



RECEIVED
NOV 09 2016
Planning Dept.

RESIDENTIAL SITE PLAN APPLICATION (townhouses, apts., etc.)
City of Rochester, New Hampshire

Date: NOVEMBER 1, 2016 [office use only. fee paid _____ amount \$ _____ date paid _____]

Property information

Tax map #: 210; Lot #'s: 64; Zoning district: Highway Commercial & Residential 1

Property address/location: Flat Rock Bridge Rd & Milton Rd

Name of project (if applicable): _____

Size of site: 7.7 acres; overlay zoning district(s)? Wetlands overlay

Property owner

Name (include name of individual): Anna Fazekas Rev. Trust/Ervin Fazekas Rev. Trust

Mailing address: 141 Wakefield St., Rochester, NH 03867

Telephone #: 603-674-8388 Fax #: _____

Applicant/developer (if different from property owner)

Name (include name of individual): Anna Fazekas Rev. Trust/Ervin Fazekas Rev. Trust

Mailing address: 141 Wakefield St., Rochester, NH 03867

Telephone #: 603-674-8388 Fax #: _____

Engineer/designer

Name (include name of individual): Kenneth A. Berry, PE, LLS
Christopher R. Berry, Project Manager

Mailing address: 335 Second Crown Point Rd. Barrington, NH 03825

Telephone #: 332-2863 Fax #: 335-4623

Email address: K.Berry@BerrySurveying.com Professional license #: 14243

Proposed use

The applicant is not bound by information on bedrooms and ownership arrangement unless that is a condition of approval.

Total number of proposed dwelling units: 16; number of existing dwelling units: 0

Proposed bedrooms/unit: 2; total number of proposed bedrooms: 32

(continued Residential Site Plan application Tax Map: 210 Lot: 64)

New building(s)? 4 addition(s)/modifications to existing building(s)? 0

Townhouses/rowhouses: X flats: duplexes: freestanding detached units:

Proposed ownership - leasehold: X fee simple conveyance: condominiums: X

Utility information

City water? yes X no ; How far is City water from the site? AT THE SITE

City sewer? yes no X; How far is City sewer from the site? 1,480

If City water, what are the estimated total daily needs? 4800 gallons per day

Where will stormwater be discharged? Multiple rain gardens (3)

Other information

parking spaces: existing: 0 total proposed: 37; Are there pertinent covenants? No

Describe existing conditions/use (vacant land?): Vacant Land

Check any that are proposed: variance ; special exception ; conditional use

Wetlands: Is any fill proposed? NO; area to be filled: N/A; buffer impact? NO

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	8,960	2.63%
Parking and vehicle circulation	23,620	7%
Planted/landscaped areas (excluding drainage)	10,500	3.1%
Natural/undisturbed areas (excluding wetlands)	222,833	65.87%
Wetlands	49,088	14.51%
Other – drainage structures, outside storage, etc.	23,297	6.89%

100% based on REVISED LOT 64 7.7 AC

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

WAIVERS WILL BE REQUIRED

(continued Residential Site Plan application Tax Map: 210 Lot: 64)

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Em J. Owen

Date: 11-8-16

Signature of applicant/developer: _____

Date: _____

Signature of agent: 

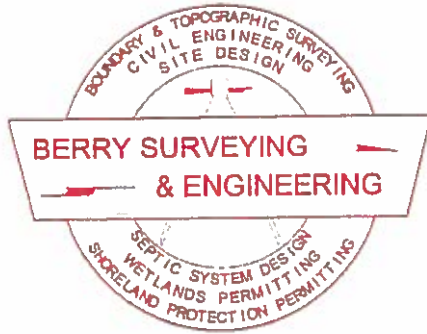
Date: 11-8-16

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: Em J. Owen

Date: 11-8-16



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

November 8, 2016

City of Rochester Planning Board
Attention Chief Planner Seth Creighton
31 Wakefield Street
Rochester, NH 03867

Re: Site Plan Application
Land off Milton Road & Flat Rock Bridge Road
Rochester, NH
Owner: Anna Fazekas Revocable Trust (the Trust)
Ervin Fazekas Revocable Trust (the Trust)
16 Unit Townhouse Style Development & Lot Line Revision with Merger

Mr. Chairman and Members of the Rochester Planning Board,

On behalf of the Trust, Berry Surveying & Engineering (BS&E) submits for Planning Board for further review of a 16 unit townhouse style housing development. We have discussed this revision to the project with the board in the past and have now finalized the engineering package required for submission.

The project has been drastically reduced in scope due to the comments we received at the acceptance hearing. The applicant is balancing the number of units that is reasonable on this parcel of land with onsite sewage disposal. The original assessment of the property was that a larger number of units could be supported on this site, however Mr. Fazekas is amenable to a reduction to in this format which we feel has a reasonable loading on the project site. The units are set towards the middle of the site, in the area of the best soil on site, and there will be one effluent disposal field located over 100 feet from abutting boundary lines to the east of the proposed structures.

The site will be serviced by municipal water, and a private roadway with no public infrastructure. The road is designed to be 20' wide with a 4' at grade sidewalk to Flat Rock Bridge Road. A trail through the wetlands buffer is not proposed to Milton Road. We have explored with the applicant a trail through the remainder of this project over other lands held in common, however it is our assessment that it is not the most direct route and therefore will not be used. Additionally, the applicant has concerns about the liability of having a walking trail over other land that he intends for sale. Walking and biking to Milton Road will take place on the provided walk.

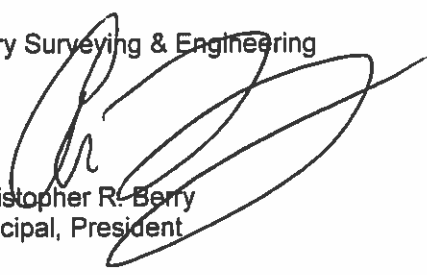
Screening is proposed at the rear of the abutting lots 62 & 63. A dense row of blue spruce are currently proposed, and will be reviewed by staff upon final submission. A fence is proposed against the proposed roadway and abutting lot 65 to screen the traffic from that abutter. There is no longer any development proposed behind lot 65. Plantings are also proposed on the applicant's side of the fence for further protection. The road alignment was chosen so that the exiting traffic stops across from the abutter's driveway and garage location. There is no longer any development proposed to the rear of the houses on Kodiak Court. We have met with the abutters directly affected on Flat Rock Bridge Road and have discussed the screening and placement of the effluent disposal system. They seemed satisfied at that meeting with the proposal, as it is now designed.

We have just recently received the required architectural drawings, with the color scheme, planting scheme, with the door and window package. We have enclosed this with the general site plans for this project for discussion at the meeting.

A traffic count was done in January of this year. With the traffic that comes from the neighboring campground, we were asked to update these numbers during the peak season. Due to the closures of Salmon Falls Road and Flat Rock Bridge Road, a reliable count can still not be accomplished. We will seasonally adjust the counts taken earlier in the year, and add in the generation of traffic from the camp ground for the final analysis, and compare these numbers with the corridor study accomplished in 2014-2015. A trip generation and distribution analysis will then be based on these counts. Our preliminary assessment is that the increased AM and PM traffic will be limited to 8 Trips, with the approximate total daily volume being 94 trips.

We appreciate the board's time and consideration to this project.

Berry Surveying & Engineering


Christopher R. Berry
Principal, President

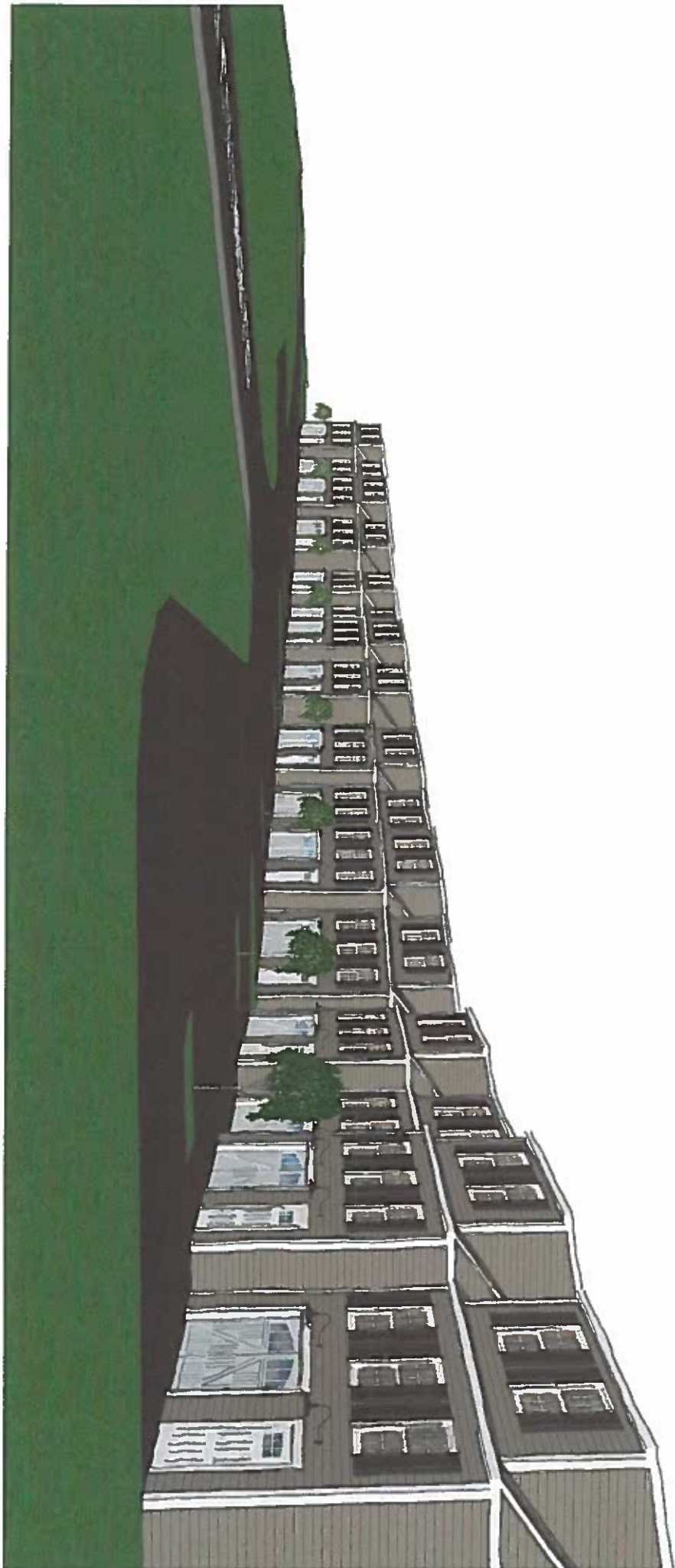


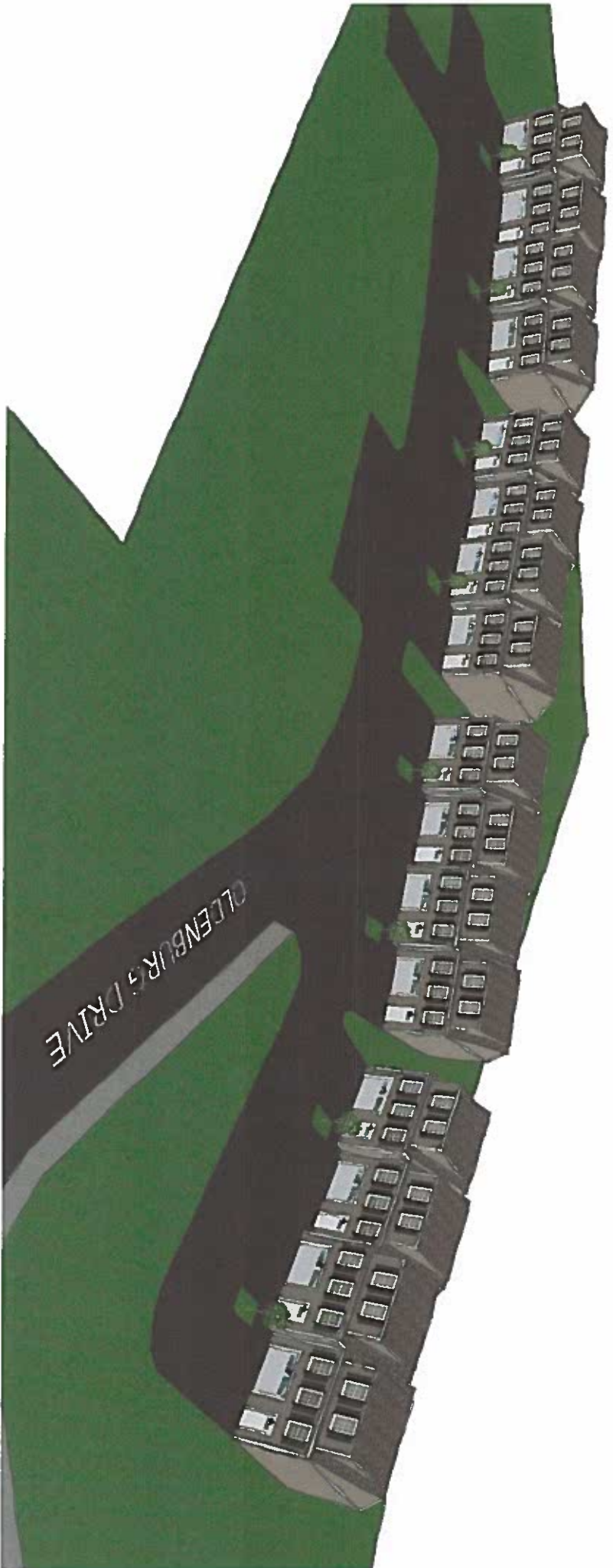
BERRY SURVEYING & ENGINEERING

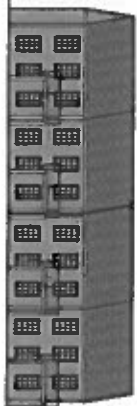
148 Second Crown Pt. Rd., Barrington, NH 03825

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335 Second Crown Point Road
Barrington, NH 03825

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November 1, 2016

City of Rochester Planning Board
Attention Chief Planner Seth Creighton
31 Wakefield Street
Rochester, NH 03867

RE: Proposed Site Plan (16 Units)
Land off Milton Road & Flack Rock Bridge Road
Rochester, NH
Owner: Anna Fazekas Revokable Trust (the Trust) &
Ervin Fazekas Revokable Trust (the Trust)
16 Unit Townhouse Style Development
Waiver Requests

Pursuant to the City of Rochester Site Plan Regulations, Berry Surveying & Engineering (BS&E) on behalf of the Trust, requests the City of Rochester Planning Board waive the following project specific items:

- Article III, Section 5 (E) Parking Lots (11) Foundation Planting Buffer
- Article III, Section 6 (E) Standards (6) Mounting Heights
- Article III, Section 15 (D) Electrical Utilities (1)

Mr. Chairman and Members of the Rochester Planning Board,

1. Identification of Waiver Request & Explanation.

Article III, Section 5 (E) (11) calls for a foundation planting buffer between the building and any parking lot or driveway situated on the front or side of the building. There is no foundation planting buffer proposed in the front of the building, as each unit has a garage.

