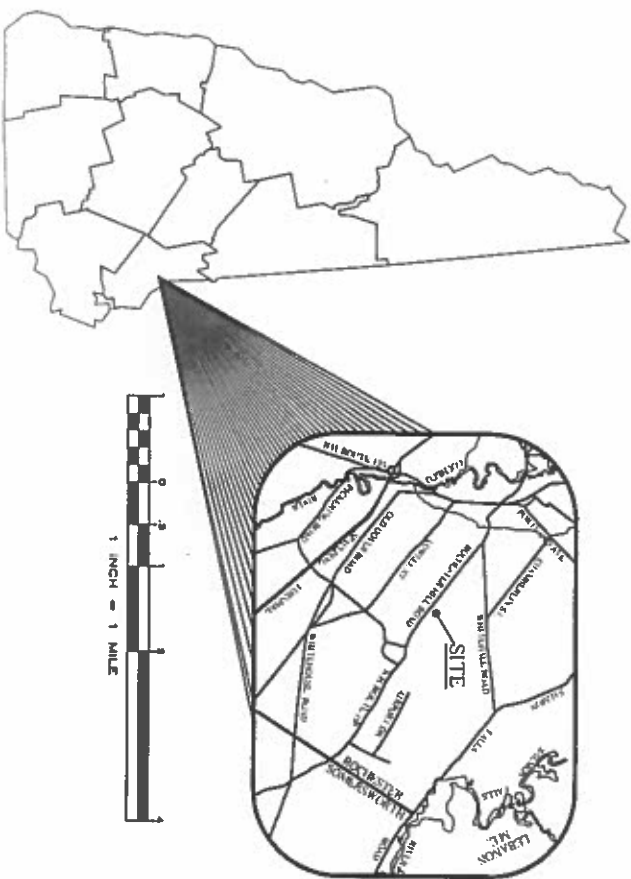
PREPARED FOR

D.R. LEMIEUX BUILDERS, INC.

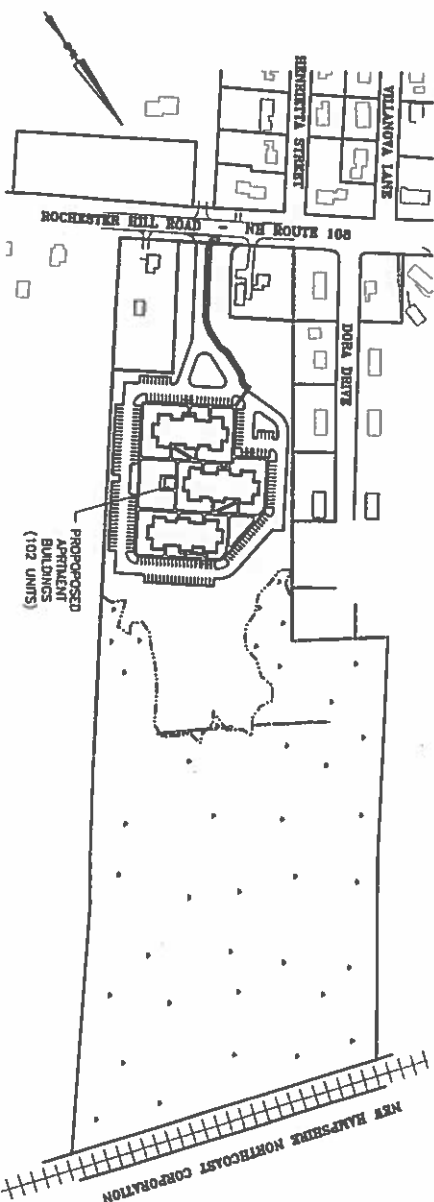
ROCHESTER, N.H. 03867

MAY 2016

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CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTRACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE. GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED IN THIS PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603) 335-3848.



OVERALL SITE
1" = 200'

CIVIL ENGINEERS

NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3848

LANDSCAPING ARCHITECTS

WOODBURN & COMPANY ARCHITECTURE, LLC
103 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03857
(603) 658-5849

ARCHITECTS

LASSEL ARCHITECTS PA
370 MAIN STREET
SOUTH BERRICK, ME 03808-370
(207) 384-2048

OWNER OF RECORD

TAX MAP 134, LOT 5
OWNER OF RECORD:
APPLE RIDGE ESTATES, LLC
2992 LAFAYETTE RD UNIT D
PORTSMOUTH, NH 03801
SCRD BOOK 2462, PAGE 0007 & PAGE 0522

APPLICANT

D.R. LEMIEUX BUILDERS, INC.
78 EXETER ROAD
NEWMARKET, NH 03857
(603) 292-3555

STATE AND FEDERAL PERMITS:

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
SEWER DISCHARGE PERMIT: NOT REQUIRED
WETLANDS PERMIT: NOT REQUIRED
SHORELAND PERMIT: NOT REQUIRED
WATERBURY PERMIT: NOT REQUIRED
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NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITTING: THE ONLY REQUIRED FOR PROJECTS WITHIN THE DISTURBED AREA OF A WETLAND OR WATER BODY (E.G. CREEK, STREAM, LAKE, ETC.) IS AN NPDES PERMIT. THE DISTURBED AREA OF A WETLAND OR WATER BODY (E.G. CREEK, STREAM, LAKE, ETC.) IS AN NPDES PERMIT. THE DISTURBED AREA OF A WETLAND OR WATER BODY (E.G. CREEK, STREAM, LAKE, ETC.) IS AN NPDES PERMIT.

WETLANDS PERMIT:

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FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

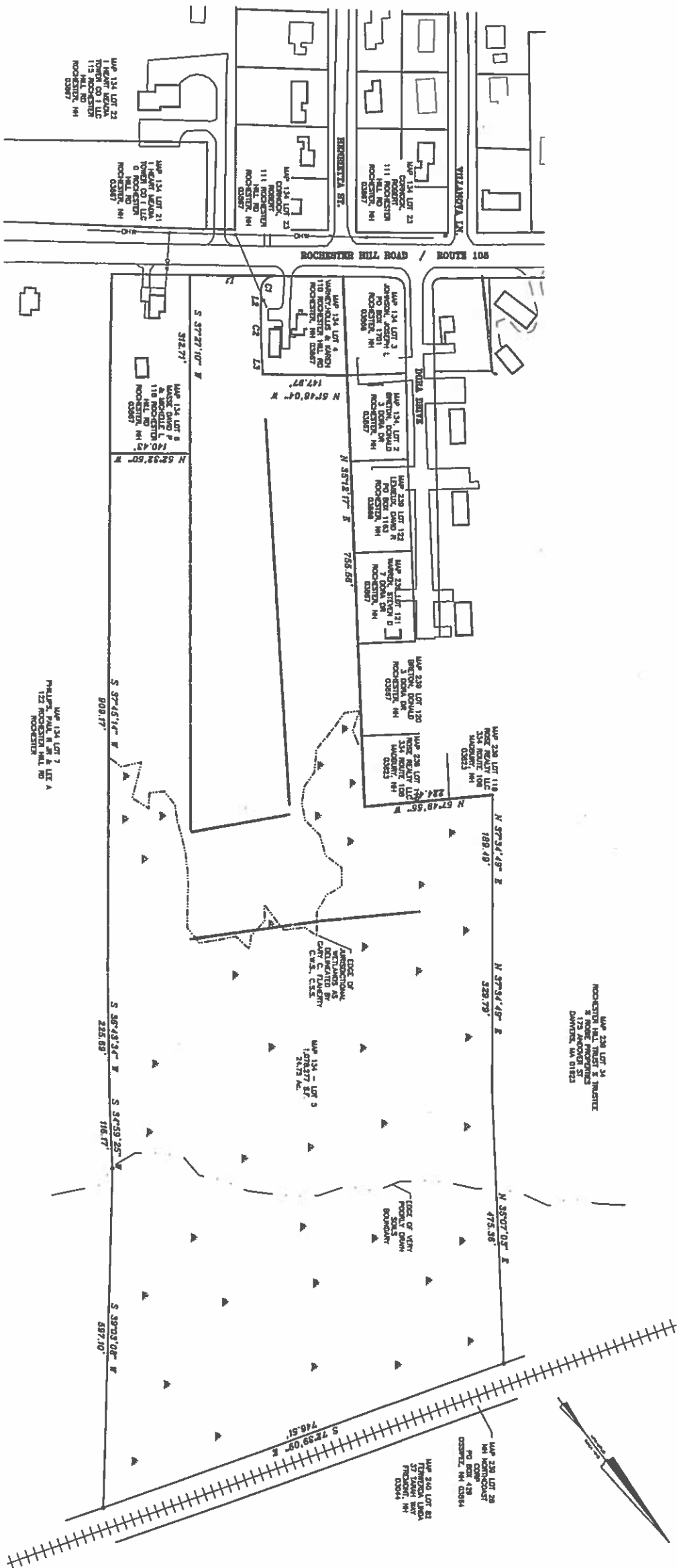
SHEET INDEX

SHEET S-1	COVER	1" = 100'
SHEET E-1	PLAN OF LAND	1" = 40'
SHEET C-1	EXISTING FEATURES	1" = 40'
SHEET C-2	OVERALL SITE PLAN	1" = 100'
SHEET C-3	SITE LAYOUT PLAN	1" = 40'
SHEET C-4	SHADING AND DRAINAGE PLAN	1" = 40'
SHEET C-5	EROSION AND SEDIMENTATION CONTROL PLAN	1" = 40'
SHEET C-6	UTILITY PLAN	1" = 40'
SHEET C-7	PARKING AND SIDEWALK DETAILS	AS SHOWN
SHEET C-8	CONSTRUCTION DETAILS	AS SHOWN
SHEET C-9	PRIVACY DETAILS	AS SHOWN
SHEET C-10	FOUNDATION DETAILS	AS SHOWN
SHEET C-11	FOUNDATION DETAILS	AS SHOWN
SHEET C-12	FOUNDATION DETAILS	AS SHOWN
SHEET C-13	FOUNDATION DETAILS	AS SHOWN
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SHEET A-10	FOUNDATION DETAILS	AS SHOWN

FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
P.E. NO.

- LEGEND
- PROPERTY LINE
 - LINE OF JURISDICTION, NEWLAYS
 - EXISTING TREE LINE
 - EXISTING STORMWATER
 - EXISTING RAILROAD TRAILS
 - EXISTING OVERHEAD WIRE
 - EXISTING UTILITY POLE
 - EXISTING MONUMENT

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR ANY ADDITIONAL INFORMATION. THE INFORMATION HEREIN IS FOR GENERAL INFORMATION ONLY. IT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE INFORMATION IS NOT TO BE USED IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



LINE DATA

L1 N 52°06'40" W 150.00'

L2 N 37°53'20" E 38.66'

L3 N 33°58'59" E 10.00'

CURVE DATA

C1 R=25.00' L=39.27' Δ=90°00'00"

C2 R=1450.09' L=98.86' Δ=3°54'22"

- GENERAL SITE PLAN NOTES
1. THIS PACKAGE IS LOCATED IN THE RECORDING-2 ZONE.
 2. THE NUMBER OF THE PLAN IS TO BE THE EXISTING PLATINGS.
 3. ON THE LOT, THE LAYOUT LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONSTRUCTION SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
 4. THE ENGINEER HAS REVIEWED THE EXISTING PLATINGS AND FOUND THEM TO BE CORRECT. THE ENGINEER HAS REVIEWED THE EXISTING PLATINGS AND FOUND THEM TO BE CORRECT.
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 66. RECORDING, (RE) ZONE.
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 98. RECORDING, (RE) ZONE.
 99. RECORDING, (RE) ZONE.
 100. RECORDING, (RE) ZONE.

PLAN OF LAND

TAX MAP 134, LOT 5

114 ROCHESTER HILL RD

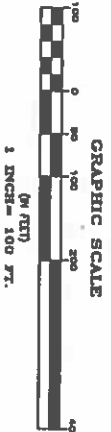
ROCHESTER, NH

PREPARED FOR: D.R. LEMUEUX BUILDERS, INC.

OWNER OF RECORD:

APPLE RIDGE ESTATES LLC

MAY 2018



FILE NO. 104

PLAN NO. C-2780

DWG NO. 15223\SP-1

F.B. NO.

31 Money Street, Allon, N.H. 603-875-3948

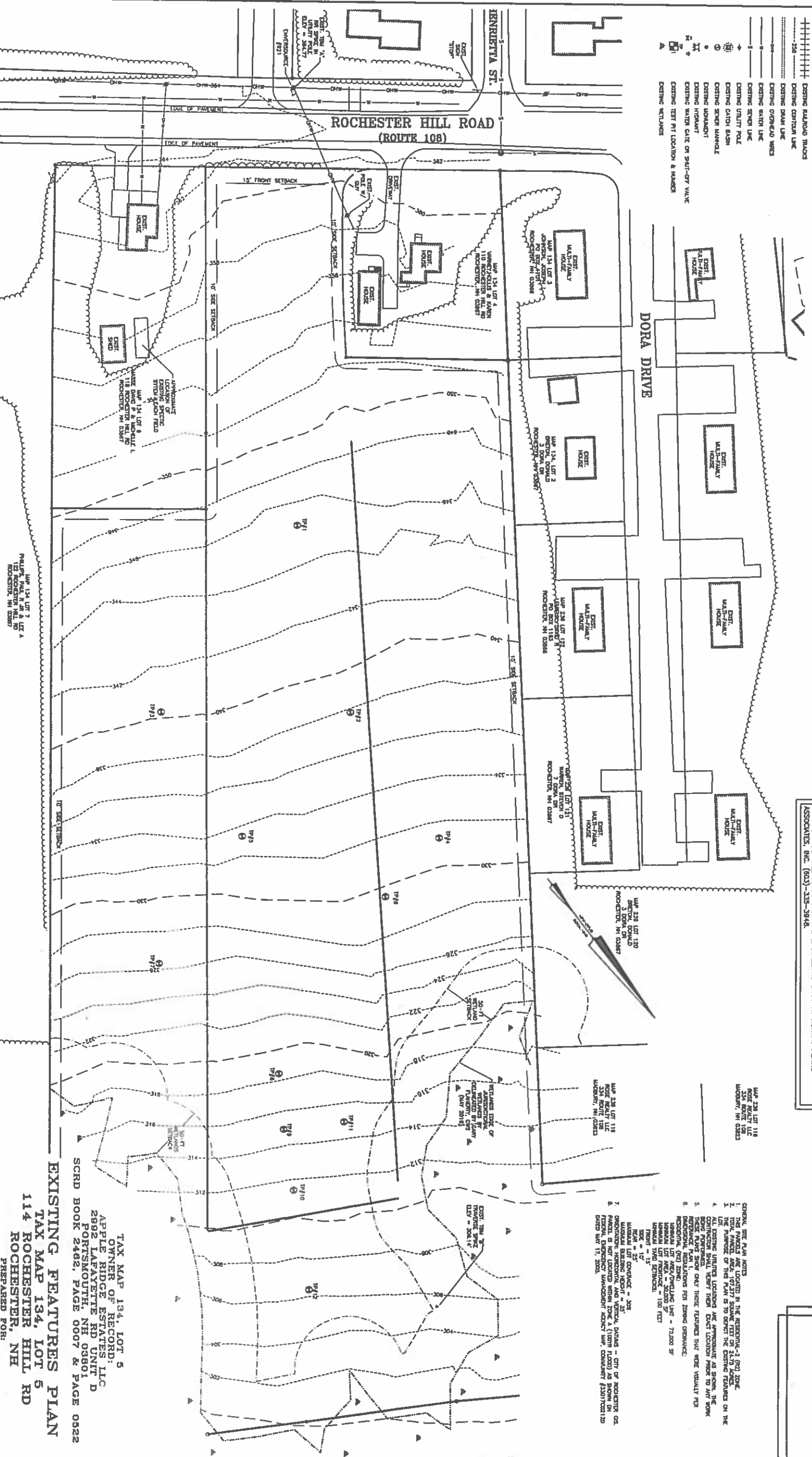
NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