2. Waiver Justification:

- a. Granting the waiver will properly carry out the purpose and intent of the regulations.**

Although we are not proposing a planting buffer, we have proposed a tree island between units in the parking area, which will meet the intent of having an attractive landscaped area in front of the buildings.

- b. Strict conformity to the regulations would pose an unnecessary hardship to the applicant.**

Strict conformity would require placing a planting buffer in front of the buildings, rendering the garages useless.

1. Identification of Waiver Request & Explanation.

Article III, Section 6 (E) (6) limits the mounting height of light fixtures to 15 feet. We have proposed lighting mounted at 18 feet.

2. Waiver Justification:

- a. Granting the waiver will properly carry out the purpose and intent of the regulations.**

The intent of the regulation is to ensure a consistent look, and to ensure no light is projected on to abutting properties. The lighting elements and mounting heights were both chosen to for these reasons. There will be no light bleeding over the property lines, and the mounting height is consistent with other lighting in the abutting commercial zone.

- b. Strict conformity to the regulations would pose an unnecessary hardship to the applicant.**

The lights were chosen and placed to achieve a specific uniformity ratio, and to match the regulations as noted above. In order to match that uniformity ratio under strict compliance, it would require a different type of light than is consistent in the nearby commercial zone while also ensuring no light bleeds on to abutting properties.

1. Identification of Waiver Request & Explanation.

Article III, Section 15 (D) (1) requires all electric utilities to be underground. We are proposing overhead utilities across Flat Rock Bridge Road to a drop pole, where electric will be carried underground.



BERRY SURVEYING & ENGINEERING
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2. Waiver Justification:

- a. **Granting the waiver will properly carry out the purpose and intent of the regulations.**

By granting the waiver, all electric utilities on site will still be installed underground, per regulations.

- b. **Strict conformity to the regulations would pose an unnecessary hardship to the applicant.**

Strict conformity would require the developer to install underground electric under Flat Rock Bridge Road, at a much higher expense than carrying the existing overhead lines across the street to a drop pole.

Thank you for your time and attention to this matter and we hope you look favorably upon the request.

Respectfully Submitted,

BERRY SURVEYING & ENGINEERING

Christopher R. Berry
Principal, President



BERRY SURVEYING & ENGINEERING
335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com

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PROPOSED MAJOR SITE PLAN FOR ANNA FAZEKAS REVOCABLE TRUST & ERVIN FAZEKAS REVOCABLE TRUST FLAT ROCK BRIDGE ROAD & MILTON ROAD ROCHESTER, NH TAX MAP 210, LOT 64

SURVEYOR OF RECORD: KENNETH A. BERRY, P.E., L.L.S.
CPESS, CESSWM
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, P.E., L.L.S.
CPESS, CESSWM
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST OF RECORD: PETER SPEAR, CWS, CSS
95 SILVER LAKE ROAD
TILTON, NH 03276
(603) 729-0214

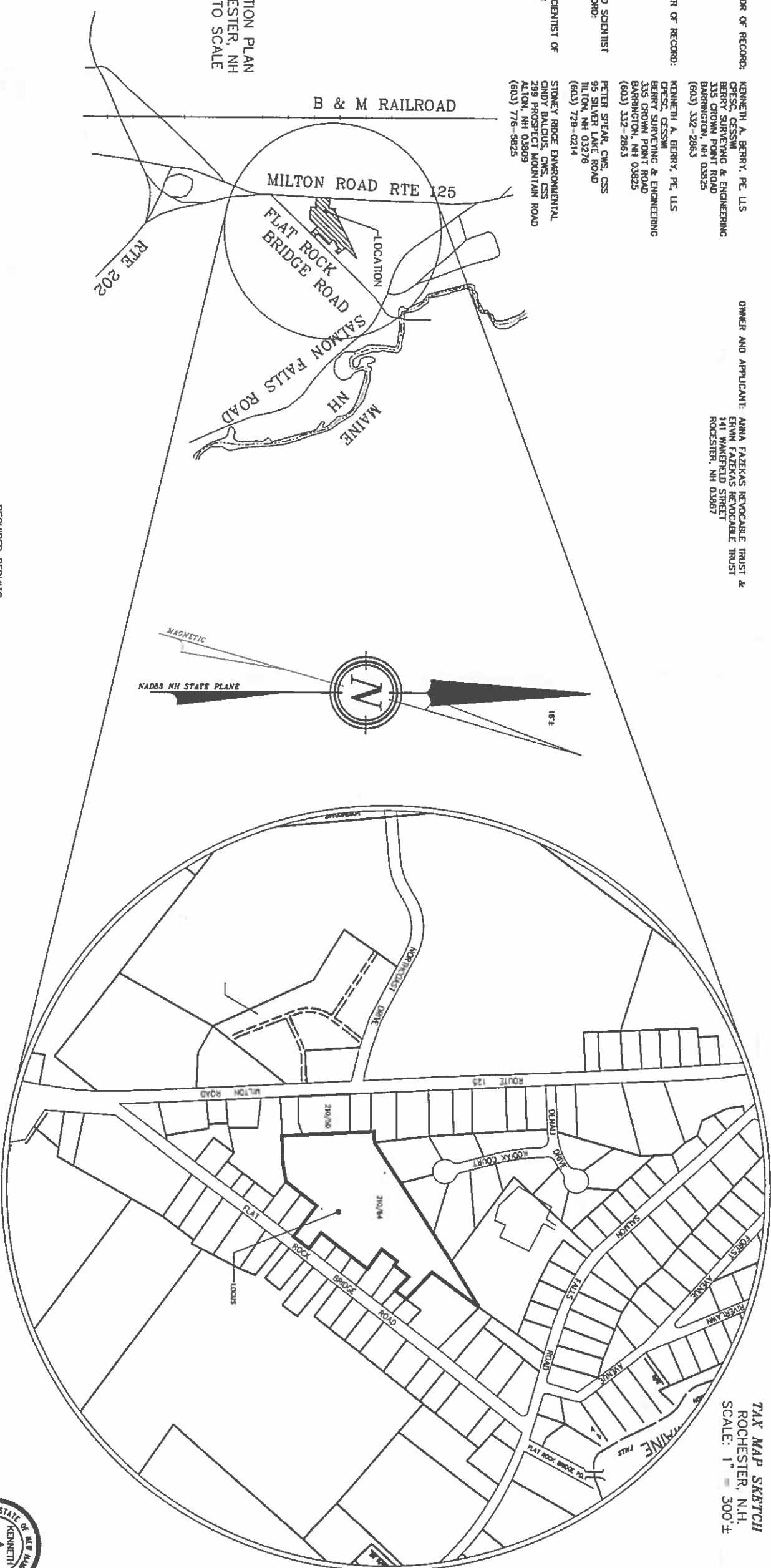
SOILS SCIENTIST OF RECORD: STONEY RIDGE ENVIRONMENTAL
CINDY BALDUS, CWS, CSS
299 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 778-5825

OWNER AND APPLICANT: ANNA FAZEKAS REVOCABLE TRUST &
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03667

LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE

NOTE:
BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION &
MAINTENANCE MANUAL AS PART OF THIS PROJECT'S DOCUMENTATION.
ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL
OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO
BE DELIVERED TO THE ROCHESTER DPW AS DIRECTED IN THE MANUAL.

REQUIRED PERMITS:
• NHDES SURFACE SEPTIC
• EPA/NOTICE OF INTENT (NOI)
• LOCAL CHAPTER 50

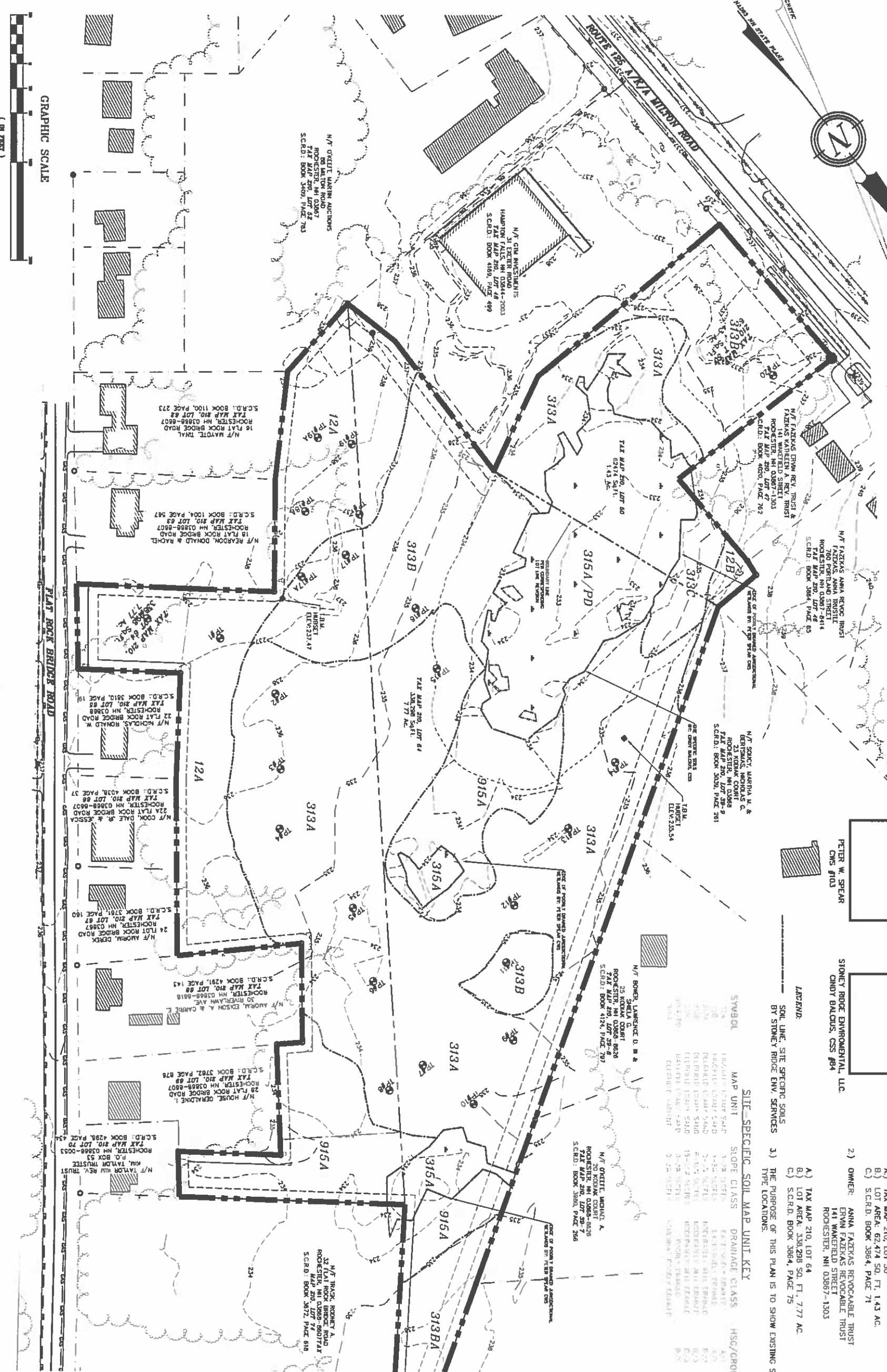


BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

PROPOSED MAJOR SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION



NOTES:

1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
141 WAREFIELD STREET
ROCHESTER, NH 03607-1303

2) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
141 WAREFIELD STREET
ROCHESTER, NH 03607-1303

3) OWNER: STONEY RIDGE ENVIRONMENTAL, LLC
CINCY BALCHUS, CSS #84

LEGEND:
SOIL LINE, SITE SPECIFIC SOILS
BY STONEY RIDGE ENV. SERVICES

SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HSC/ORG/UP
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
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92	92	92	92	92
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100	100	100	100	100

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 50 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

SITE SPECIFIC SOILS MAP
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

NOTES:

- 1) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 210, LOT 64, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A RESIDENTIAL SITE PLAN WITH PROPOSED PARKING, DRAINAGE, AND UTILITIES.
- 2) CURRENT OWNERS: ANNA FAZEKAS REVOCABLE TRUST
ERWIN FAZEKAS REVOCABLE TRUST
ROCHESTER, NH 03605
441 WAREHOUS STREET
ROCHESTER, NH 03605
- 3) THE PROJECT PARCEL IS TAX MAP 210, LOT 64 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4) THE SITE PLAN PROJECT IS FILED IN CONJUNCTION WITH A LOT LINE ADJUSTMENT.
- 5) TITLE REFERENCE FOR THE PROJECT PARCELS ARE THE SUFFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 3864 PAGE NO. 71, AND BOOK NO. 3864, PAGE 72, RESPECTIVELY.
- 6) LOT 50 IS SUBJECT TO AN EXISTING EASEMENT ADJACENT TO TAX MAP 210, LOT 42, AND SHOWN ON S.C.R.D. PLAN 8108-22
- 7) ZONING: RESIDENTIAL 1 (R1)
MINIMUM LOT SIZE: 10,000 SQ. FT.
MINIMUM FRONT SETBACK: 10'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 25'
- 7A) ZONING: HIGHWAY COMMERCIAL (HC)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM FRONT SETBACK: 100'
MINIMUM SIDE SETBACK: 70'
MINIMUM REAR SETBACK: 100'
MINIMUM REAR SETBACK: 25'
- 8) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN JULY 2015 WITH AN ORDER OF CLOSING DATED MAY 1, 2016.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 10) HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PARCELS DO NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD ZONE, (FEMA COMMUNITY FLOOD HAZARD, DATED MAY 17, 2005).
- 11) SEE THE EXISTING CONDITIONS PLANS FOR LOCATIONS OF ON SITE WETLANDS. THESE AREAS ARE TO BE PLACED PRIOR TO EXISTING DRAINAGE ACTIVITIES.
- 12) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCTION OF THE ORIGINAL AND IN A DIGITAL PDF FORMAT ON DISK TO THE CITY OF ROCHESTER ON OR BEFORE COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
- 13) EXISTING DRAINAGE SHALL BE CUT-OFF TYPE FEATURES AND SHALL PROVIDE DRAINAGE DIRECTED ON-SITE ONLY.
- 14) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN 2012. EXISTING TOPO PROVIDED AT 1' INTERVAL.
- 15) DRAINAGE PROJECT DATA IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON WINTER SR M40 1983 AND VERTICALLY BY NAVD 1983.
- 16) THE PROPOSED STRUCTURE WILL BE SITED BY A SPREADER STRIP AS REQUIRED UNDER THE CODE OF THE CITY OF ROCHESTER AND THE 2008 STATE BUILDING CODES, AS APPLICABLE.
- 17) FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13, AS APPLICABLE.
- 18) A SECURITY SYSTEM MAY NEED TO BE INSTALLED AS MAY REQUIRED BY THE CODE OF THE CITY OF ROCHESTER, AS APPLICABLE.
- 19) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DEPT.
- 20) CONTRACTOR TO CONTACT ROCHESTER DEPT. A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.
- 21) ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS.
- 22) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EXISTING AT (603) 438-7798. ALL ELECTRICAL CONDUIT INSTALLATION SHALL BE INSTALLED BY EXISTING PRIOR TO ANY OTHER WORK. A 4-8 INCH MINIMUM HOLE IS REQUIRED.
- 23) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FARRINGTON COMMUNICATIONS AT (603) 427-5524.
- 24) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH NETCROSS.
- 25) ALL NEW ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, WITH THE EXCEPTION OF ONE DROP POLE (WATER REQUEST).
- 26) SUBJECT PARCEL IS TO BE SERVED BY WAREHOUS, WATER AND ON SITE EFFLUENT DISPOSAL.
- 27) TESTABLE BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- 28) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- 29) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 30) PROTECTION OF SURROUNDING: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, EXCAVATED SUBGRADE, PROTECTS, PREVENTION, CONSTRUCTION CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES, ADJACENT PROPERTIES, AND EXISTING PLANTING. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING AREAS, EXISTING TRAFFIC IN EXISTING AREAS, AND MAINTAINING AN EFFICIENT DRAINAGE PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FINE DRAINING STRUCTURAL TILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.

- 31) IF THE ENGINEER IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY RULES), EXPOSED AREAS SHALL BE PROTECTED FROM FREEZING WEATHER. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, EXCAVATED SUBGRADE, PROTECTS, PREVENTION, CONSTRUCTION CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES, ADJACENT PROPERTIES, AND EXISTING PLANTING. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING AREAS, EXISTING TRAFFIC IN EXISTING AREAS, AND MAINTAINING AN EFFICIENT DRAINAGE PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FINE DRAINING STRUCTURAL TILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.
- 32) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM SETTLEMENT. EXCESSIVE SETTLEMENT SHALL NOT BE USED FOR CONSTRUCTION. VIBES BETWEEN STOKES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- 33) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND EROSION CONTROLS.
- 34) THERE IS ONE EMERGENCY OVERFLOW DRAIN INLET TO HAVE A REAR GRATE.
- 35) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEDIMENTATION, TEMPORARY EROSION CONTROL, AND EROSION CONTROL. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, EXCAVATED SUBGRADE, PROTECTS, PREVENTION, CONSTRUCTION CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES, ADJACENT PROPERTIES, AND EXISTING PLANTING. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING AREAS, EXISTING TRAFFIC IN EXISTING AREAS, AND MAINTAINING AN EFFICIENT DRAINAGE PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FINE DRAINING STRUCTURAL TILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.
- 36) SEE EROSION AND EROSION CONTROL PLANS.
- 37) ALL DRAINAGE PIPE IS TO BE 12" MINIMUM PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED "CORDED" PIPE IS ACCEPTABLE FOR THIS PROJECT.
- 38) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 39) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA PHASE 2, THE NOTICE OF VIOLATION (NOV) MUST BE COMPLETED BY THE DESIGN ENGINEER.
- 40) UPON FINAL COMPLETION AND EROSION STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
- 41) ALL IMPAVED AREAS ARE TO RECEIVE 4" QUALITY LEAD AND SEED.
- 42) ALL GRASSES AND DRAINS ARE TO HAVE ROOTS INSTALLED ON ALL INLETS AND OUTLETS.
- 43) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY DEMARKED PRIOR TO THE COMMENCEMENT OF SITE WORK, AS APPLICABLE.
- 44) ALL TREATMENT SHALLS TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
- 45) A LETTER OF CORRECT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY DRAIN DISTURBANCE ACTIVITY. AS MAY BE APPLICABLE.
- 46) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, THE PLANNING DIRECTOR OR DESIGNEE, AND THE CITY ENGINEER OR DESIGNEE SHALL OCCUR PRIOR TO ANY DRAIN DISTURBANCE ACTIVITY.
- 47) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE ASSESSING DEPARTMENT.
- 48) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
FEDERAL PERMIT: NONE
STATE PERMIT: NONE
- 49) LIST ANY VIOLATIONS OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE: NONE.
- 50) THIS SITE PLAN PROPOSES 95,000 SQ. FT. OF DISTURBANCE.
- 51) CALL DBO SAFE PRIOR TO BEGINNING WORK (1-800-344-7233).
- 52) WRITER: DRAINAGE ON THE PLAN HAS BEEN PROVIDED OVER SLOPED DRAINAGE. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, EXCAVATED SUBGRADE, PROTECTS, PREVENTION, CONSTRUCTION CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES, ADJACENT PROPERTIES, AND EXISTING PLANTING. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING AREAS, EXISTING TRAFFIC IN EXISTING AREAS, AND MAINTAINING AN EFFICIENT DRAINAGE PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FINE DRAINING STRUCTURAL TILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.
- 53) SHOW IS TO BE MOVED OFF-SITE ONCE SHOW STORAGE AREAS ARE FULL.
- 54) PERFORMANCE GUARANTEE: THE APPLICANT, PRIOR TO ISSUANCE OF A BUILDING PERMIT OR BEGINNING SITE WORK, SHALL PROVIDE SITE APPROVAL AND RESTORATION SECURITY. THE PERFORMANCE GUARANTEE SHALL BE IN AMOUNT EQUAL TO 10% OF THE APPROVED CONSTRUCTION COST ESTIMATE (INCLUDING A 10% INFLATION FACTOR) TO COVER THE PROPER AND TIMELY COMPLETION OF THE SITE WORK AND SITE RESTORATION BEFORE THE SITE PLAN CAN BE RECORDED. LOTS DECIDED TO HARD PARTIES, OR STRUCTURE OCCUPIED, THE APPLICANT SHALL PROVIDE A COST ESTIMATE OF REMAINING SITE WORK, INCLUDING LABOR, AND PROVIDE THE CITY WITH A SECURITY EQUAL TO 10% OF THE ESTIMATED COST FOR REMAINING SITE WORK. (ANY SECURITY DEPOSIT BEING HELD AT THIS TIME MAY BE CONSIDERED TOWARD THIS AMOUNT). THIS AMOUNT SHALL BE USED TO COVER THE COST OF REMAINING SITE WORK. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, EXCAVATED SUBGRADE, PROTECTS, PREVENTION, CONSTRUCTION CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING UTILITIES, ADJACENT PROPERTIES, AND EXISTING PLANTING. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING AREAS, EXISTING TRAFFIC IN EXISTING AREAS, AND MAINTAINING AN EFFICIENT DRAINAGE PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FINE DRAINING STRUCTURAL TILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.
- 55) FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAREHOUS STREET, ROCHESTER, NH 03605 (603) 332-1138.
- 56) THE PROPOSED PROJECT IS TO RECEIVE 18 TONNAGE SITE LOTS OF TWO BEDROOM FLAT, SINGLE CAR GARAGES AND WITH PARKING IS PROPOSED AT EACH UNIT, WITH VISITOR PARKING PROPOSED.

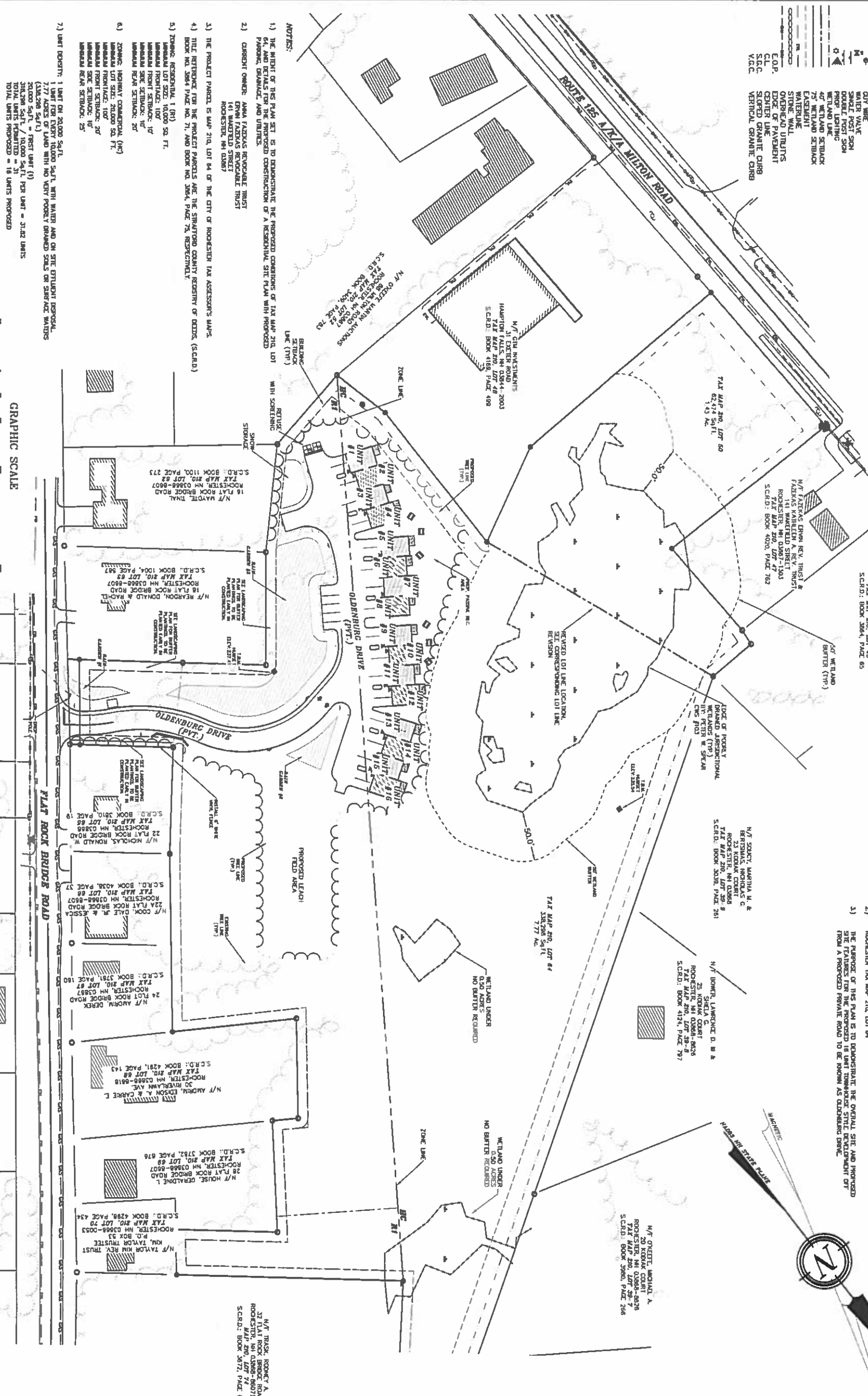


BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : NONE
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

GENERAL NOTES
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERWIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

- LEGEND:**
- RIVER BRIDGE (TYP)
 - ROAD (TYP)
 - TELEPHONE WIRELINE
 - CATCH BASIN
 - UTILITY POLE
 - WATER VALVE
 - DOUBLE POST SIGN
 - POWER LINES
 - 45' WETLAND SETBACK
 - 75' WETLAND SETBACK
 - WATERLINE
 - STONE WALL
 - OVERHEAD UTILITIES
 - EDGE OF WETLAND
 - SLOPED GRANITE CURB
 - VERTICAL GRANITE CURB