S-1

1

- | | |
|-------|---------------------------------------|
| _____ | PROPERTY LINE |
| _____ | LIMIT OF ABSECONICAL RETLANDS |
| ~~~~~ | DRAINAGE TEEZ LINE |
| ===== | DRAINAGE STONEWALLS |
| ===== | DRAINAGE RAILROAD TRACKS |
| ===== | DRAINAGE CONTAINMENT LINE |
| ===== | DRAINAGE DRAIN LINE |
| ===== | DRAINAGE OVERHEAD WIRES |
| ===== | DRAINAGE WATER LINE |
| ===== | DRAINAGE SEWER LINE |
| → | DRAINAGE UTILITY POLE |
| ⊙ | DRAINAGE CATCH BASIN |
| ⊙ | DRAINAGE SEWER MANHOLE |
| ⊙ | DRAINAGE MOUNDPOINT |
| ⊙ | DRAINAGE HYDRAUNT |
| ⊙ | DRAINAGE WATER GATE ON SHUT-OFF VALVE |
| ⊙ | DRAINAGE TIEZ PIT LOCATION & NUMBER |
| △ | DRAINAGE WELLDRAIN |



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE DETERMINED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE ADDITIONAL OR HISTORICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLANS SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET, PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLAINS ASSOCIATES, INC. (602)-335-3848.

[illegible]

TAX MAP 134, LOT 5
OWNER OF RECORD:
APPLE RIDGE ESTATES LLC
2982 LAFAYETTE RD UNIT D
PORTSMOUTH, NH 03801
SCRD BOOK 2462, PAGE 0007 & PAGE 05222

EXISTING FEATURES PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

**FINAL APPROVAL BY
ROCHESTER PLANNING BOARD**

CERTIFIED BY: _____ **DATE:** _____

FILE NO. 104
PLAN NO. C-2780
DWG NO. 15225\SP-1
F.B. NO.

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-336-3948

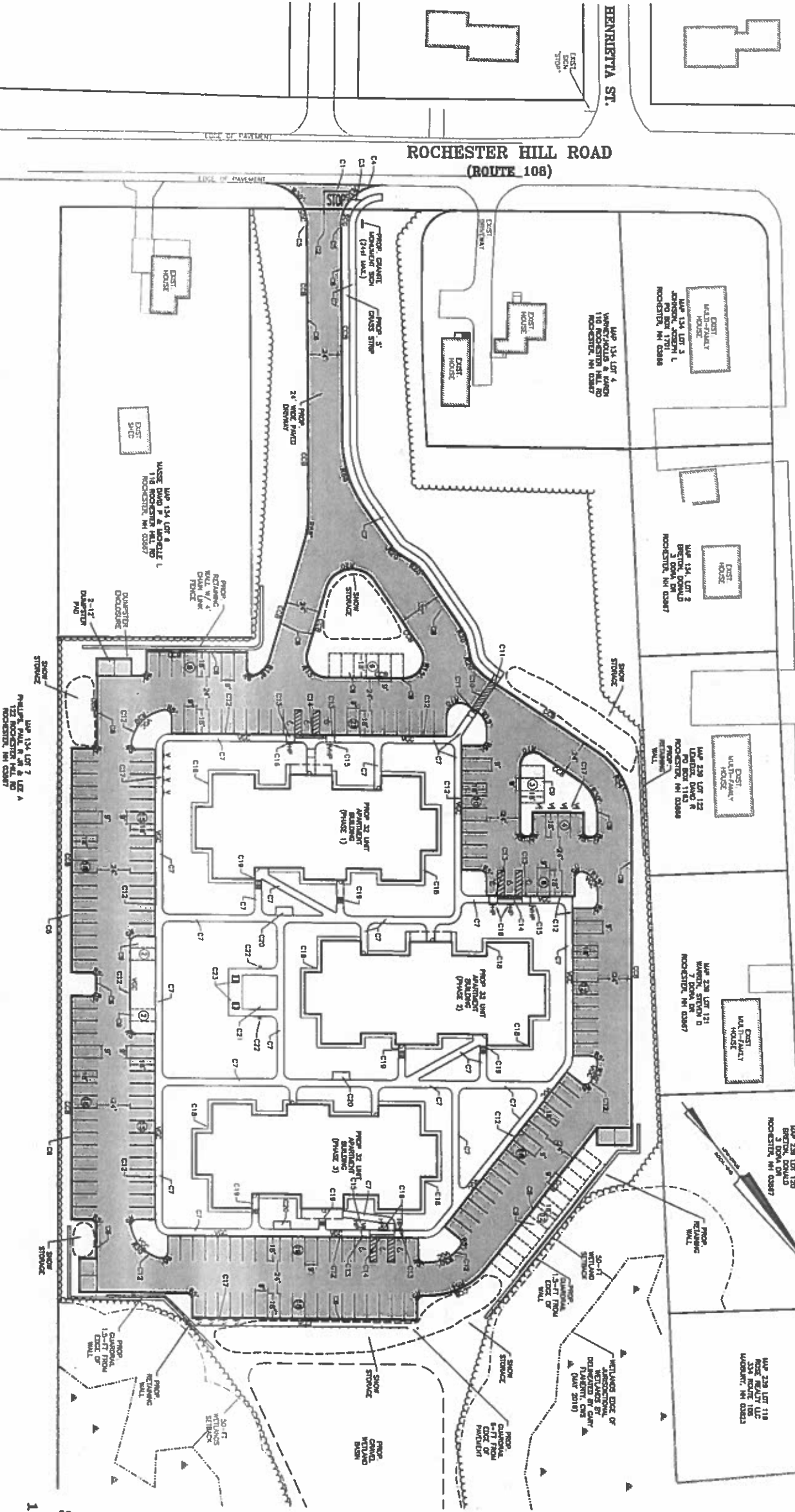


LEGEND

- PROPERTY LINE
- ADJACENT LOT LINES
- EXISTING TREE LINE
- EXISTING OVERHEAD WIRE
- EXISTING HYDRAULIC
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT WITH CURBING
- PROPOSED TREE LINE
- PROPOSED WALK, PLANK, FENCE
- PROPOSED QUADRANT
- PROPOSED BLACK RETAINING WALL
- PROPOSED PAVEMENT
- PROPOSED CONCRETE



DORA DRIVE

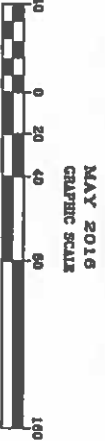


CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. THE SITE CONDITIONS SHOULD BE RECORDED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THIS PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



- PROPOSED SITE FEATURES
- C1 PAVED DRIVEWAY
- C2 PAVED DRIVEWAY
- C3 PAVED DRIVEWAY
- C4 PAVED DRIVEWAY
- C5 PAVED DRIVEWAY
- C6 PAVED DRIVEWAY
- C7 PAVED DRIVEWAY
- C8 PAVED DRIVEWAY
- C9 PAVED DRIVEWAY
- C10 PAVED DRIVEWAY
- C11 PAVED DRIVEWAY
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- C97 PAVED DRIVEWAY
- C98 PAVED DRIVEWAY
- C99 PAVED DRIVEWAY
- C100 PAVED DRIVEWAY

SITE LAYOUT PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.



FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
P.B. NO.

51 Mooney Street, Alton, N.H. 603-875-3848

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LEGEND

- PROPERTY LINE
- ADJACENT WETLANDS
- EXISTING TREE LINE
- EXISTING DRAIN LINE
- EXISTING CONTAIN LINE
- EXISTING CATCH BASIN
- PROPOSED TREE LINE
- PROPOSED DRAIN LINE
- PROPOSED CONTAIN LINE
- PROPOSED SALVATION FENCE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED FLARED DNO SECTION (75)
- PROPOSED TEMPORARY CATCH BASIN FILLERS
- PROPOSED TEMPORARY EXISTING CONSTRUCTION
- PROPOSED TEMPORARY STONE CREEK DAMS



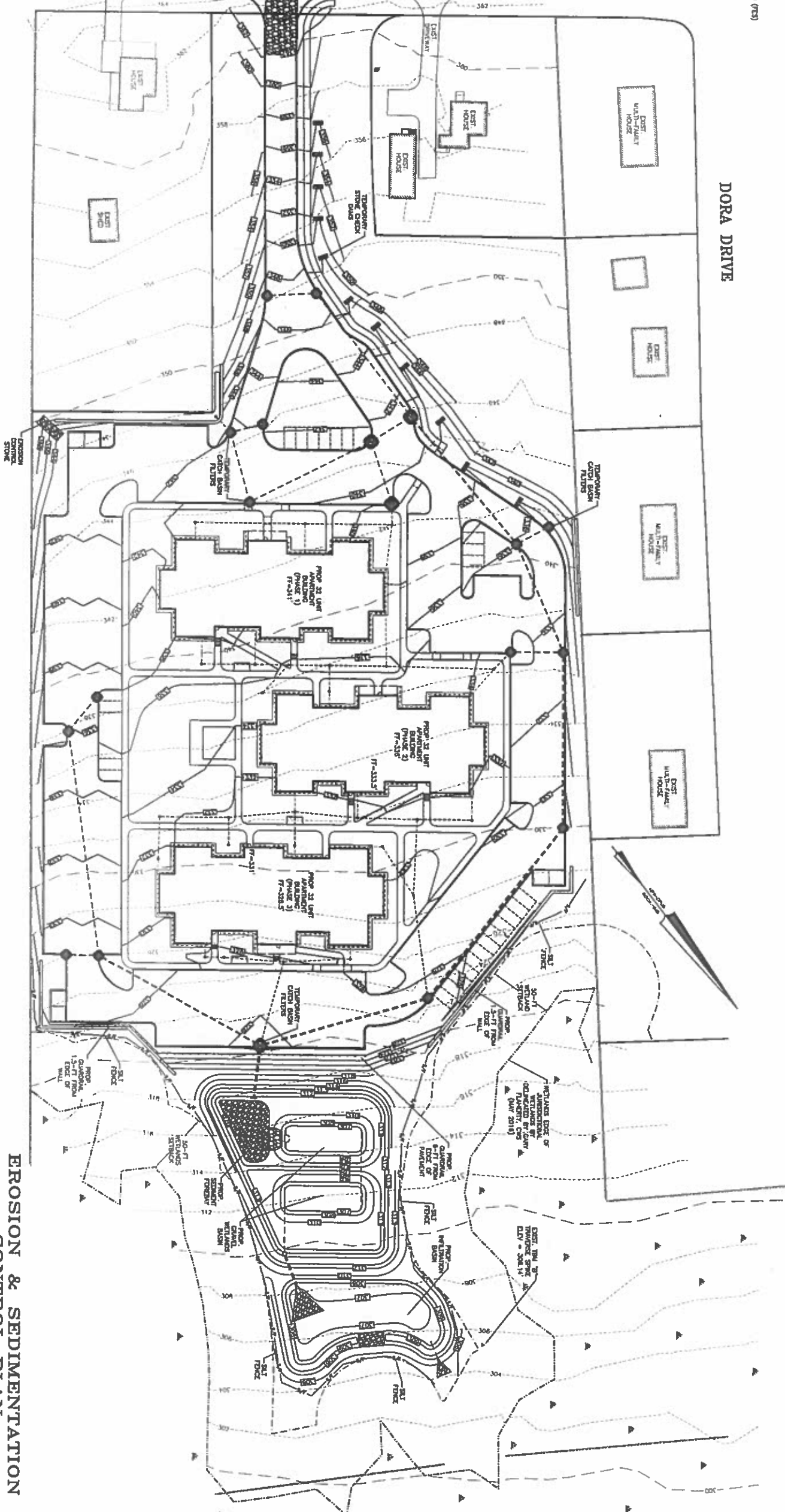
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE INFORMATION PROVIDED IN THIS PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603) 335-3948.



HENRIETTA ST.

ROCHESTER HILL ROAD
(ROUTE 108)

DORA DRIVE



EROSION & SEDIMENTATION
CONTROL PLAN

TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH

D.R. LEMIEUX BUILDERS, INC.

MAY 2016

GRAPHIC SCALE



FILE NO. 104
PLAN NO. C-2780
DWG. NO. 16225/SP-1
F.B. NO.

31 Mooney Street, Alton, N.H. 003-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Confidential Blvd., Rochester, N.H. 603-535-3948

C-4

LEGENDA

SEPTIC SYSTEM DESIGNERS

CIVIL ENGINEERS

TRANSPORTATION PLANNERS

CAREFULLY VIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS ASSOCIATES, INC. (602)-535-3940.