- NOTES:**
- 1) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE PROPOSED CONDITIONS OF TAX MAP 210, LOT 64, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A RESIDENTIAL SITE PLAN WITH PROPOSED PARKING, DRAINAGE, AND UTILITIES.
 - 2) CURRENT OWNER: ANNA FAZEKAS REVOCABLE TRUST
141 WAREFIELD STREET
ROCHESTER, NH 03607
 - 3) THE PROJECT PARCEL IS MAP 210, LOT 64 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - 4) TITLE REFERENCE FOR THE PROJECT PARCELS ARE THE STRATFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 3864 PAGE NO. 71, AND BOOK NO. 3864, PAGE 76, RESPECTIVELY.
 - 5) ZONING: RESIDENTIAL 1 (R1)
MINIMUM LOT SIZE: 10,000 SQ. FT.
MINIMUM FRONT SETBACK: 10'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 20'
 - 6) ZONING: HIGHWAY COMMERCIAL (HC)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 25'
 - 7) UNIT DENSITY: 1 UNIT ON 20,000 SQ. FT.
1 UNIT FOR EVERY 10,000 SQ. FT. WITH WATER AND ON SITE EFFLUENT DISPOSAL.
2.77 ACRES OF LAND WITH NO VARY POORLY DRAINAGE SOILS OR SHARP WADERS
(11.1 ACRES)
300,000 SQ. FT. / 10,000 SQ. FT. PER UNIT = 30 UNITS
TOTAL UNITS PERMITTED = 31
TOTAL UNITS PROPOSED = 16 UNITS PROPOSED

- NOTES:**
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
141 WAREFIELD STREET
ROCHESTER, NH 03607-1303
S.C.R.D.: BOOK 3864, PAGE 85
 - 2) ROCHESTER TAX MAP 210, LOT 64
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE OVERALL SITE AND PROPOSED SITE FEATURES FOR THE PROPOSED 16 UNIT TOWNHOUSE STYLE DEVELOPMENT OFF FROM A PROPOSED PRIVATE ROAD TO BE KNOWN AS OLDENBURG DRIVE.

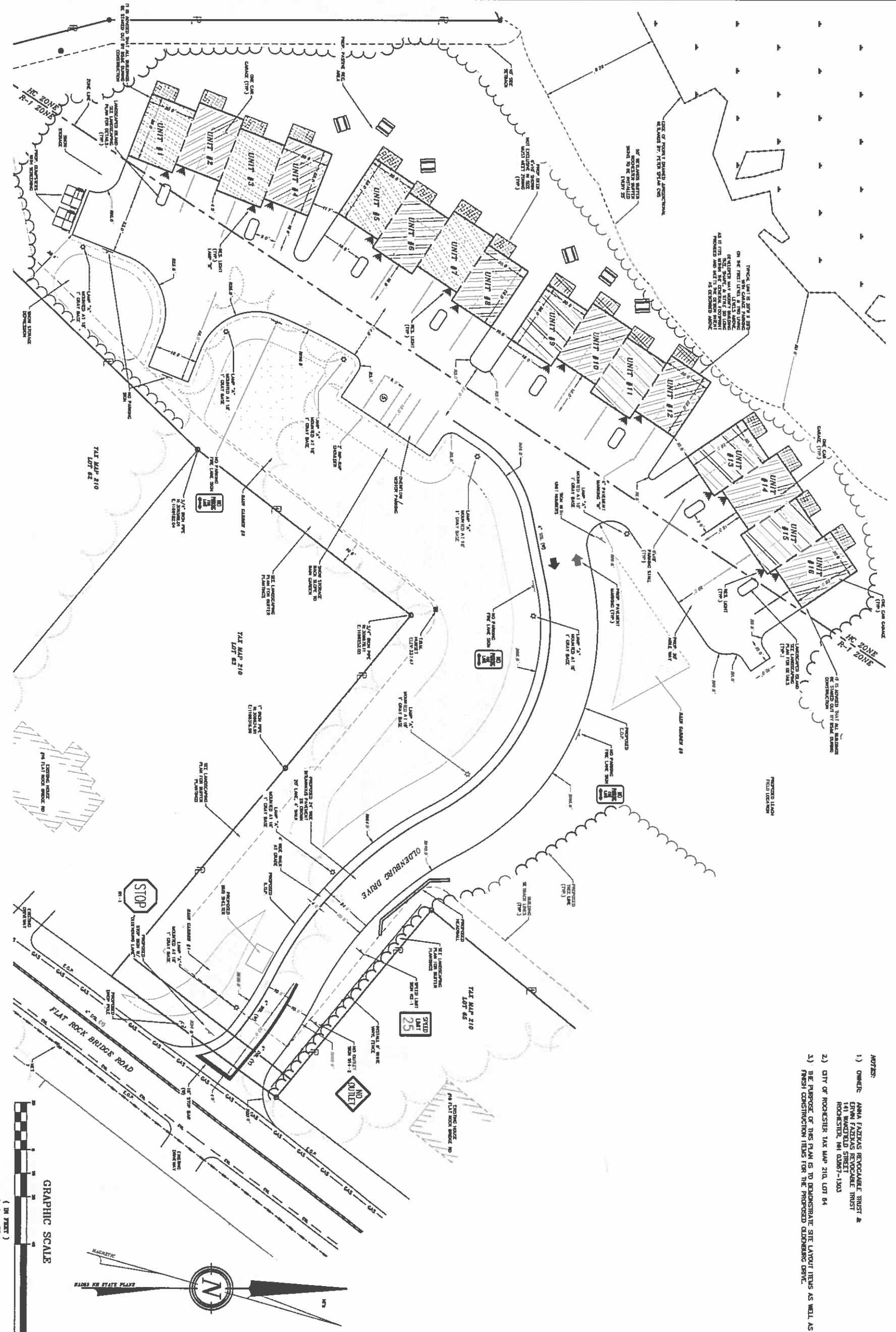


BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

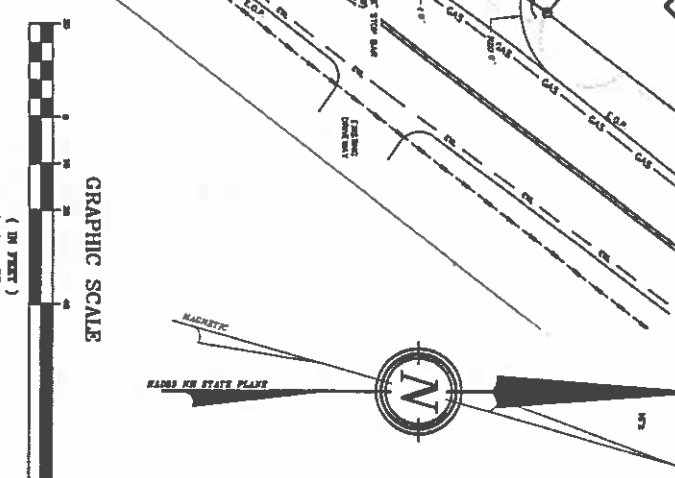
SCALE : 1 IN. EQUALS 50 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

OVERVIEW SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION



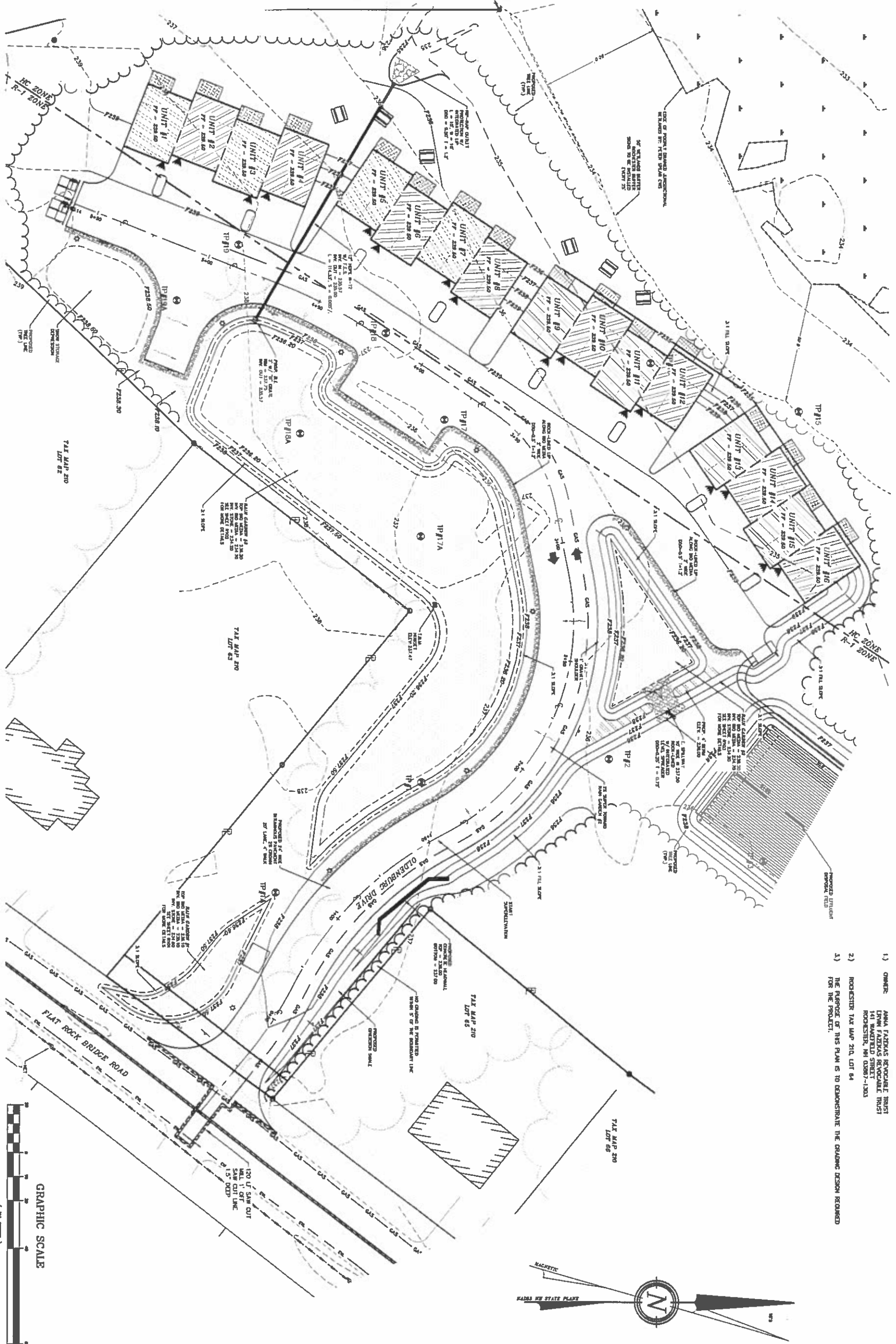
- NOTES:
- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST & ERVIN FAZEKAS REVOCABLE TRUST
141 WOODFIELD STREET
ROCHESTER, NH 03807-1303
 - 2.) CITY OF ROCHESTER TAX MAP 210, LOT 64
 - 3.) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE SITE LAYOUT ITEMS AS WELL AS FINISH CONSTRUCTION ITEMS FOR THE PROPOSED OLDEMBERG DRIVE.



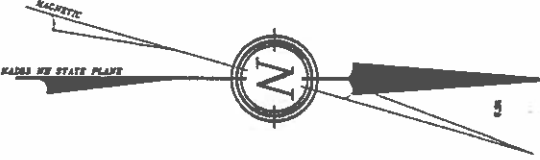
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

PROPOSED SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION



- NOTES:**
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
ROCHESTER, NH 03825-1203
 - 2) ROCHESTER TAX MAP 210, LOT 64
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE CHANGING DESIGN REQUIRED FOR THE PROJECT.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: NOVEMBER 1, 2016
FILE NO.: DB 2016 - 135