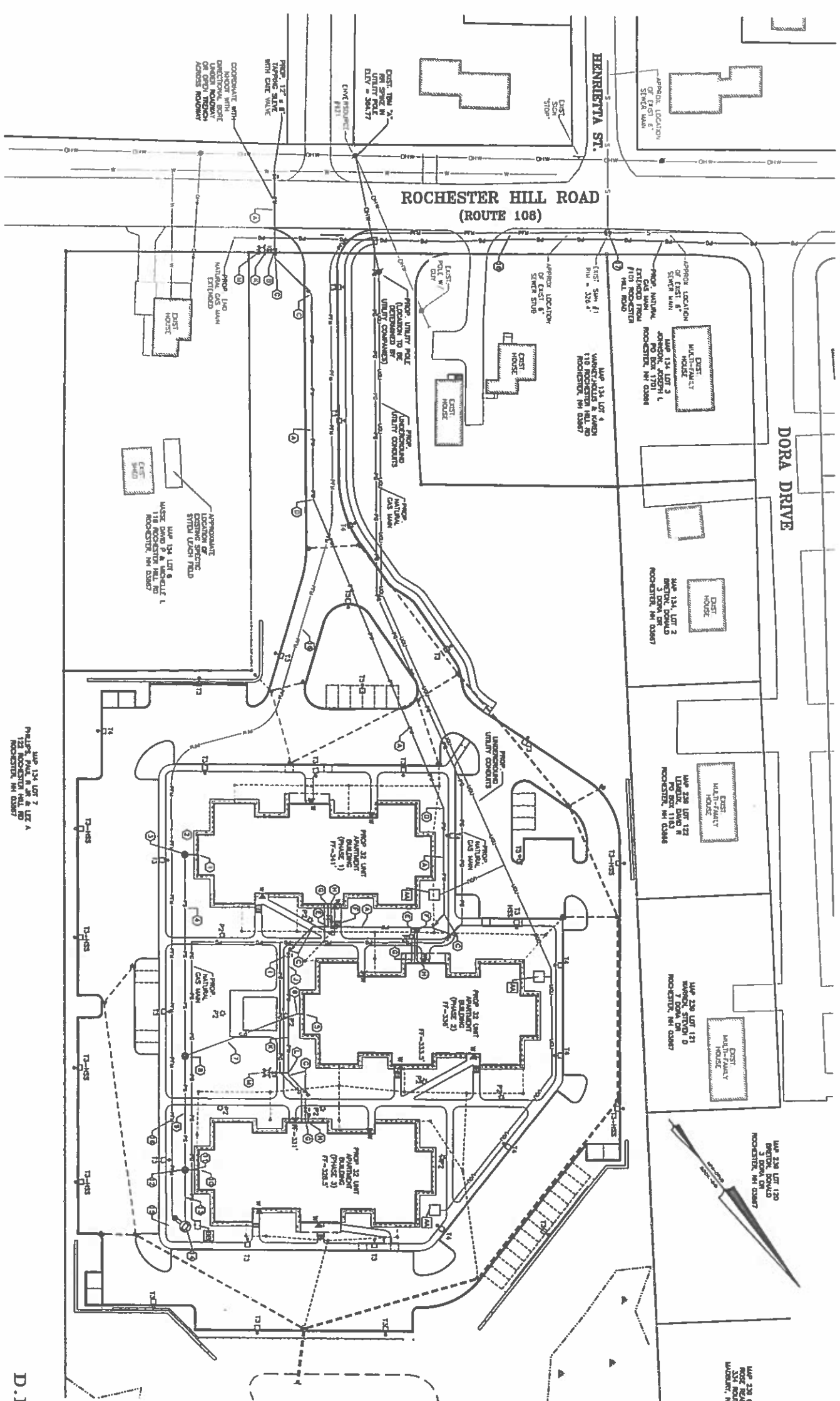
CONSTRUCTION WILL CONFORM TO THE FOLLOWING UTILITIES STANDARDS AND SPECIFICATIONS:

- A) SEWARIY SEWER DISPOSAL - HEREIN
- B) DISTRICT DISTRIBUTION - EVERSOURCE
- C) TELEPHONE - FARRINGTON
- D) CABLE - MICROCAST
- E) WATER - CITY OF ROCKFORD, STANDARDS

ALL PROPOSED ON-SITE UTILITIES SHALL BE INSTALLED UNIFORM AND

PROPERTY LINE	PROPOSED DRAIN LINE
ADDITIONAL WETLANDS	PROPOSED WATER SERVICE
EXISTING OVERHEAD WIRES	PROPOSED SEWER LINE
EXISTING WATER MAIN	PROPOSED SECTOR MAIN PIPE
EXISTING SANITARY SECTOR MAIN	PROPOSED PHONE C&I LINE
EXISTING SECTOR FORCE MAIN	PROPOSED UNDERGROUND UTILITY WIRE
EXISTING UNDERGROUND ELECTRIC WIRES	PROPOSED UNDERGROUND ELECTRIC WIRE
EXISTING UNDERGROUND UTILITY WIRES	PROPOSED HYDRAUT
EXISTING GAS PIPE	PROPOSED WATER VALVE
EXISTING DRAIN LINE	PROPOSED WATER SHUT-OFF VALVE
EXISTING HYDRANT	PROPOSED UTILITY POLE
EXISTING WATER GATE OR SHUT-OFF VALVE	PROPOSED SEWER MANHOLE
EXISTING UTILITY POLE	PROPOSED DRAIN MANHOLE
EXISTING SEWER MANHOLE	PROPOSED CATCH BASIN
EXISTING CATCH BASIN	PROPOSED HOIST POLES
EXISTING HOIST POLES	PROPOSED BUILDING HOIST REMAINS
	TOP OF PIPE

T.O.P.	TOP OF PAGE

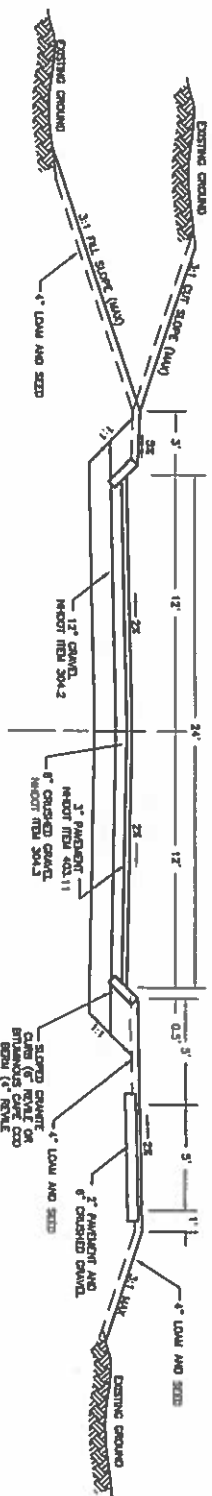


UTILITY PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD.
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

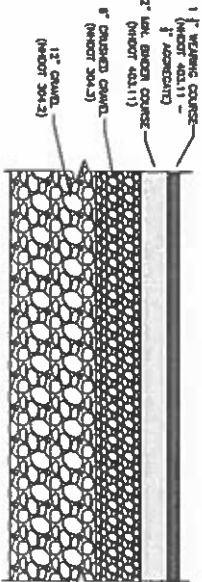




CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER OF RECORD FOR ANY QUESTIONS. THIS PLAN SET IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3946.



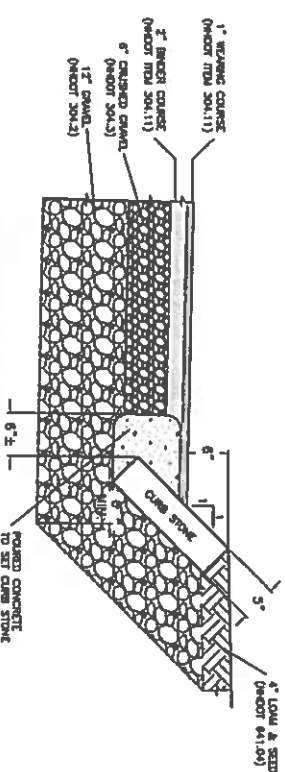
DRIVEWAY CROSS-SECTION
1" = 4'



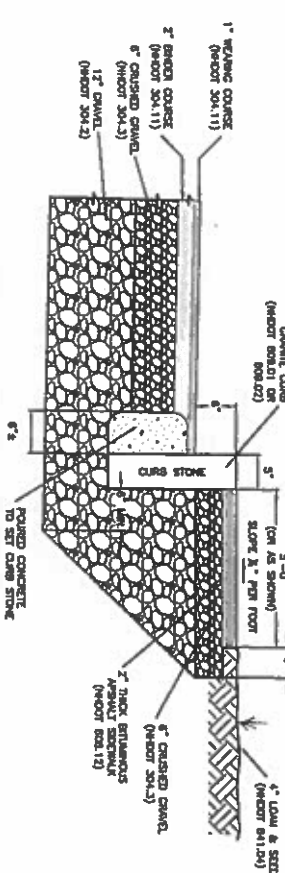
PARKING LOT CROSS-SECTIONS
NOT TO SCALE

- PAVEMENT NOTES:
1. PLACE GRAVEL IN 12 INCH LIFTS, COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
 2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS, COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS, COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

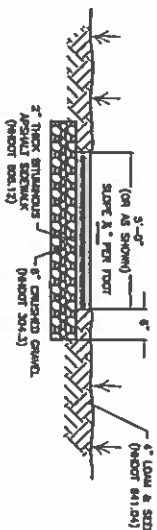
TYPICAL PAVEMENT MATCHING DETAIL
NOT TO SCALE



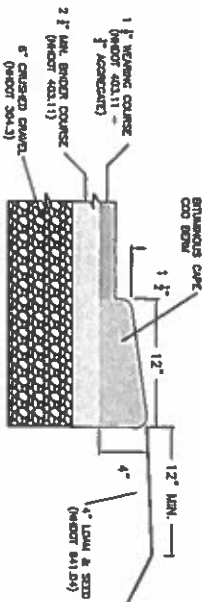
GRANITE SLOPE CURB DETAIL
NOT TO SCALE



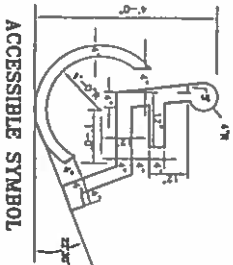
PAVED SIDEWALK WITH GRANITE CURB DETAIL
NOT TO SCALE



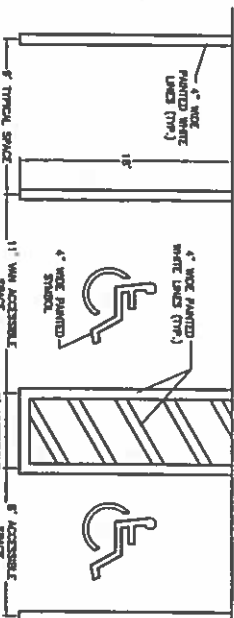
PAVED SIDEWALK DETAIL
NOT TO SCALE



BITUMINOUS CAPE COD BERM DETAIL
NOT TO SCALE



ACCESSIBLE SYMBOL



STAIL STRIPING DETAIL
NOT TO SCALE

DETECTABLE WARNING PAYER DETAIL
NOT TO SCALE

- DETECTABLE WARNING PAYER DETAIL:
1. THE MAXIMUM SLOPE OF ANY SIDEWALK CURB IS 1:1. THE MAXIMUM CROSS SLOPE IS 2%.
 2. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.
 3. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.
 4. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.

HANDICAP RAMP DETAIL "A"
NOT TO SCALE

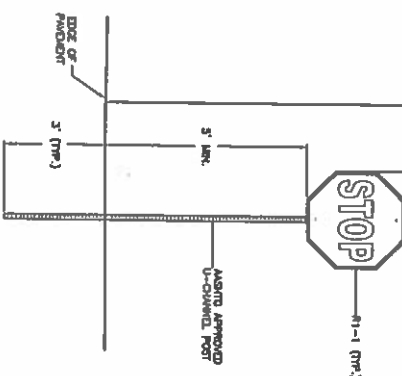
- GENERAL NOTES:
1. THE MAXIMUM SLOPE OF ANY SIDEWALK CURB IS 1:1. THE MAXIMUM CROSS SLOPE IS 2%.
 2. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.
 3. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.
 4. THE SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.

PARKING AND SIDEWALK DETAILS

TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH

D.R. LEMIEUX BUILDERS, INC.
MAY 2016

TYPICAL TRAFFIC SIGN
NOT TO SCALE

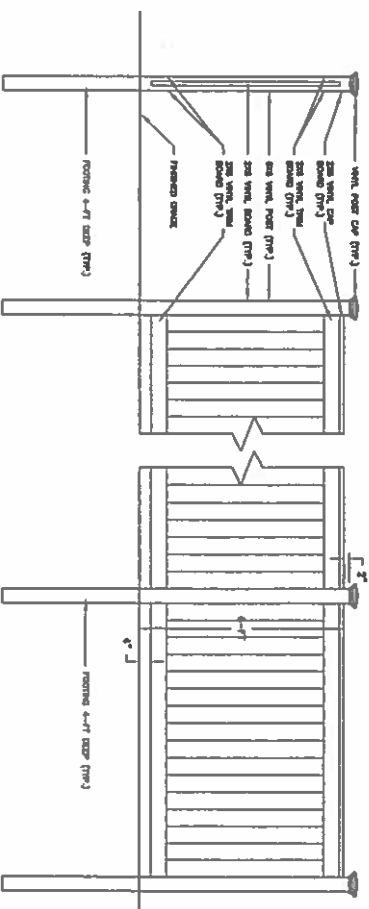


SIGN SCHEDULE
NOT TO SCALE

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	30"	30"	STOP	1
R7-Ba	18"	12"	WHEELCHAIR	9
R7-Bb	6"	12"	WHEELCHAIR	3
	18"	12"	WHEELCHAIR	12



CERTAINTY NEW ALL SHEETS OF THE PACKAGE TO ASSURE PROPER CONSTRUCTION, SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR AN AVAILABLE GEOTECHNICAL OR HISTORICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAT SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAT SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS ASSOCIATES, INC. (602)-335-3948.

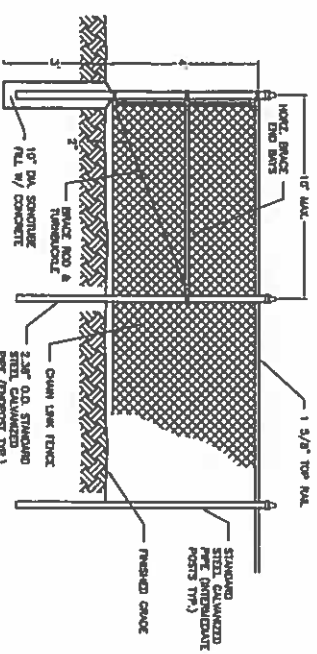


SECTION



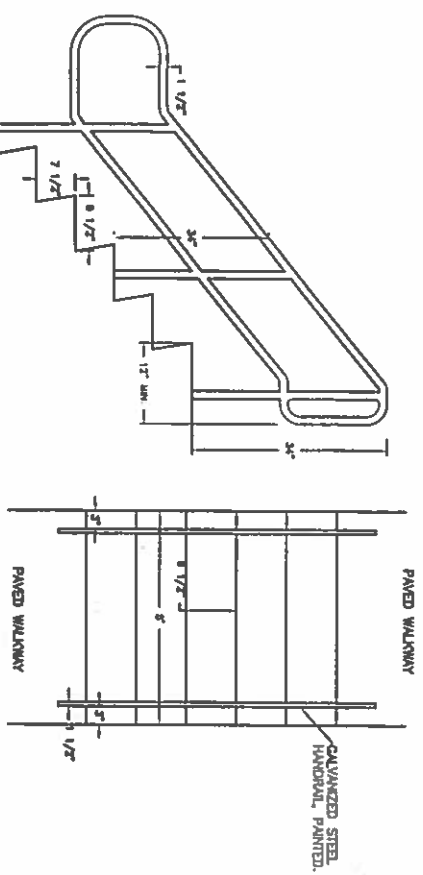
TYPICAL SOLID VINYL FENCE DUMPSTER ENCLOSURE

SCALE: 1/2"=1'



TYPICAL CHAINLINK FENCE

NOT TO SCALE

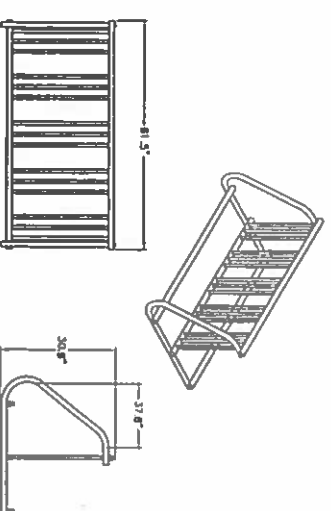


PROTIPS

PLAN

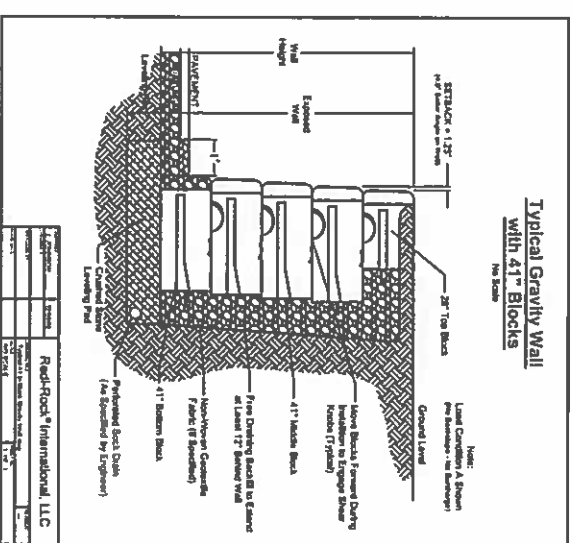
RAIL & STAIR DETAIL

NOT TO SCALE



BICYCLE RACK DETAIL

NOT TO SCALE



TYPICAL BLOCK RETAINING WALL DETAIL

NOT TO SCALE

1. DESIGN OF RETAINING WALLS TO BE PROVIDED BY MANUFACTURE AND INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
2. SHOP DRAWINGS SHALL BE SUBMITTED PRIOR TO ORDERING AND APPROVED BY NORWAY PLANS ASSOCIATES, INC.
3. CHAINLINK FENCE SHALL BE INSTALLED ON TOP OF WALL WHERE THE VERTICAL DROP IS GREATER THAN 2 FEET OR AS REQUIRED BY CODES.

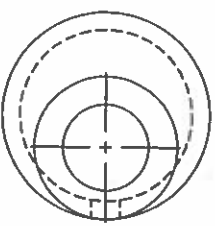
CONSTRUCTION DETAILS

TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH

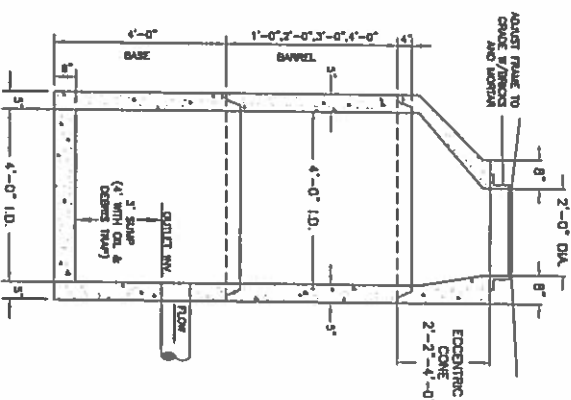
PREPARED FOR:

D.R. LEMIEUX BUILDERS, INC.

MAY 2016

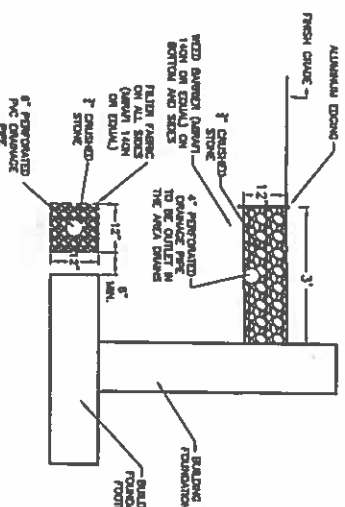


DOWN LINE DIAMETER	SUM OF DOWN LINE DIAMETER	CATCH BASIN DIAMETER
15" TO 18"	LESS THAN 54"	4'
21" TO 27"	LESS THAN 72"	5'
30" TO 35"	LESS THAN 90"	6'
36" & LARGER	GREATER THAN 90"	REFER TO THE STANDARD



PRE-CAST REINFORCED CATCH BASIN

NOT TO SCALE

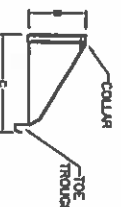


FOUNDATION AND DRIP EDGE DRAIN DETAIL

NOT TO SCALE

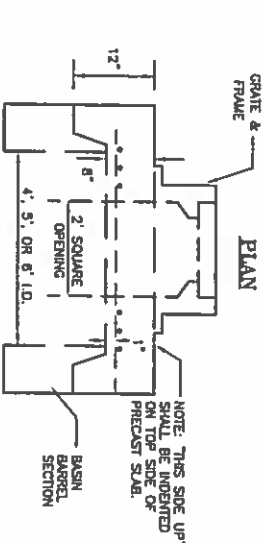
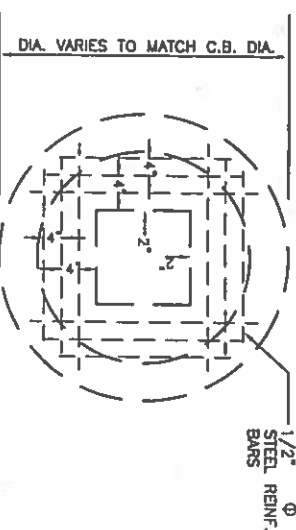


PVC DIAMETER 15" / 15"	DURIGRIPS (INCHES)			
	A	B	C	D
15"	42	14.5	23	8
16"	44	22	43	6
20"	54.5	26	48	6
20"	60	36	53.5	6
26"	80	43	64.5	6



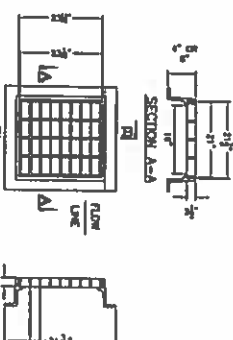
FLAIRED END SECTION DETAIL

NOT TO SCALE



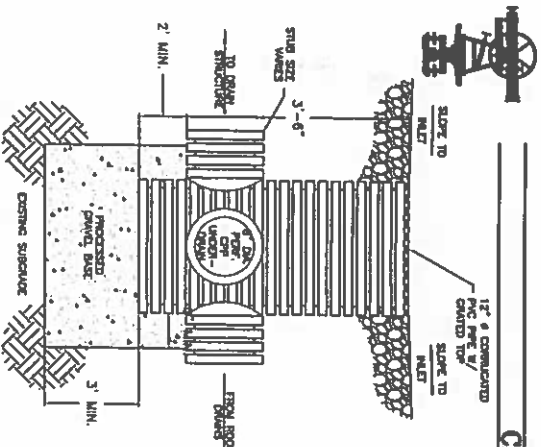
REINFORCED CONCRETE SLAB COVER

NOT TO SCALE



**CATCH BASIN TYPE 'B'
GRATE DETAIL**

NOT TO SCALE

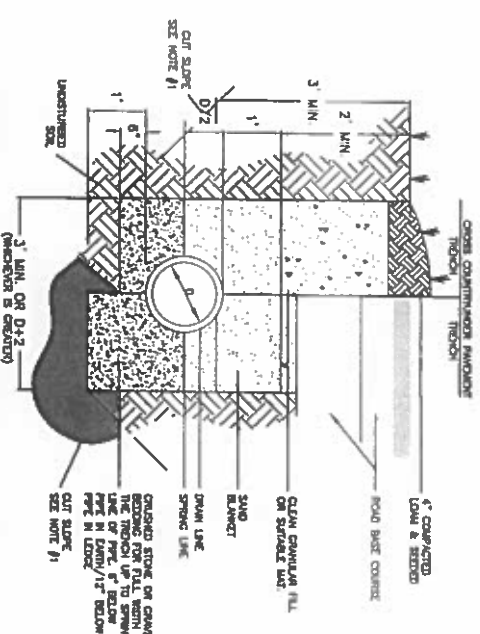


AREA DRAIN DETAIL

NOT TO SCALE

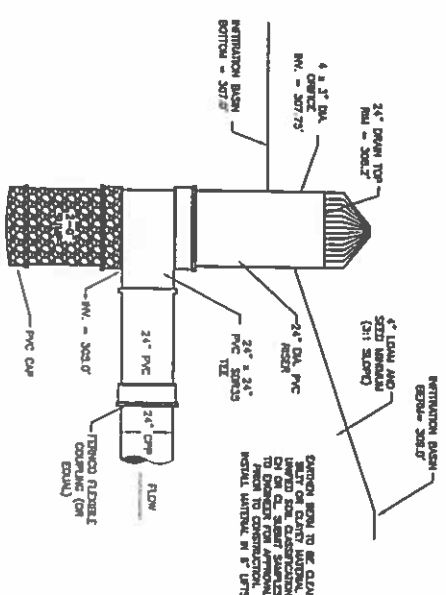
DA	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BTL HEIGHT
D	L	H	PH		W
12	4.5	3.0	1.1	1.5	2
15	5	4.5	1.7	1.6	2.1
18	6	6	2.4	2.2	2.4
24	7	4.5	1.0	1.6	2.2
30	9	5	2	1.8	2.3
36	11	5.5	2.0	1.5	2.3
42	13	6	3.4	1.6	2.6
48	15.9	6.8	4.1	1.8	2.8
49	17.9	7.5	4.7	1.9	2.10

PRE-CAST HEADWALL



INFILTRATION BASIN:

- [illegible]

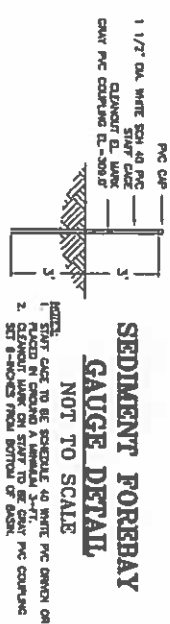
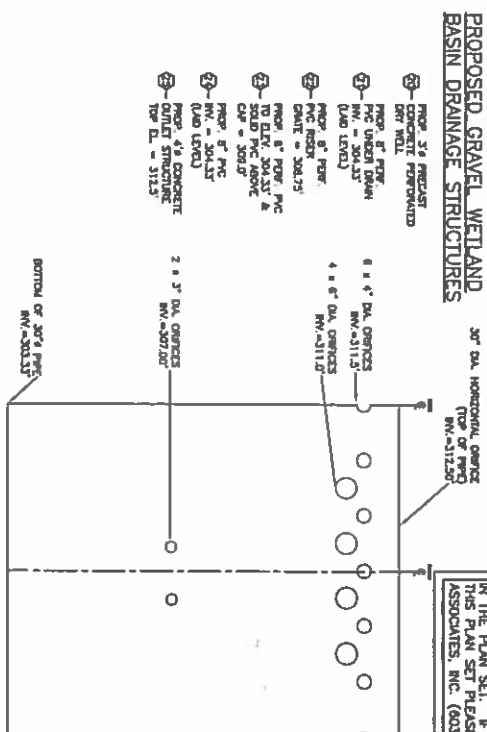
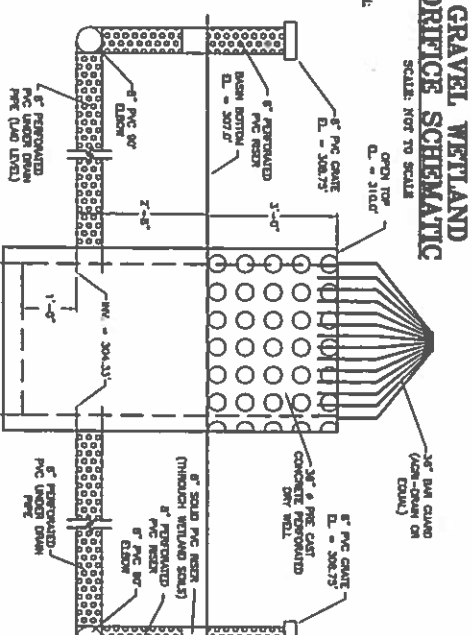
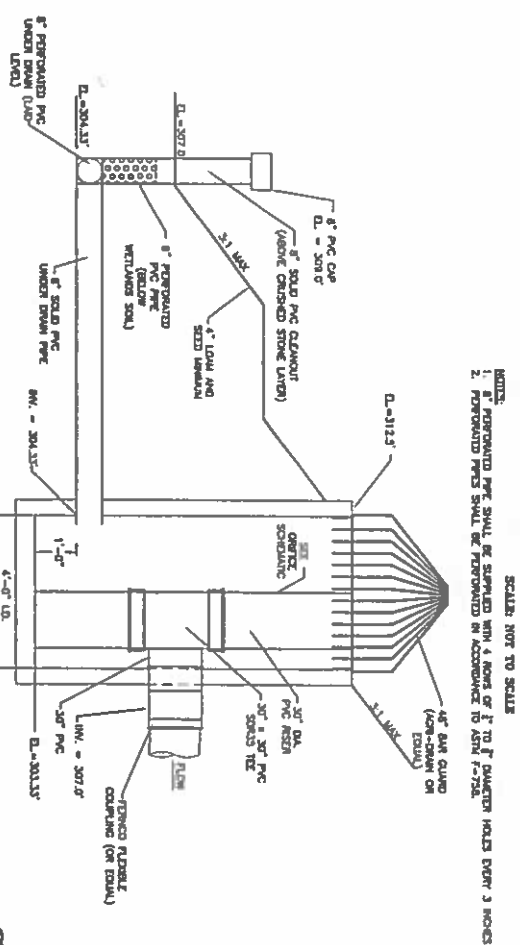
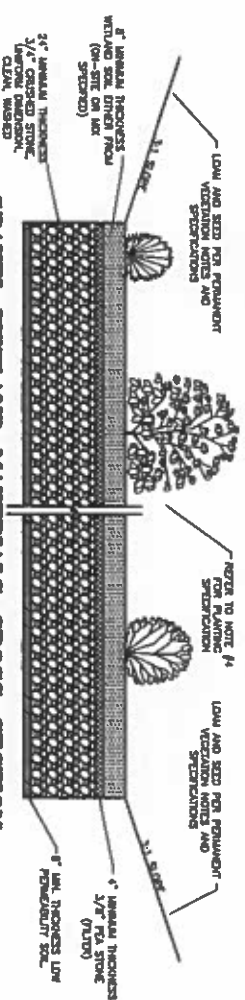


INFILTRATION BASIN #1 OUTLET STANDPIPE DETAIL

NOT TO SCALE

DRAINAGE DETAILS
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

MAY 2016



CAREFULLY VIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLAINS ASSOCIATES, INC. (800)-335-3848.