PROPOSED SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

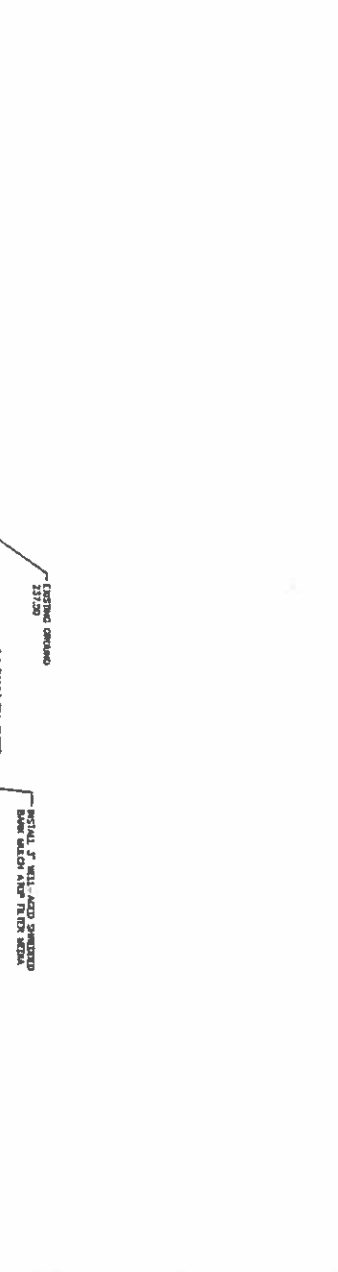
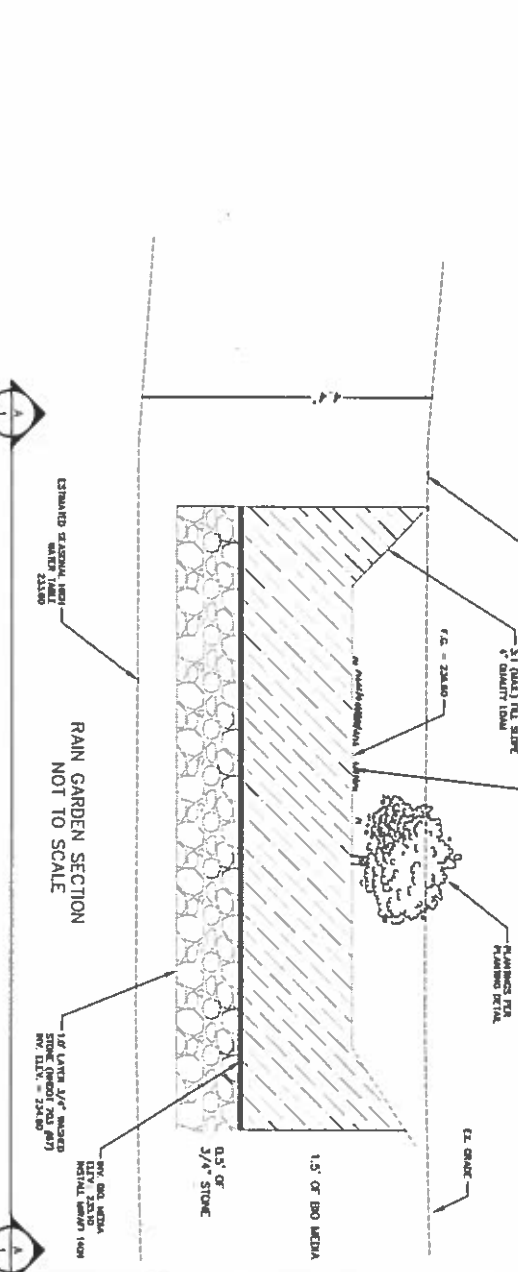
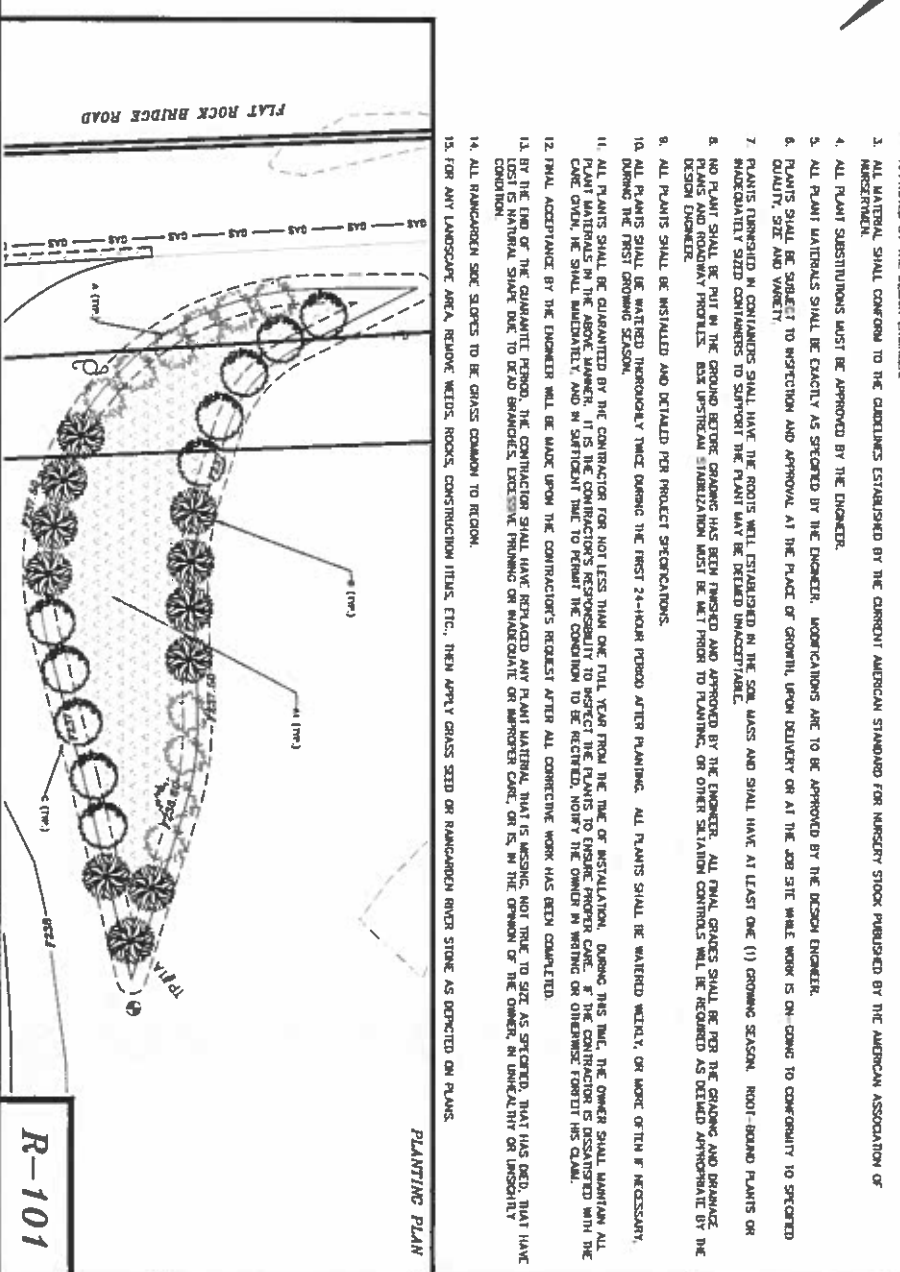
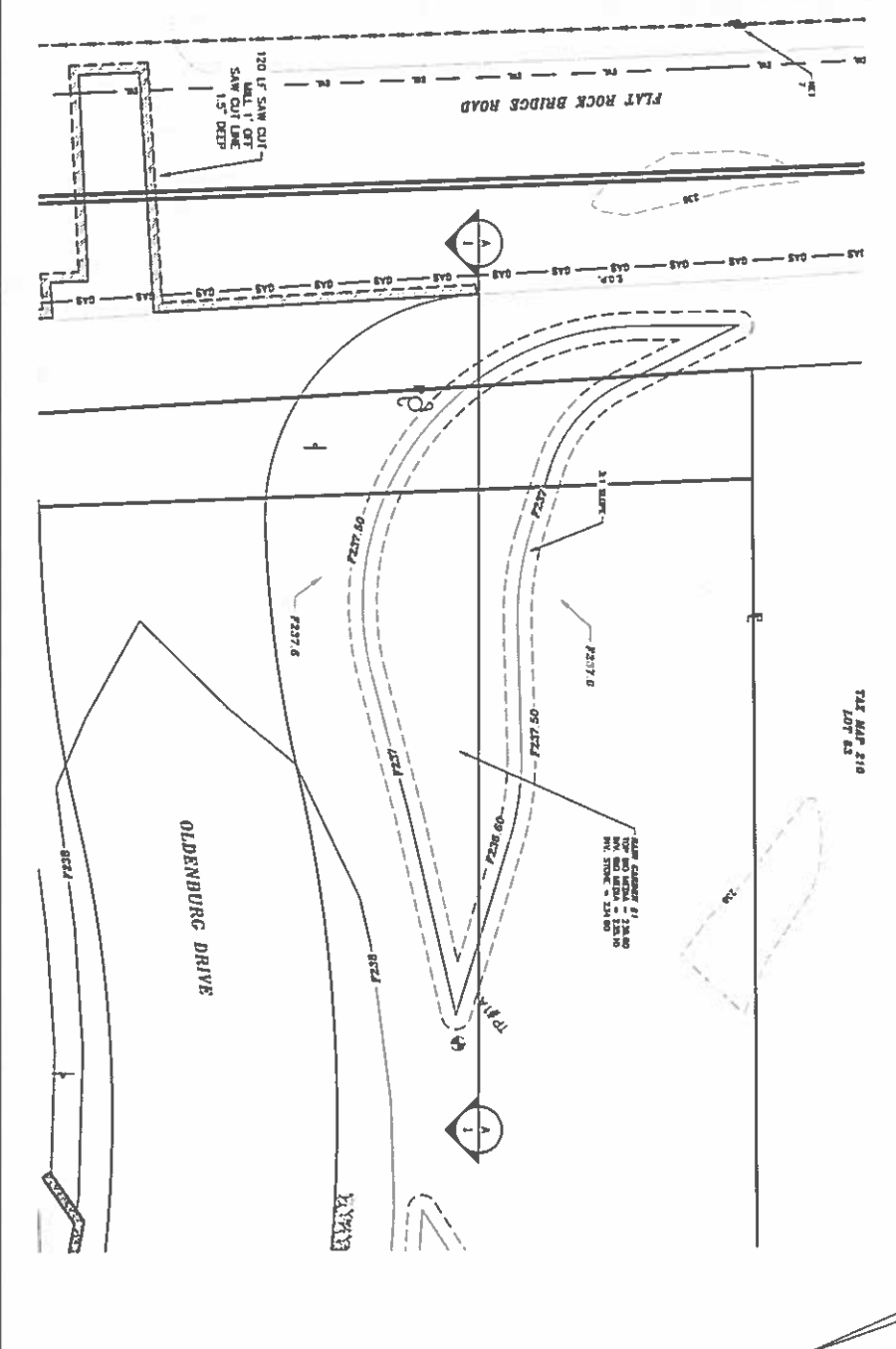
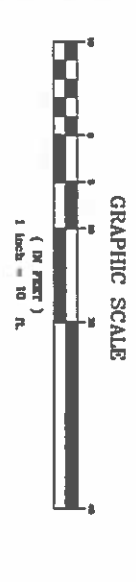
FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material Percent by Weight	Passing Standard Sieve No.
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand loess, with fines as indicated	20 to 30		
Modestly fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	15 to 25	
			200
			< 5

CRUSHED STONE BEDDING			
Sieve Size	% Passing by Weight		
3/4"	90 - 100		
3/8"	20 - 35		
#4	0 - 10		
#8	0 - 5		

- NOTES:
1. WHEN CONSTRUCTION EXCAVATES AND CEMENTS AREA TO SUBGRADE, EXPOSED SOIL SHALL BE PROTECTED FROM WEATHERING AND EROSION. SOIL SHALL BE PROTECTED FROM WEATHERING AND EROSION. SOIL SHALL BE PROTECTED FROM WEATHERING AND EROSION.
 2. NO CONSTRUCTION OF NEW CEMENT SHALL BE TO OCCUR DURING CONSTRUCTION.
 3. NO CONSTRUCTION OF NEW CEMENT SHALL BE TO OCCUR DURING CONSTRUCTION.

TREES AND SHRUBS			
Size	Quantity	Species	Notes
30m	1	Redwood	10' OC
15m	1	Redwood	10' OC
10m	1	Redwood	10' OC
5m	1	Redwood	10' OC

PERENNIALS & GROUND COVERS			
Size	Quantity	Species	Notes
30m	1	Redwood	10' OC
15m	1	Redwood	10' OC
10m	1	Redwood	10' OC
5m	1	Redwood	10' OC



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 10 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

RAIN GARDEN #1
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	Percent by Weight
Filter Media Option A	Sieve No.	Passing Standard Sieve	
ASTM C-33 concrete sand	50 to 55		
Loamy sand loam, with fines as indicated	20 to 30		15 to 25
Modestly fine shredded bark or wood fiber mulch, 1/16" screen, 80% retained	20 to 30		< 5

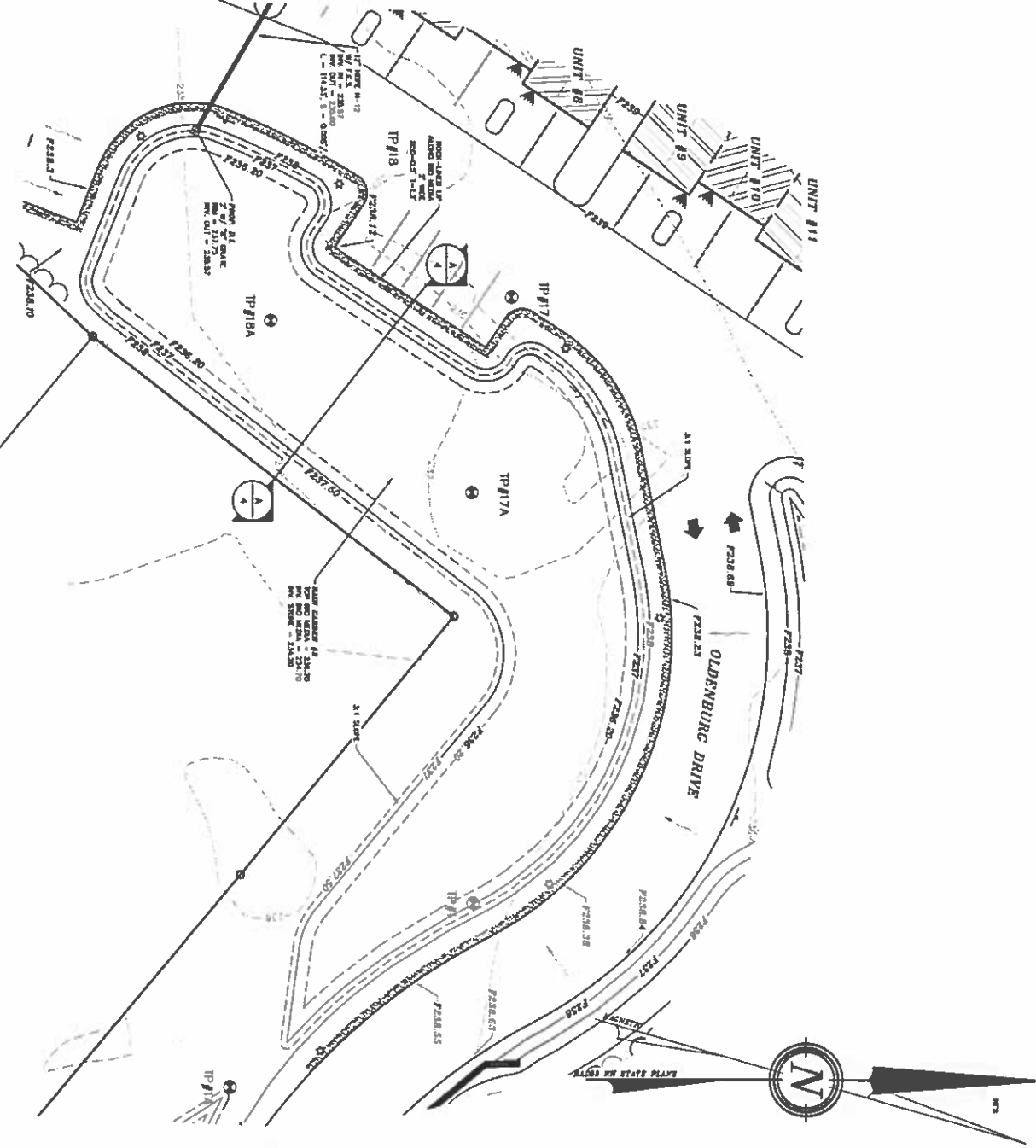
CRUSHED STONE BEDDING	PERCENT BY WEIGHT
SEIVE SIZE	
3/4"	100
3/8"	90 - 100
#4	20 - 55
#8	0 - 10
#16	0 - 5