GRAVEL MIDLAND:

[illegible][illegible]

GRAVEL WETLAND

BASIN DETAIL
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH

D.R. LEMIEUX BUILDERS, INC.
MAY 2010

FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
P. NO.

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES,

2 Continental Blvd., Rochester, N.H. 603-335-3948

C-8

7

SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOLOGICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THIS PLAN SET. PLEASE CONTACT THE ENGINEERING FIRM AT NORMAN PLAINS ASSOCIATES, INC. (803) 335-3948.



STRENGTHS AND LIMITATIONS:

- RECOMMENDED TO LIME, WOOD ASH OR LIME PREPARED
SOIL TEST WARRANTS OVERSEED, F SOIL TESTING
THANE IS CRITICAL FERTILIZER AND LIMESTONE W
LIMESTONE APPLICATION RATE 3 TONS/ACRE
*DOWNLOAD TO 3025 CIRCULAR PLUS WORKSHEET

AN GRUEN
WORTH

122

FERTILIZER APPLICATION RATE - 270 LB./ACRON
*LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT
APPLY SEED UNUSUALLY BY HAND, CYCLOPE SEED
SAMPLING

[illegible]

NOT TO SCALE

Diagram illustrating a drainage way cross-section, showing a semi-circular shape with a width of 24" and a depth of 100".



NOT TO SCALE

[illegible]

1

STAYC ON TOUR

INSTALLATION DETAIL
NOT TO SCALE

AROUND THE
THE HEDDIT
STRIKING BLOCKS
HOLD
THE MANDALIN
BARBER, AS
CHANGES
TIE FROM THE
AGE AS
DIMENSIONS
THE TRAP,
WHICH A MANAGER
ELABORING

1. TEMPORARY SEED SHALL TYPICALLY OCCUR PRIOR
2. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15
3. SEEDING SHALL BE LIMITED TO 100% OF THE
4. VERIFIED CROPPED COVERED BY 100% OF THE
DECEMBER 15. IF THIS CONVERSION IS NOT ADEQUATE
FOR OTHER PROTECTION.

LANDFILL REDEMPTION.

1. TEMPORARY SEEDING SHALL BE REQUIRED WITHIN
ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING
TO ACHIEVE WEATHER ADDITIONAL SEEDING IS IN
2. BASED ON INSPECTION, AREAS SHALL BE RESEEDING
3. IS TOO LATE IN THE PLANNING SEASON TO APPLY
4. IF ANY EVIDENCE OF EROSION OR DEMONSTRATION
BE RESEEDING. WITH OTHER TEMPORARY MEASURES
DURING THE PERIOD OF VERIFICATION ESTABLISHMENT

(MAY BE 50'
6" DIA.)

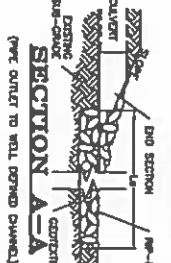
NOT TO SCALE



TAX MAP 134, LOT 5

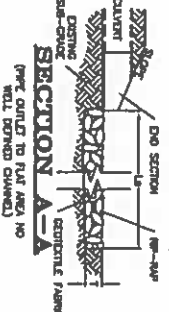
ATTENTION

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE DEVELOPED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET, PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS ASSOCIATES, INC. (800)-335-3846.



% OF WIDTH SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)		
100	6	10	6
65	3	10	7
50	4	10	6
15	1	10	2

CONCRETE PAD, 4'	TRUCK OUTLET	W	L	T	SSO
#1	30" CWP AND FORMWAY	7.5'	23.5'	16"	6"
#2	30" CWP AND INLET/OUTLET BASIN	7.5'	37'	18.6"	3"
#3	30" CWP OUTLET	6'	12'	13.5"	5"



- [illegible]

PIPE OUTLET PROTECTION DETAIL

DUST CONTROL PRACTICES:

- [illegible]

GENERAL CONSTRUCTION PHASING:

- [illegible]

PROJECT SPECIFIC CONSTRUCTION PHASING

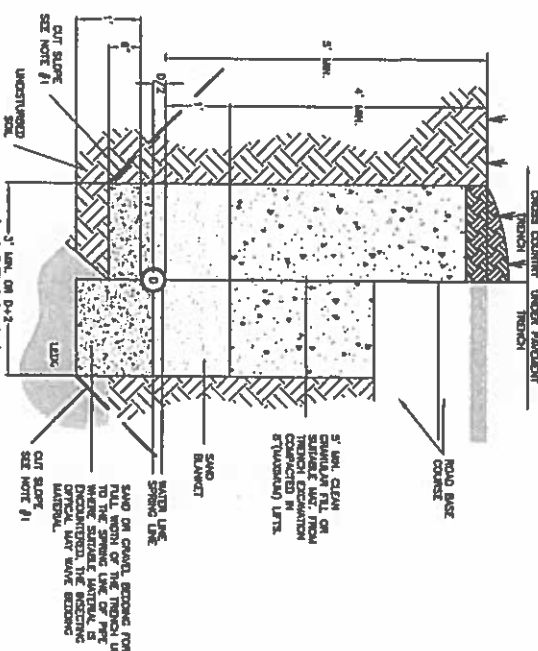
- [illegible]

WINTER STABILIZATION & CONSTRUCTION PRACTICES

- [illegible]

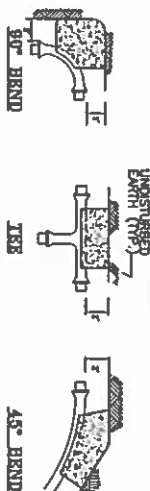


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WATER PIPE TRENCH INSTALLATION DETAIL

NOTES:
1. THE TRENCH SHALL BE 3' MIN. DEEP AND 1' MIN. WIDE.
2. THE TRENCH SHALL BE BACKFILLED WITH 3" MIN. BEDDING MATERIAL.
3. THE TRENCH SHALL BE COVERED WITH 1" MIN. OF 4" COMPACTED BEDDING MATERIAL.

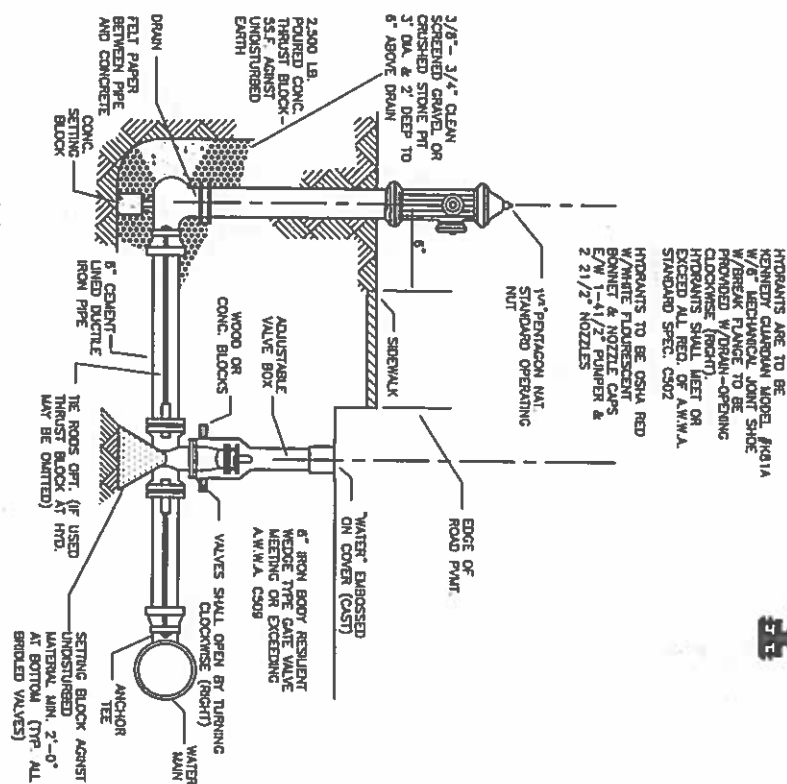


WATER MAIN THRUST BLOCK DETAILS NOT TO SCALE

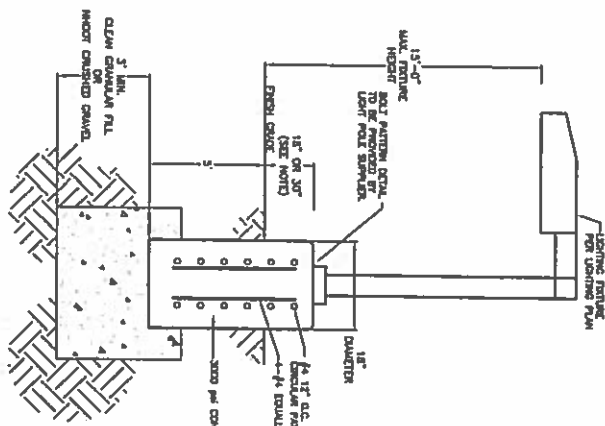
NOTE: SEE OF THREAT BLOCKS MAY BE REQUIRED BY THE ENGINEER TO MEET SOIL CONDITIONS DURING DRAINAGE CONSTRUCTION.

PIPE DIA. (INCHES)	11 1/4"	22 1/2"	45"	90"	DEAD END
50	100	150	200	50	100
100	150	200	50	100	150
150	200	50	100	150	200
200	50	100	150	200	50
250	50	100	150	200	50
300	50	100	150	200	50
360	50	100	150	200	50
420	50	100	150	200	50
480	50	100	150	200	50
540	50	100	150	200	50
600	50	100	150	200	50
660	50	100	150	200	50
720	50	100	150	200	50
780	50	100	150	200	50
840	50	100	150	200	50
900	50	100	150	200	50
960	50	100	150	200	50
1020	50	100	150	200	50
1080	50	100	150	200	50
1140	50	100	150	200	50
1200	50	100	150	200	50
1260	50	100	150	200	50
1320	50	100	150	200	50
1380	50	100	150	200	50
1440	50	100	150	200	50
1500	50	100	150	200	50
1560	50	100	150	200	50
1620	50	100	150	200	50
1680	50	100	150	200	50
1740	50	100	150	200	50
1800	50	100	150	200	50
1860	50	100	150	200	50
1920	50	100	150	200	50
1980	50	100	150	200	50
2040	50	100	150	200	50
2100	50	100	150	200	50
2160	50	100	150	200	50
2220	50	100	150	200	50
2280	50	100	150	200	50
2340	50	100	150	200	50
2400	50	100	150	200	50
2460	50	100	150	200	50
2520	50	100	150	200	50
2580	50	100	150	200	50
2640	50	100	150	200	50
2700	50	100	150	200	50
2760	50	100	150	200	50
2820	50	100	150	200	50
2880	50	100	150	200	50
2940	50	100	150	200	50
3000	50	100	150	200	50

TYPICAL HYDRANT SECTION NOT TO SCALE

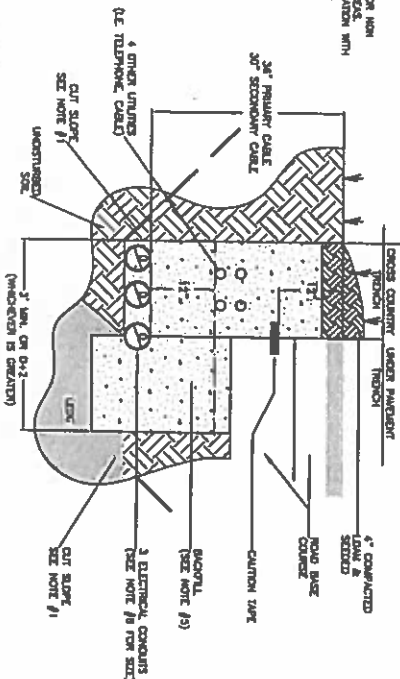


POLE MOUNTED LIGHT DETAIL NOT TO SCALE



GENERAL UTILITY NOTES

- 1) CONTRACTOR SHALL NOTIFY D.C.-SAFE (1-888 344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS THAT WERE VISIBLE APPARENT ON THE DATE OF THE SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITY LOCATIONS THAT WERE NOT VISIBLE APPARENT ON THE DATE OF THE SURVEY.
- 3) ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH THE PROJECT OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITY LOCATIONS THAT WERE NOT VISIBLE APPARENT ON THE DATE OF THE SURVEY.
- 4) EXISTING UTILITY LOCATIONS ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH PS&M AND OTHER PERMITTING AGENCIES.
- 5) WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10-FT APART.
- 6) WHERE SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 8-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
- 7) SINKER PIPE JOINTS SHALL BE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWER AND AT 1-1/2 TIMES WORKING PRESSURE FOR ALL FORCE MAINS.
- 8) WATERLINE CONSTRUCTION:
 - A) ALL PROPOSED WATER LINE MATERIAL USED SHALL MEET ROCHESTER WATER DEPARTMENT AND ROCHESTER ENGINEERING DEPARTMENT SPECIFICATIONS. WATER LINES SHALL BE 150' MIN. CLASS 32, CEMENT LINED DUCTILE IRON PIPE.
 - B) ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 5'.
 - C) ALL WATER LINES SHALL BE BURIED A MINIMUM OF 5'.
 - D) IF 5' OF COVER IS NOT AVAILABLE WATER LINE SHALL BE INSTALLED AS SHOWN IN THE "SHALLOW COVER TRENCH DETAIL FOR INSULATED WATER PIPE".
 - E) ALL WATER FITTINGS SHALL BE CLASS 32.
 - F) PROPOSED WATER GATE VALVE SHALL OPEN CLOCKWISE (RIGHT).
 - G) WORK TO CONNECT INTO THE WATER OR SEWER MAINS REQUIRES A PERMIT FROM THE ROCHESTER PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE PRE-QUALIFIED.