- NOTES**
1. HIGH CONCENTRATION EXPOSURE AND CORROSION AREA TO SUBSIST, DESIGNER SHALL PROVIDE SUBSISTANCE EVALUATION FROM THE PLACEMENT OF THE FILTER MEDIA SHALL BE AS SHOWN ABOVE.
 2. NO CONSTRUCTION OF NEW CURBS SHALL BE TO OCCUR DURING CONSTRUCTION.
 3. MAINTENANCE REQUIREMENTS:
 1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY MAJOR WEATHER EVENT, WITHIN 24 HOURS OF THE EVENT. INSPECTIONS SHOULD BE CONDUCTED AS A MINIMUM BY THE DESIGNER OR A QUALIFIED PERSON.
 2. INSPECTIONS SHOULD BE CONDUCTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY MAJOR WEATHER EVENT, WITHIN 24 HOURS OF THE EVENT. INSPECTIONS SHOULD BE CONDUCTED AS A MINIMUM BY THE DESIGNER OR A QUALIFIED PERSON.
 3. AT LEAST TWICE ANNUALLY, SYSTEMS SHOULD BE INSPECTED FOR REMOVAL OF DEBRIS, AND FOR REMOVAL OF ANY OBSTRUCTIONS TO THE FLOW OF WATER. INSPECTIONS SHOULD BE CONDUCTED AS A MINIMUM BY THE DESIGNER OR A QUALIFIED PERSON.
 4. INSPECTIONS SHOULD BE CONDUCTED AT LEAST ANNUALLY, AND FOLLOWING ANY MAJOR WEATHER EVENT, WITHIN 24 HOURS OF THE EVENT. INSPECTIONS SHOULD BE CONDUCTED AS A MINIMUM BY THE DESIGNER OR A QUALIFIED PERSON.

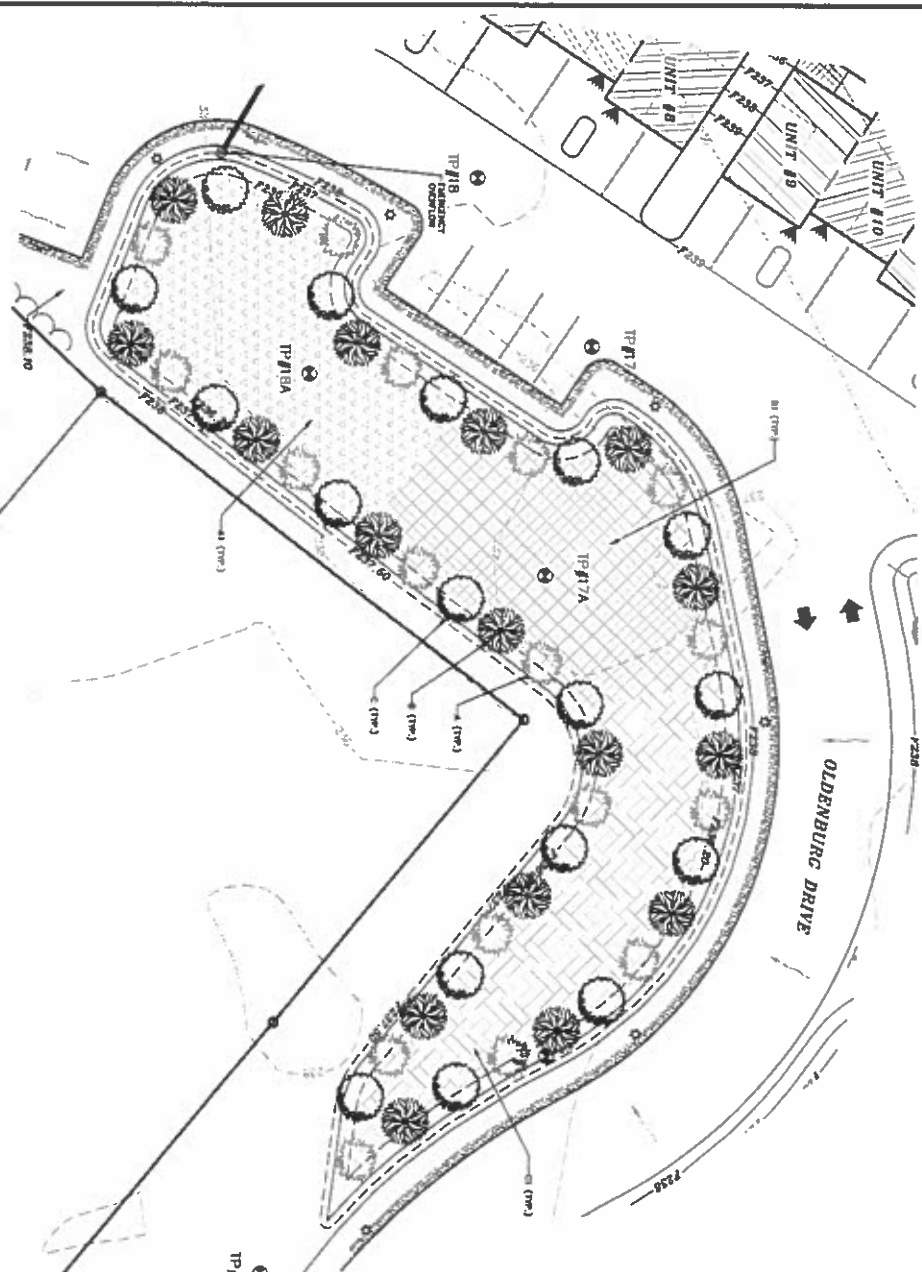
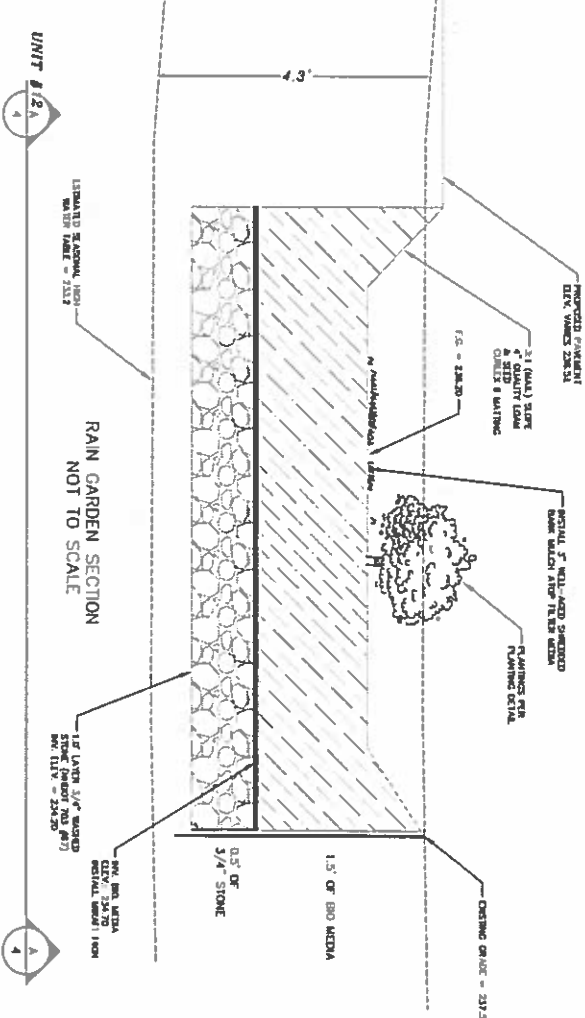
- GENERAL REFERENCES**
1. ILLINOIS STATE DEPARTMENT OF TRANSPORTATION, VOLUME 2, DECEMBER 2008
 2. NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, VOLUME 2, DECEMBER 2008
 3. AS APPLICABLE

PERENNIALS & CROCK COVERERS			
Item	Quantity	Unit	Notes
AT	1232	Box	Box of 12
BT	1232	Box	Box of 12
CT	1232	Box	Box of 12

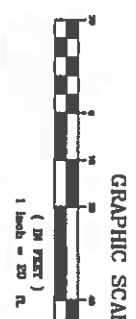
PERENNIALS & CROCK COVERERS			
Item	Quantity	Unit	Notes
AT	1232	Box	Box of 12
BT	1232	Box	Box of 12
CT	1232	Box	Box of 12



GRADING PLAN



PLANTING PLAN

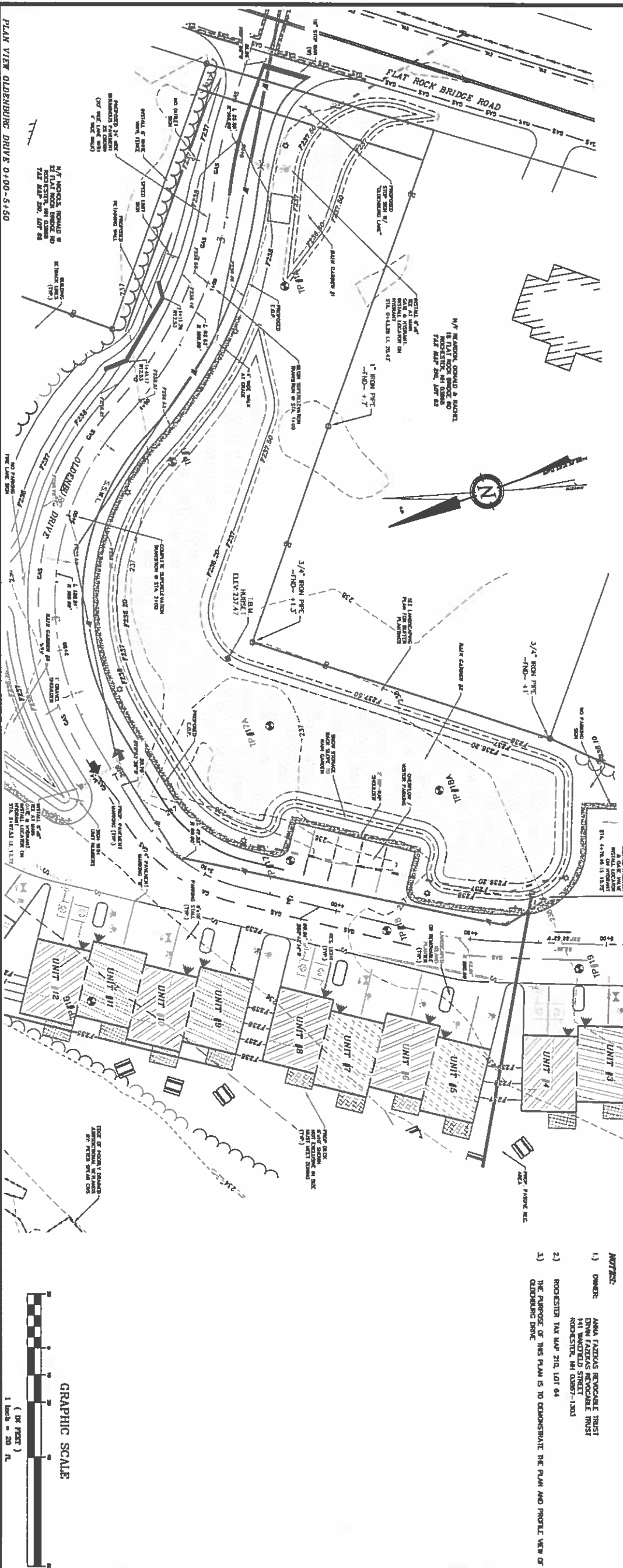


RAIN GARDEN #2
PLAN
R-102

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

RAIN GARDEN #2
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

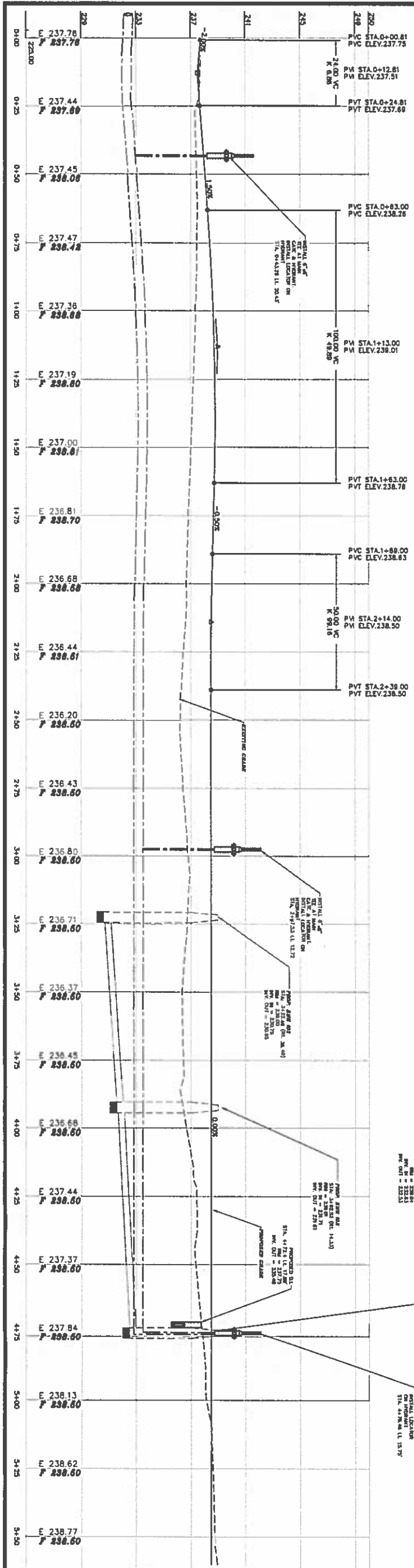
REVISION	DATE	DESCRIPTION



- NOTES:
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
141 WINDFELD STREET
ROCHESTER, NH 03607-1303
 - 2) PROJECT: TAX MAP 210, LOT 64
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE PLAN AND PROFILE VIEW OF OLDENBURG DRIVE.



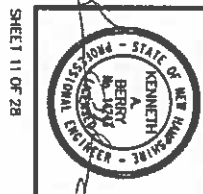
PLAN VIEW OLDENBURG DRIVE 0+00 - 5+00
VERTICAL SCALE: 1" = 4'



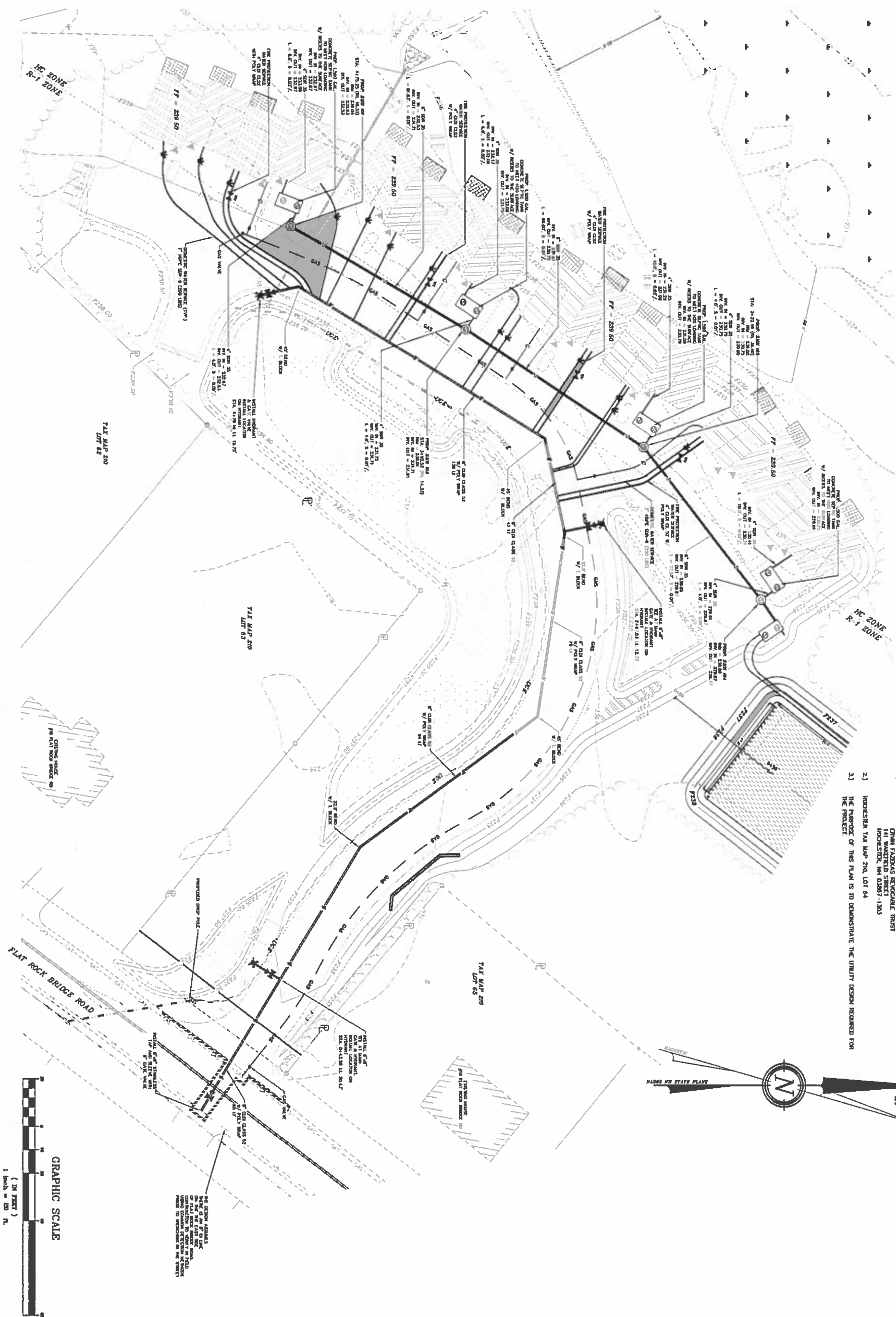
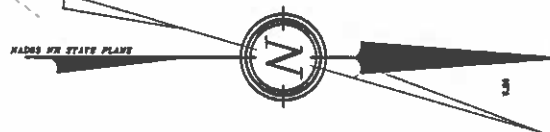
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: NOVEMBER 1, 2016
FILE NO.: DB 2016 - 135

OLDENBURG DRIVE GRADING & DRAINAGE 0+00 - 5+00
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION



- NOTES:**
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
ROCHESTER, NH 03825-1303
 - 2) ROCHESTER TAX MAP 210, LOT 84
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE UTILITY DESIGN REQUIRED FOR THE PROJECT.



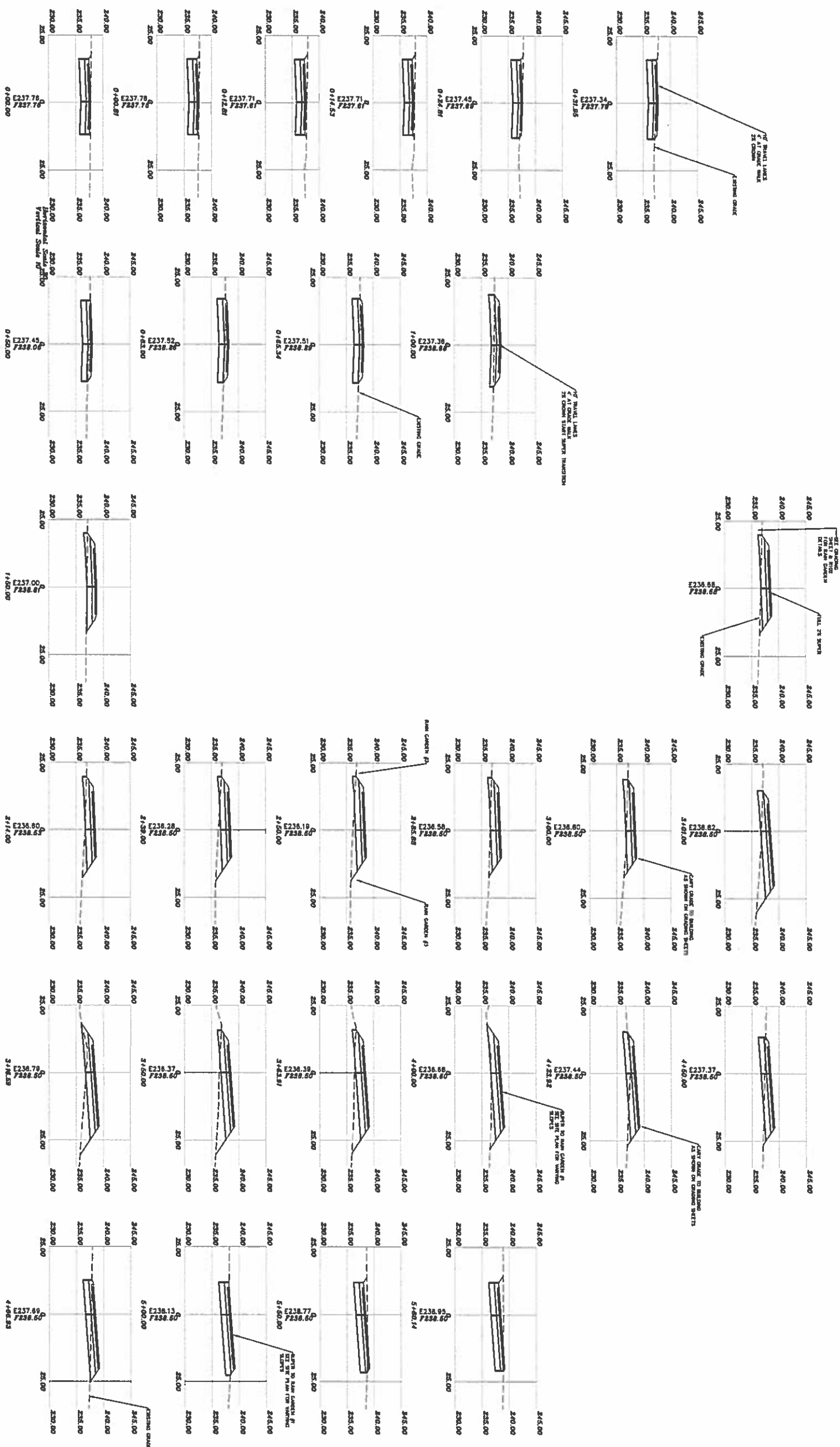
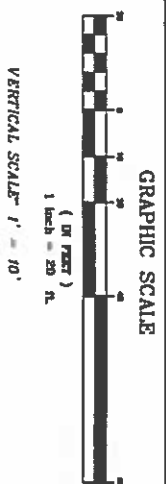
GRAPHIC SCALE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

UTILITY PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 84

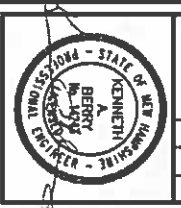
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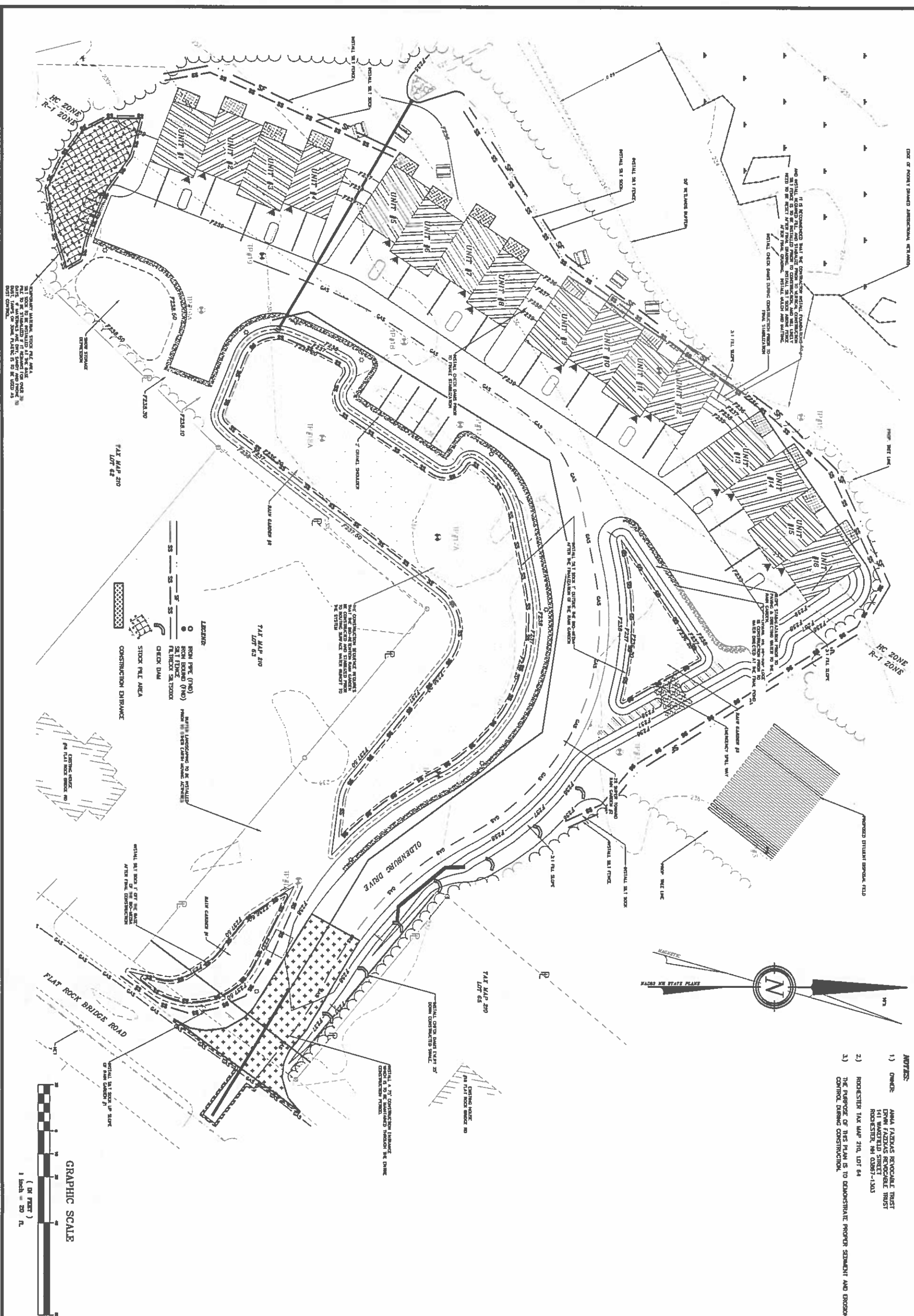