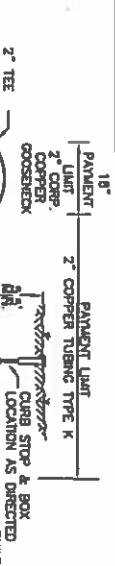
ELECTRICAL & UNDERGROUND UTILITY TRENCH INSTALLATION DETAIL NOT TO SCALE

1. ALL NON-METALLIC CABLES AND FITTINGS SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET. THE CABLES SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET.
2. THE CABLES SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET. THE CABLES SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET.
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10. THE CABLES SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET. THE CABLES SHALL BE INSTALLED TO THE APPROVED SECTION OF THE PLAN SET.

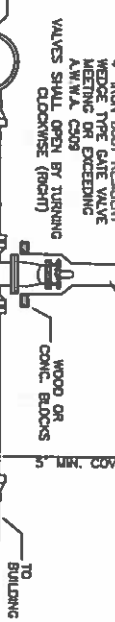
MECHANICAL RESTRAINED LENGTH SCHEDULE NOT TO SCALE

PIPE DIA. (INCHES)	11 1/4"	22 1/2"	45"	90"	DEAD END
50	100	150	200	50	100
100	150	200	50	100	150
150	200	50	100	150	200
200	50	100	150	200	50
250	50	100	150	200	50
300	50	100	150	200	50
360	50	100	150	200	50
420	50	100	150	200	50
480	50	100	150	200	50
540	50	100	150	200	50
600	50	100	150	200	50
660	50	100	150	200	50
720	50	100	150	200	50
780	50	100	150	200	50
840	50	100	150	200	50
900	50	100	150	200	50
960	50	100	150	200	50
1020	50	100	150	200	50
1080	50	100	150	200	50
1140	50	100	150	200	50
1200	50	100	150	200	50
1260	50	100	150	200	50
1320	50	100	150	200	50
1380	50	100	150	200	50
1440	50	100	150	200	50
1500	50	100	150	200	50
1560	50	100	150	200	50
1620	50	100	150	200	50
1680	50	100	150	200	50
1740	50	100	150	200	50
1800	50	100	150	200	50
1860	50	100	150	200	50
1920	50	100	150	200	50
1980	50	100	150	200	50
2040	50	100	150	200	50
2100	50	100	150	200	50
2160	50	100	150	200	50
2220	50	100	150	200	50
2280	50	100	150	200	50
2340	50	100	150	200	50
2400	50	100	150	200	50
2460	50	100	150	200	50
2520	50	100	150	200	50
2580	50	100	150	200	50
2640	50	100	150	200	50
2700	50	100	150	200	50
2760	50	100	150	200	50
2820	50	100	150	200	50
2880	50	100	150	200	50
2940	50	100	150	200	50
3000	50	100	150	200	50

* BASED ON A MINIMUM ATTACHED PIPE ALONG RUN (L) = 5 FEET



TYPICAL DOMESTIC SERVICE CONNECTION NOT TO SCALE



TYPICAL FIRE SERVICE CONNECTION NOT TO SCALE

UTILITY DETAILS
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH

D.R. LEMIEUX BUILDERS, INC.
PREPARED FOR
AS SHOWN MAY 2016

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOLOGICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAY SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAY SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS ASSOCIATES, INC. (603)-339-3946.



CADASTRE REVEAL ALL SHEETS OF THIS PROJECT TO INSURE PROPER CONSTRUCTION. SHEET CONDITIONS SHOULD BE EXAMINED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVOIDANCE, MODIFICATION, OR HYDROLOGICAL/ECOLOGICAL ANALYSES, BUT NOT CONFINED WITHIN THE PLUMB SECT. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLUMB SECT PLEASE CONTACT THE DESIGNING ENGINEER AT NEWMARK PROJECTS, INC. (601) 333-5344.

[illegible]

31 Mooney Street, Alton, N.H. 603-875-3848

PUMP STATION DETAILS
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD.
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.
MAY 2016

2 Continental Blvd., Rochester, N.H. 603-336-5846 C-1

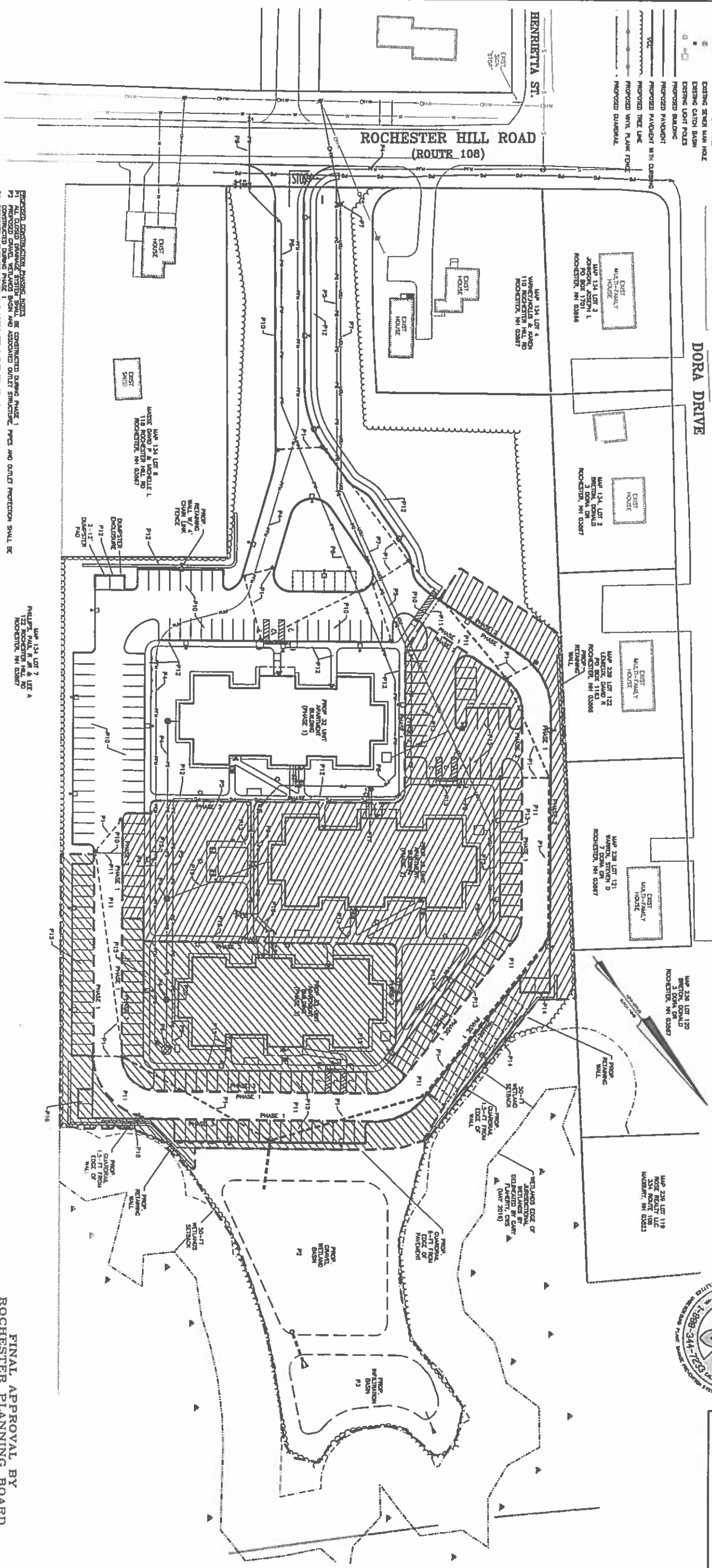
2 Continental Blvd., Rochester, N.Y. 403-336-7848 C-1

- LEGEND
- PROPERTY LINE
 - LANDSCAPED WETLANDS
 - EXISTING TREE LINE
 - EXISTING DRAINAGE WYNS
 - EXISTING HIGHWAY
 - EXISTING WATER GATE OR SHUT-OFF VALVE
 - EXISTING UTILITY POLE
 - EXISTING SINK HOLE
 - EXISTING CATCH BASIN
 - EXISTING LIGHT POLES
 - PROPOSED BUILDING
 - PROPOSED PAVEMENT
 - PROPOSED TREE LINE
 - PROPOSED W/LL PLANK FENCE
 - PROPOSED DIAPHRAGM

- PROPOSED PHASE 2 AREA
- PROPOSED PHASE 3 AREA



CONSTRUCTION REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT THE DESIGNER FOR ANY QUESTIONS OR CONCERNS. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (803) 335-3948.



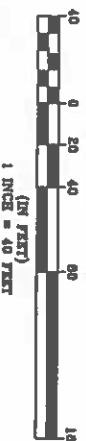
PROPOSED CONSTRUCTION, PHASING, NOTES

PHASE 1: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 1. PHASE 2: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 2. PHASE 3: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 3. PHASE 4: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 4. PHASE 5: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 5. PHASE 6: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 6. PHASE 7: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 7. PHASE 8: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 8. PHASE 9: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 9. PHASE 10: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 10. PHASE 11: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 11. PHASE 12: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 12. PHASE 13: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 13. PHASE 14: ALL EXISTING BUILDINGS SHALL BE DEMOLISHED DURING PHASE 14. 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CERTIFIED BY: _____ DATE: _____

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CONSTRUCTION
PHASING PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.
MAY 2016
GRAPHIC SCALE

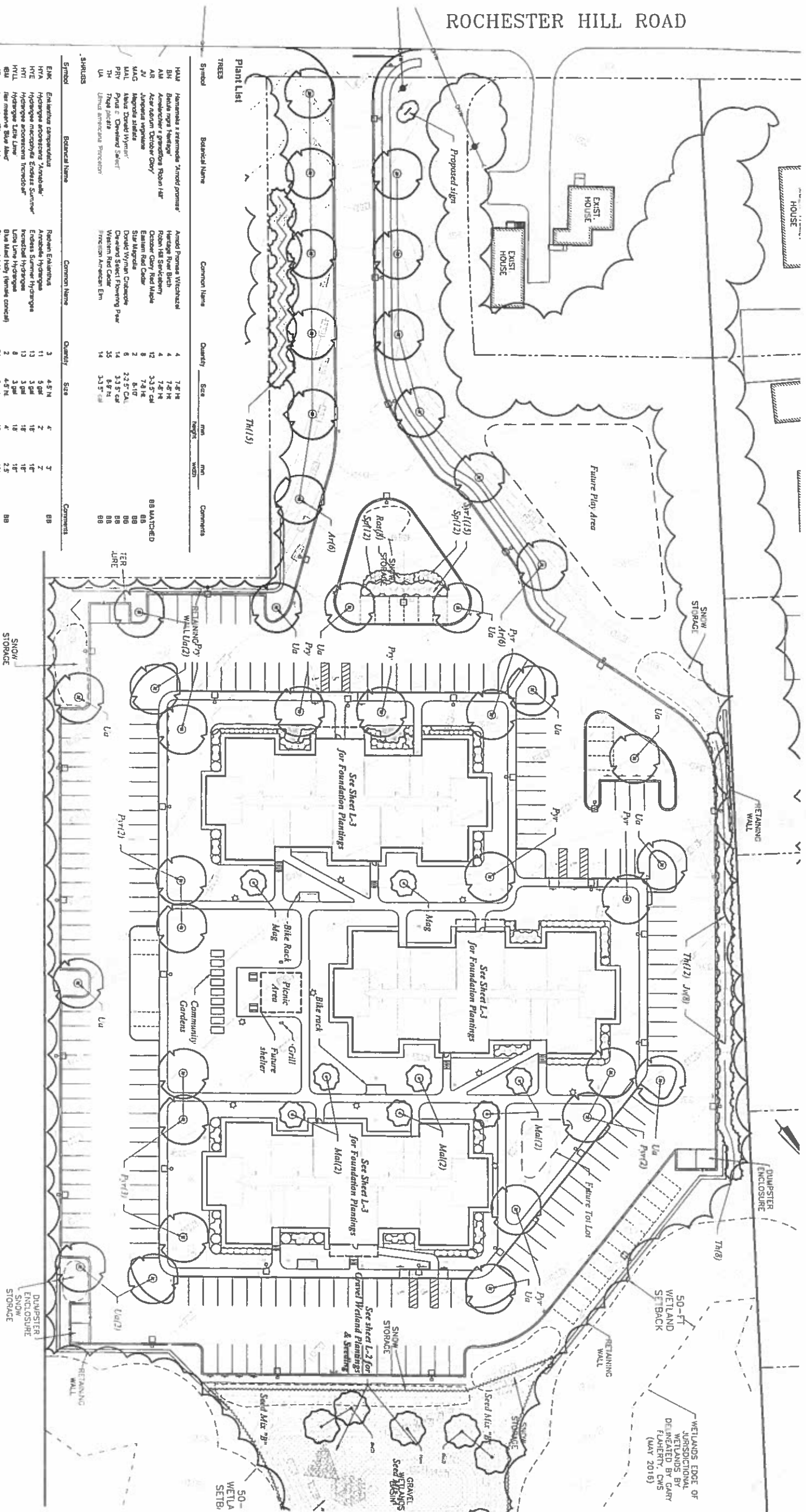


FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
F.B. NO.

31 Mooney Street, Altam, N.E. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



SITE LANDSCAPE PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
DATE: 12/11/2013
BY: [signature]

Gravel Wellands Specifications

Seed Mixes

Labels: Class and by region

[illegible]

I

[illegible]

Customer will provide temporary irrigation for the seeding and a well established stand of vegetation will be apparent as given by the Landscaping Agreement or Owner's representative.

Water duty is measured adequate surface soil moisture for proper seed germination. Thereafter apply 1/2" of water twice weekly until acceptance. Continue daily watering for until trees take deep.

Discussion

Rego's "mystery" and so good all areas that have not been out, are covered, as the most easily any part of located street which fails to show a uniform and shall be recorded every twenty one days with areas are covered with established plans.

Contractor shall remove as needed ☐ Provide a well-established stand of wetland plants. Any and all weed species shall be removed as directed by the Landscapes Architect or Designer's Representative.

NOTES

post after final acceptance. Revised notes which lead to provide a uniform stand, with specified materials, used all affected areas are accepted by the Owner.

Abstract

[illegible]

Plant List

TOPICS

Symbol	Botanical Name	Common Name	Quantity	Size		Comments
				mm length	mm width	
MAA	<i>Hemionitis s. intermedia</i> Arnold prostr.	Arnold Prostr. Winczaret	4	7-8 H	68 MATCHED	
BH	<i>Betula nigra</i> Pursh	Hamble Reg. Birch	4	7-8 H		
BA	<i>Andromeda s. paniculata</i> Robt. Mill	Robt. Mill Sarcocolla	4	7-8 H		
AN	<i>Acer rubrum</i> Michx. DC.	October Red Maple	12	3-3 1/2 Cal		
AV	<i>Juniperus horizontalis</i> Moench	Eastern Red Cedar	2	7-8 H		
MA	<i>Staphylea trifolia</i> L.	Star Magnolia	2	8-10 H		
MAU	<i>Malus domestica</i> Borkh.	Crabapple	2	7-2 1/2 Cal		
PRY	<i>Prunus s. Chamaemorus</i> Mill	Chamaemorus	14	3-3 1/2 Cal		*
TH	<i>Thalictrum flavum</i> L.	Flowering Parsley	14	6-8 H		
UA	<i>Urtica americana</i> Persson	Western American Elm	14	3-3 1/2 Cal		

SHRUBS

[illegible]**PERENNIALS, GROUNDCOVERS, VINES and ANNUALS**

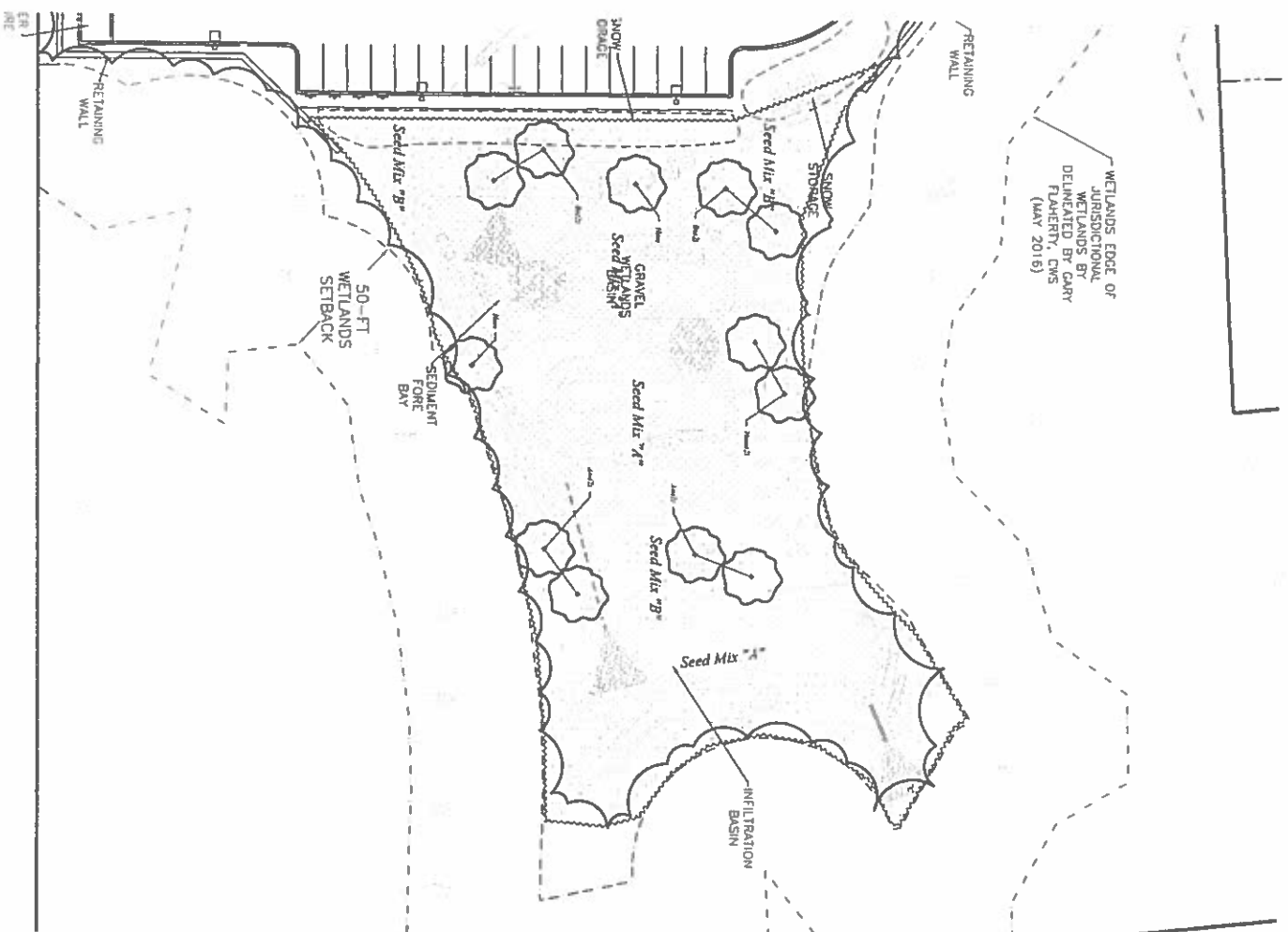
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
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Landscape Notes

- 1 Dulying to be completed by January Fifteen 2023 and any required equipment due to actual field conditions
- 2 The contractor shall follow best management practices during construction and shall take all necessary measures to eliminate and
- 3 prevent the use from erosion.
- 4 Erosion Control shall be in place prior to construction.
- 5 Erosion Control to consist of: Any Slopes and Erosion Control fabric shall be installed in areas between the work area and Water
- 6 Control Lines.
- 7 The Contractor shall verify layout and grades and from the Landscape Architect or Client's Representative of any
- 8 discrepancies or changes in layout and/or procedures prior to construction.
- 9 It is the contractor's responsibility to verify drawings provided as to the correct scale prior to any bid, estimate or installation.
- 10 If the contractor is unable to verify the drawings, it is the contractor's responsibility to verify the drawings with the Landscape Architect or Client's Representative.
- 11 The landscape architect shall provide a set of drawings for the project. It is the contractor's responsibility to verify the drawings with the Landscape Architect or Client's Representative.
- 12 It is the contractor's responsibility to verify the drawings with the Landscape Architect or Client's Representative. It is the contractor's responsibility to verify the drawings with the Landscape Architect or Client's Representative.
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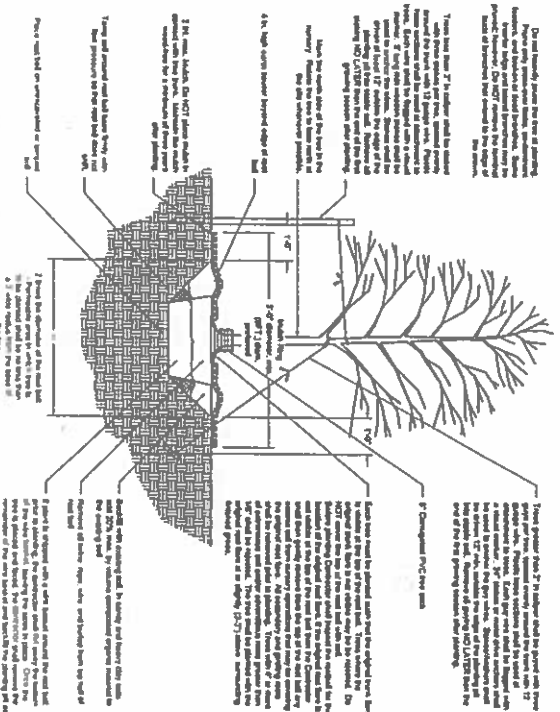
TRANSPORTATION PLANNERS



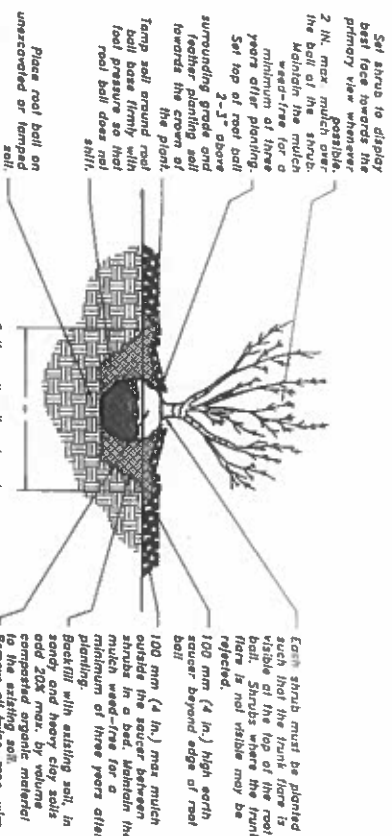
GRAVEL WETLAND PLANTING &
SEEDING
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NE
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

Plant List

TREES		Quantity		Comments	
Symbol	Botanical Name	Common Name	Size	min height	min width
HAUL	<i>Hamamelis x intermedia 'Arnold promise'</i>	Arnold Promise Witchhazel	4	7.6' H	
BN	<i>Betula nigra 'Nitegrae'</i>	Heritage Red Birch	4	7.6' H	
AM	<i>Aster multiflorus 'Aureo-Variegatus'</i>	Golden Thread Aster	4	7.6' H	
AN	<i>Acer rubrum 'Dorchester Gray'</i>	Dorchester Gray Red Maple	12	3.5' cal	
AV	<i>Juniperus horizontalis</i>	Eastern Red Cedar	9	7.6' H	
MD	<i>Malus domestica 'Empire'</i>	Empire Apple Tree	6	2.3' cal	
MA1	<i>Malus 'Red Raindrops'</i>	Red Raindrops Malus	4	3.5' cal	
PRV	<i>Prunus c. 'Chokolade Silber'</i>	Chocolate Silver Prunella	15	8.6' H	
TH	<i>Thuja occidentalis</i>	Eastern Red Cedar	35	3.5' cal	
LA	<i>Larix laricina 'Princess of Wales'</i>	Princess of Wales Spruce	14	3.5' cal	
SHRUBS					

[illegible]

Tree Planting Detail Type



Shrub Planting Detail, Typ

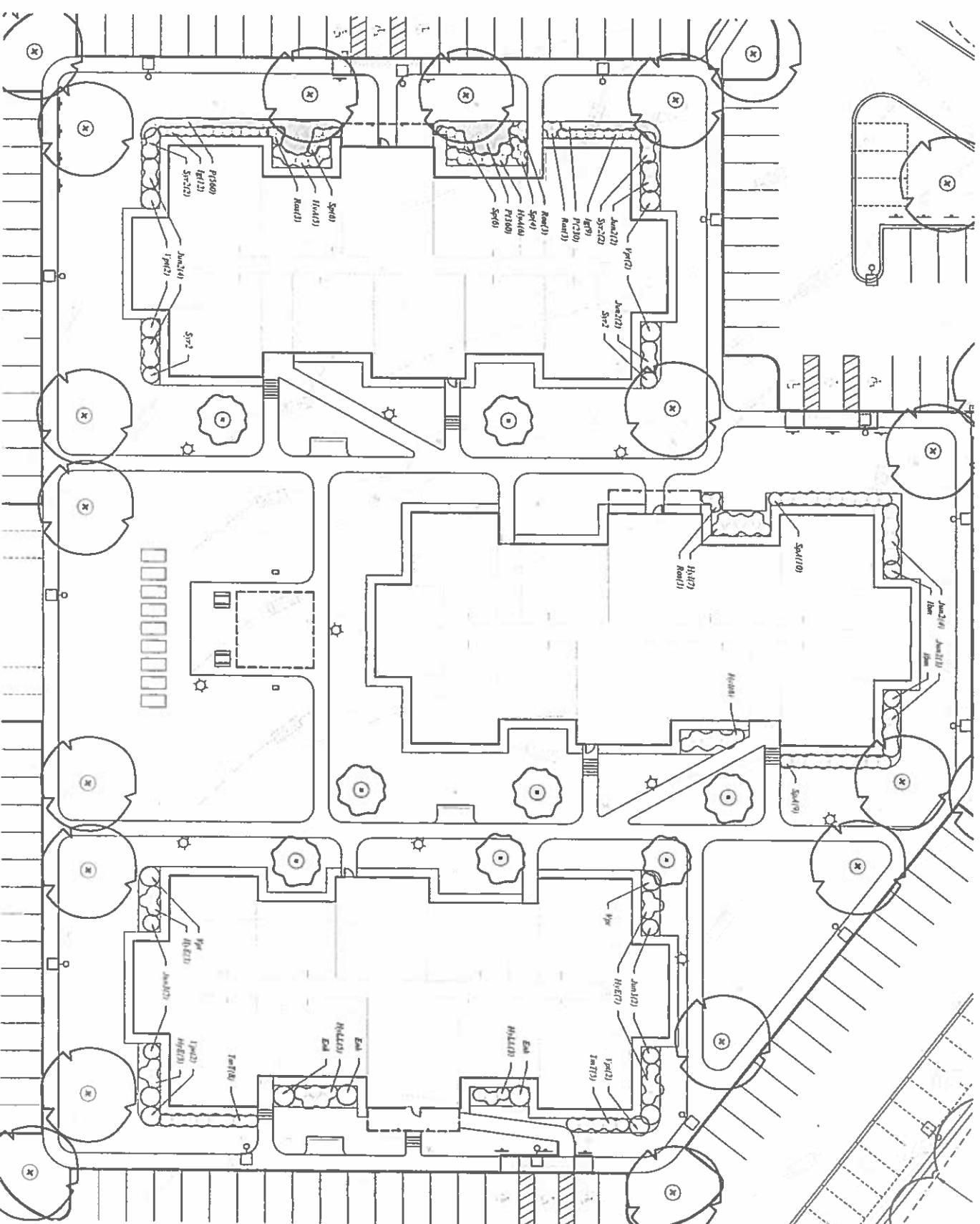
FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
F.B. NO.

31 Money Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

1-3



FOUNDATION LANDSCAPE PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

LEGEND

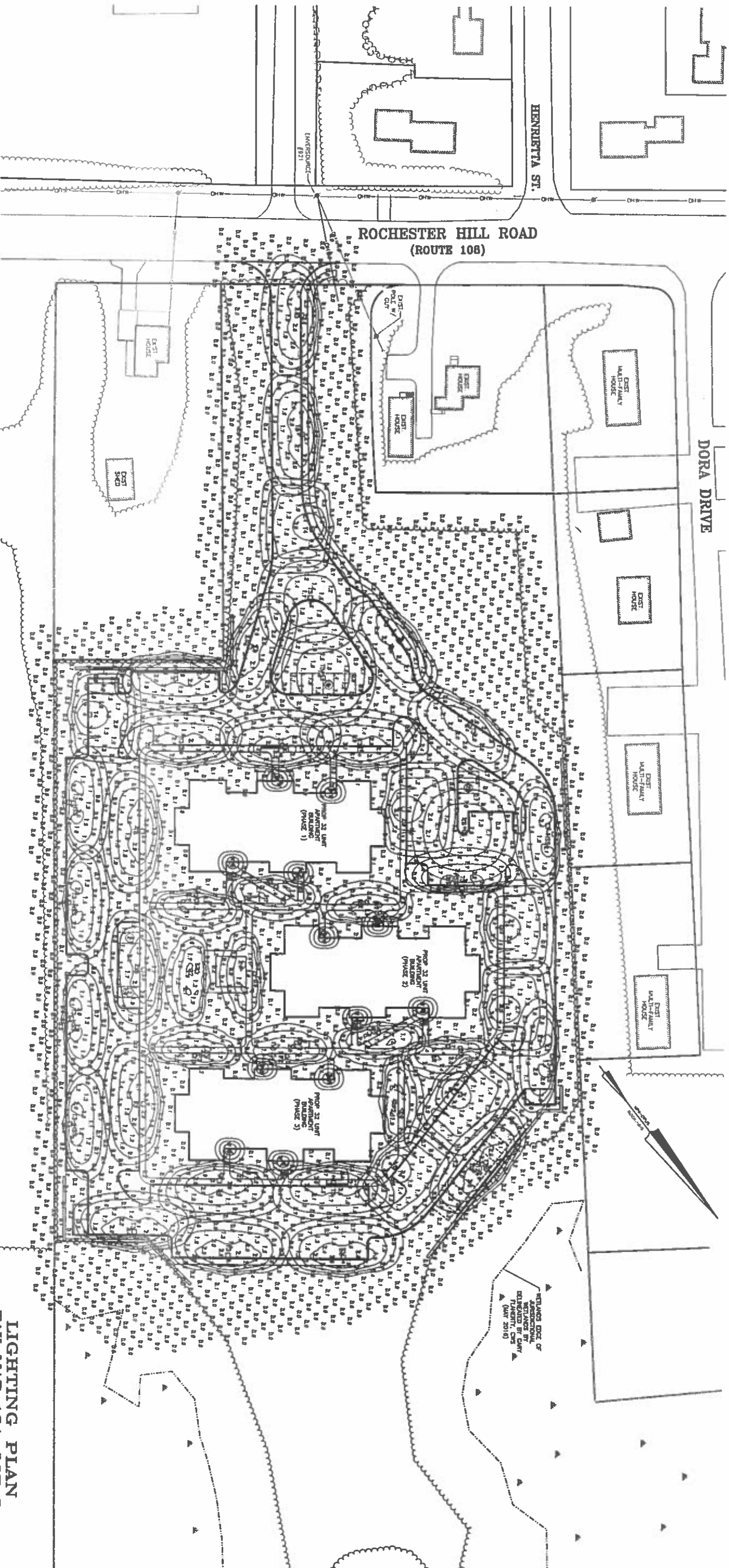
- PROPERTY LINE
- ADDITIONAL SETBACKS
- EXISTING OVERHEAD WIRING
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT WITH CURBING
- PROPOSED LIGHT POLES
- PROPOSED BUILDING LIGHT FIXTURES
- PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ILLUMINATION LINES

Symbol	Label	Qty	Arrangement	Description
1	10	1	SINGLE	NSA-E01-LED-E1-SL2/ 10' POLE
2	18	1	SINGLE	ICH-E02-LED-E1-SL3/ 15' ATG
3	18	1	SINGLE	ICH-E02-LED-E1-SL3-HSS/ 15' ATG
4	18	1	SINGLE	ICH-E02-LED-E1-SL4/ 15' ATG
5	18	1	SINGLE	ICH-E02-LED-E1-SW/ 15' ATG
6	18	1	SINGLE	FES0650LPC/ WALL MTD 7' ATG



THE SOURCE FOR
ALL THINGS L.E.D.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED IN THE PLAN SET. THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS SET, PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



LIGHTING PLAN
TAX MAP 134, LOT 5
114 ROCHESTER HILL RD
ROCHESTER, NH
PREPARED FOR:
D.R. LEMIEUX BUILDERS, INC.

MAY 2016
GRAPHIC SCALE



FILE NO. 104
PLAN NO. C-2780
DWG. NO. 15225/SP-1
P.B. NO.

31 Mooney Street, Alton, N.H. 003-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



DAVID LEMIEUX
78 EASTER ROAD
NEWMARSHET, NH 03068
(603) 292-3555

LEMIEUX
MULTI-FAMILY HOUSING

ROCHESTER, NH

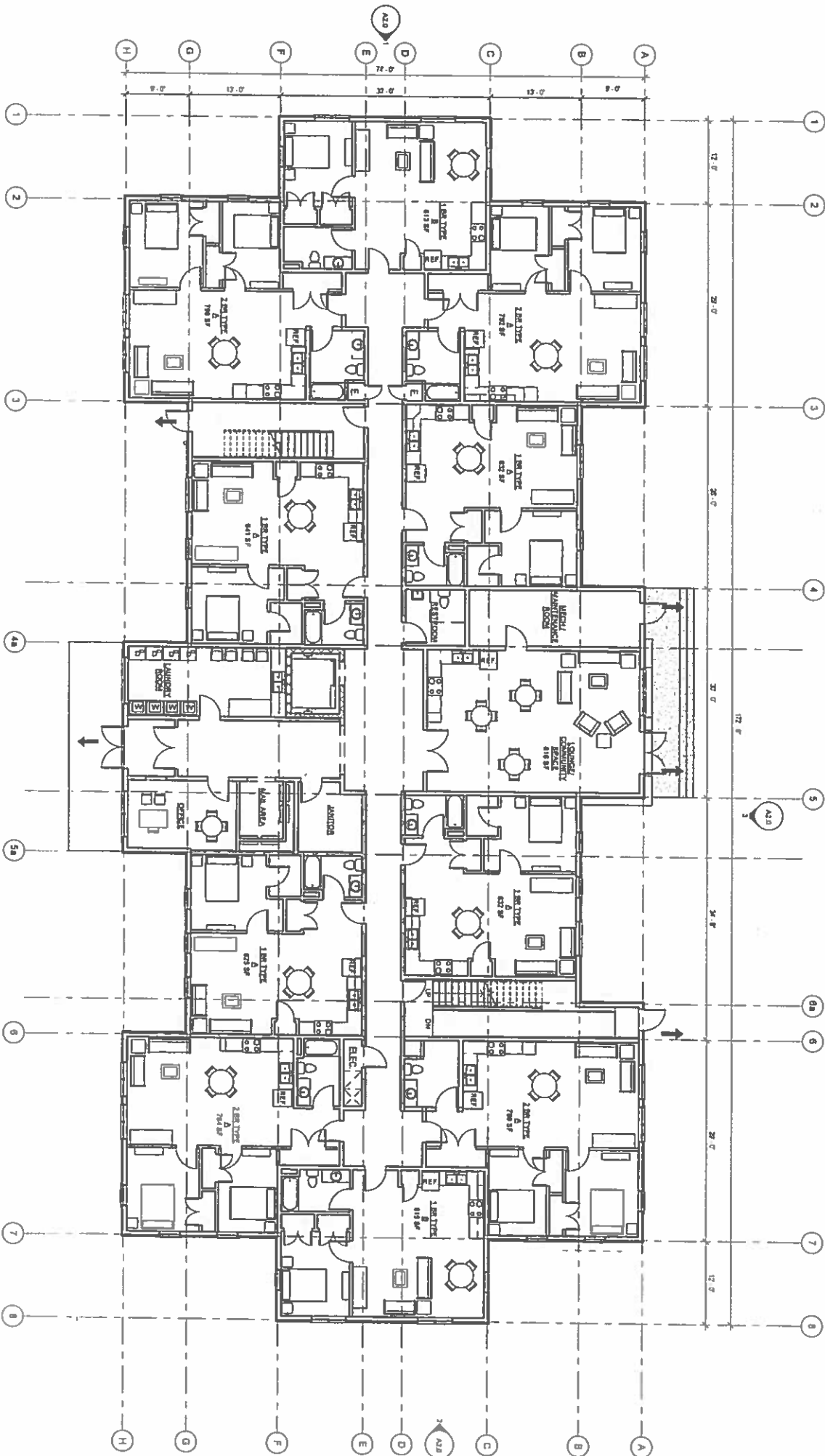
REVISIONS

FIRST FL. PLAN

SCALE	DRAWN BY
1/8" = 1'-0"	CLB
DATE	CHECKED BY
02.03.16	WML
DESIGNED BY	
DATE	
CHECKED BY	
DATE	

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1 FIRST FL. PLAN
1/8" = 1'-0"

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ARCHITECTS PA
P.O. BOX 378
270 MAIN STREET
E. GREENWICH, NH 03043
1-203-264-2040

DAVID LEMIEUX
78 EXETER ROAD
NEWMARKET, NH 03856
(603) 282-3555

LEMIEUX
MULTI-FAMILY HOUSING

ROCHESTER, NH

REVISIONS:

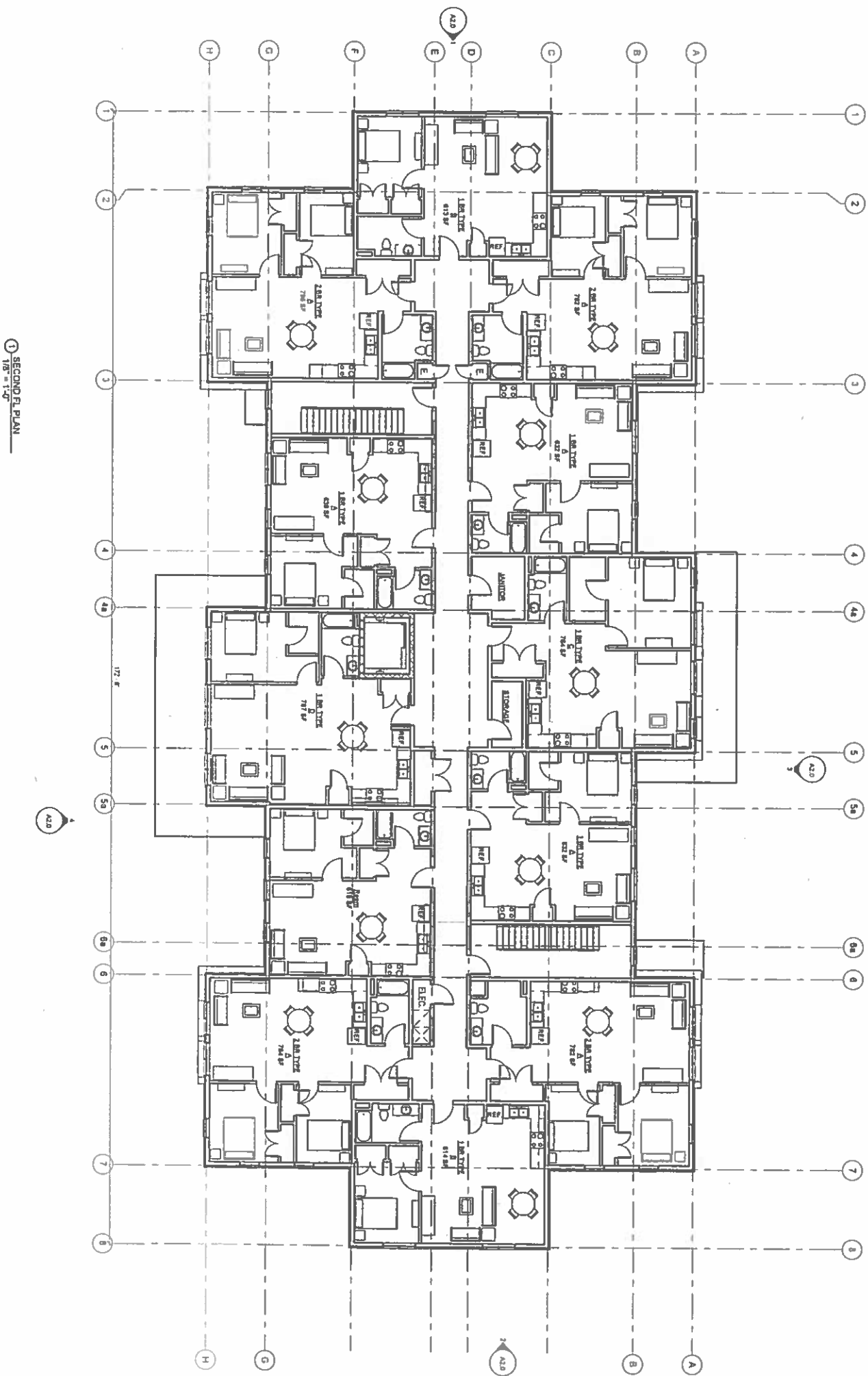
REVISIONS:	

SECOND FL PLAN

SECOND FL PLAN	
SCALE	DRAWN BY
1/8" = 1'-0"	ASP
DATE	CHECKED BY
06-03-16	MM

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① SECOND FL PLAN
1/8" = 1'-0"



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NEWARK, NH 03055
(603) 264-3555

LEMIEUX
MULTI-FAMILY HOUSING
ROCHESTER, NH

REVISIONS			
1	ADDENDUM NO. 1	DATED 10/08/2014	ADDENDUM NO. 2
2		DATED 10/10/2014	VALUE ENGINEERING
3		DATED 11/07/2014	CONSTRUCTION SET
4		DATED 11/07/2014	

EXTERIOR ELEVATIONS			
SCALE	GRAPHIC	DATE	DESIGN
1/8" = 1'-0"	ASB	06/24	OKCED BY
DATE	BY	DATE	BY
06/24	ASB	06/24	ASB
06/24	ASB	06/24	ASB

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DATE: 10/08/2014
BY: DAN LEMIEUX