REVISION	DATE	DESCRIPTION

OLDENBURG DRIVE CROSS SECTIONS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 84

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: NOVEMBER 1, 2016
FILE NO.: DB 2016 - 135





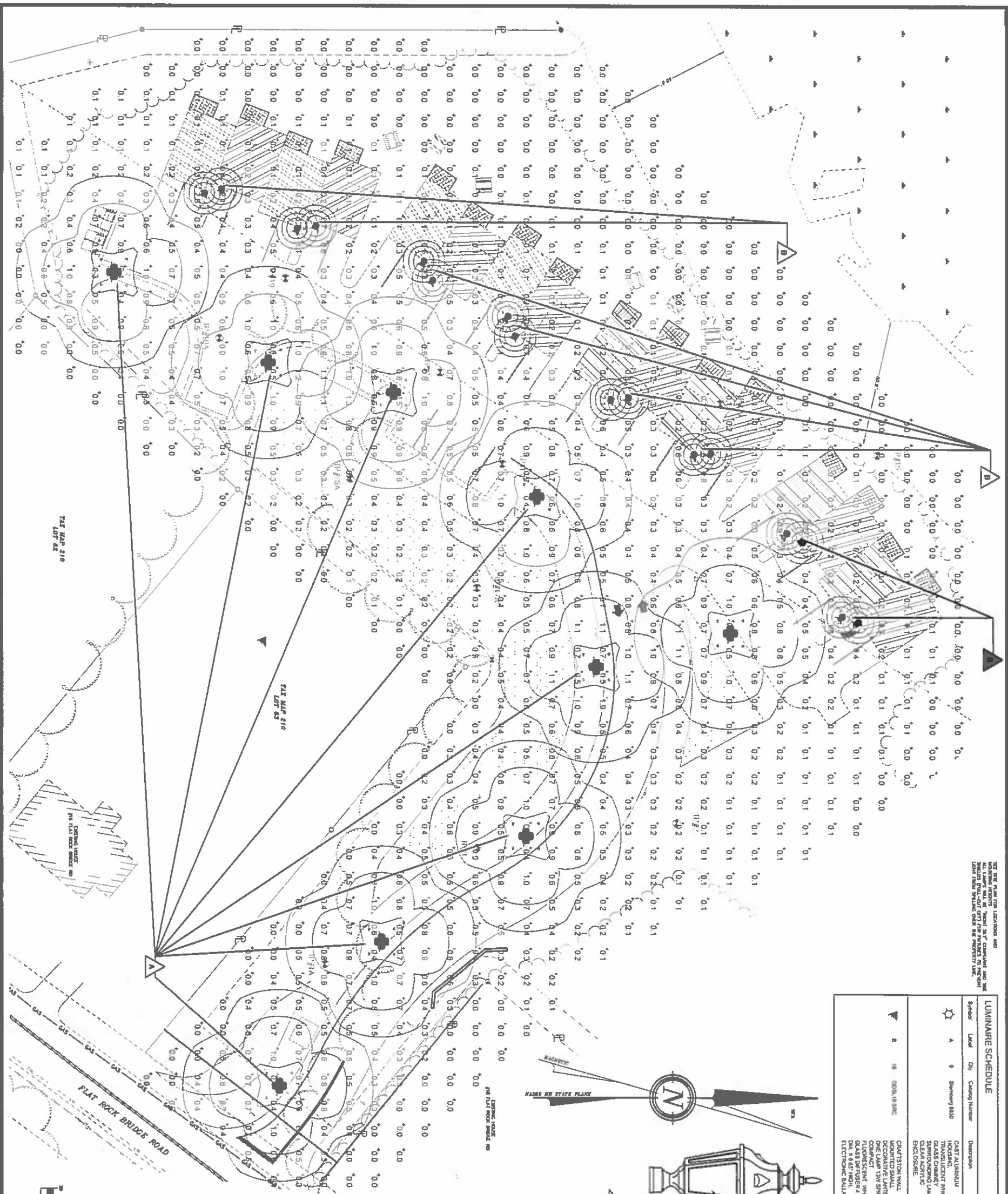
- 1) OWNER: ARMA FAKILAS REVOCABLE TRUST
ARMA FAKILAS REVOCABLE TRUST
ROCHESTER, NH 03067-1003
- 2) ROCHESTER TWP MAP 210, LOT 64
- 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE PROPER SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION.

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

SEDIMENT & EROSION CONTROL PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210. LOT 64

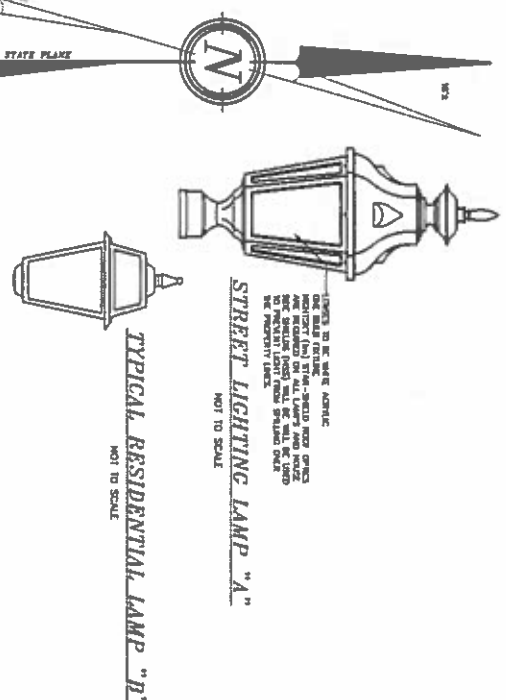
REVISION	DATE	DESCRIPTION





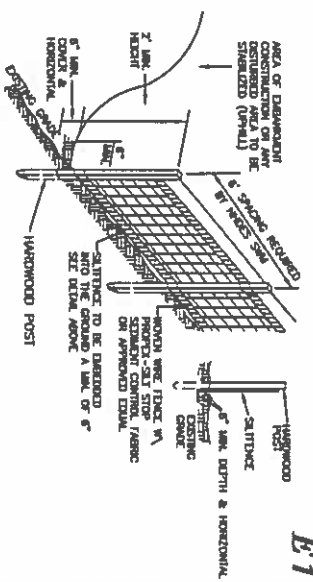
SEE SITE PLAN FOR LOCATIONS AND
BUILDING FOOTPRINTS. LIGHT FOOTCANDLE
READINGS ARE PROVIDED FOR THE
ENTIRE SITE. LIGHT FOOTCANDLE
READINGS ARE PROVIDED FOR THE
ENTIRE SITE. LIGHT FOOTCANDLE
READINGS ARE PROVIDED FOR THE
ENTIRE SITE.

LUMINAIRE SCHEDULE				
Symbol	Label	Qty	Calling Number	Direction
☼	A	9	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	B	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	C	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	D	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	E	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	F	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	G	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	H	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE
☼	I	1	Showering 8000	CAST ALUMINUM TRANSLUCENT WHITE GLASS CHIMNEY LAMP ENCLOSURE



NOTES:

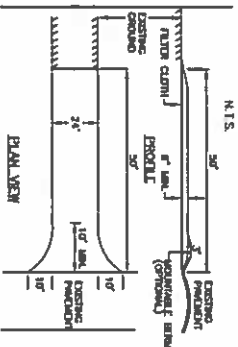
1. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
2. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
3. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
4. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
5. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
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8. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
9. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.
10. ALL LIGHTING FIXTURES SHALL BE PROVIDED BY THE OWNER.



- SILT FENCE CONSTRUCTION SPECIFICATIONS**
1. WHEN WIRE FENCE IS FASTENED TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WIRE TIES EVERY 24" AT TOP AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 4" LONG, SPACED A MINIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEEDING FROM BEING PASSING THROUGH THE SEAM.
 3. THE ENDS OF THE FABRIC SHALL BE PROPERLY SEWN OR STAPLED TO PREVENT SEEDING FROM BEING PASSING THROUGH THE SEAM.
 4. THE ENDS OF THE FABRIC SHALL BE PROPERLY SEWN OR STAPLED TO PREVENT SEEDING FROM BEING PASSING THROUGH THE SEAM.
 5. THE ENDS OF THE FABRIC SHALL BE PROPERLY SEWN OR STAPLED TO PREVENT SEEDING FROM BEING PASSING THROUGH THE SEAM.
 6. THE ENDS OF THE FABRIC SHALL BE PROPERLY SEWN OR STAPLED TO PREVENT SEEDING FROM BEING PASSING THROUGH THE SEAM.

SILT FENCE DETAIL

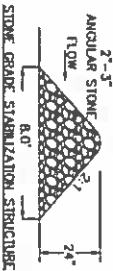
N.T.S.



- STABILIZED CONSTRUCTION ENTRANCE**
1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, MEDIAN STONE, OR RECYCLED CONCRETE EXHAUSTION.
 2. THE LAYOUT OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 20 FEET, DEPEND ON THE WIDTH OF THE ENTRANCE.
 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
 4. THE STABILIZED ENTRANCE SHALL BE PLACED OVER THE EXISTING GROUND.
 5. THE STABILIZED ENTRANCE SHALL BE PLACED OVER THE EXISTING GROUND.
 6. THE STABILIZED ENTRANCE SHALL BE PLACED OVER THE EXISTING GROUND.
 7. THE STABILIZED ENTRANCE SHALL BE PLACED OVER THE EXISTING GROUND.

STONE CHECK DAM

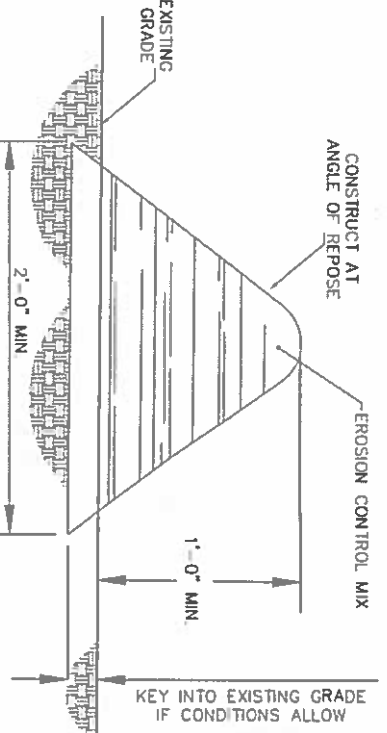
N.T.S.



- STONE CHECK DAM**
1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
 3. THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
 4. THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTLET EDGE.
 5. THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
 6. CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
 7. TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SHALE OR DITCH IS DETERMINED STABLE.

E1

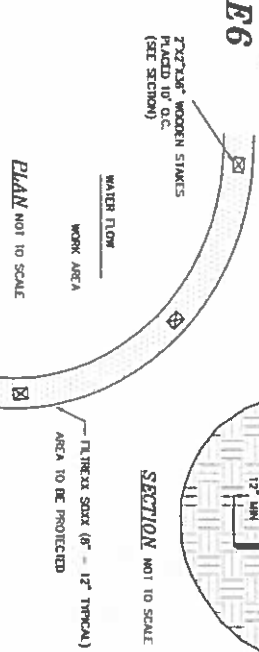
E2



- EROSION CONTROL MIX BERM**
1. EROSION CONTROL MIX BERM SHALL BE USED ONLY AS FOLLOWS:
 2. BERM SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
 3. THE BERM SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 4. THE BERM SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
 5. SUBJECT TO (C), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 50 AND 70% BY WEIGHT.
 6. THE MIX SHALL NOT CONTAIN SALT, CLAY, OR FINE SANDS.
 7. THE MIX SHALL NOT BE USED AS A SUBSTITUTE FOR ANY OTHER EROSION CONTROL PRODUCT.
 8. THE MIX SHALL BE USED AS A SUBSTITUTE FOR ANY OTHER EROSION CONTROL PRODUCT.
 9. THE MIX SHALL BE USED AS A SUBSTITUTE FOR ANY OTHER EROSION CONTROL PRODUCT.
 10. THE MIX SHALL BE USED AS A SUBSTITUTE FOR ANY OTHER EROSION CONTROL PRODUCT.

FLUXREXX SEDIMENT CONTROL

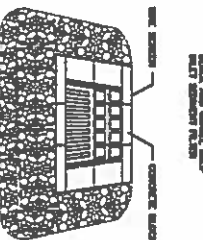
NOT TO SCALE



- FLUXREXX SEDIMENT CONTROL**
1. ALL MATERIAL TO MEET FLUXREXX SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. FILTER MEDIA SHALL BE PLACED ON SITE AS DETAILLED BY INCHES.
 4. SLOPES MAY BE USED IN PLACE OF SALT FENCE OR OTHER SEDIMENT BARRIERS.
 5. THE FLUXREXX SEDIMENT CONTROL SHALL BE PLACED OVER THE EXISTING GROUND.
 6. THE FLUXREXX SEDIMENT CONTROL SHALL BE PLACED OVER THE EXISTING GROUND.
 7. THE FLUXREXX SEDIMENT CONTROL SHALL BE PLACED OVER THE EXISTING GROUND.

Fluxrexx International, LLC
35401 Gordon Lane Rd | Gordon, ON 44044
440-926-2607 | Fax: 440-926-4021
www.fluxrexx.com
OR APPROVED EQUAL

E3



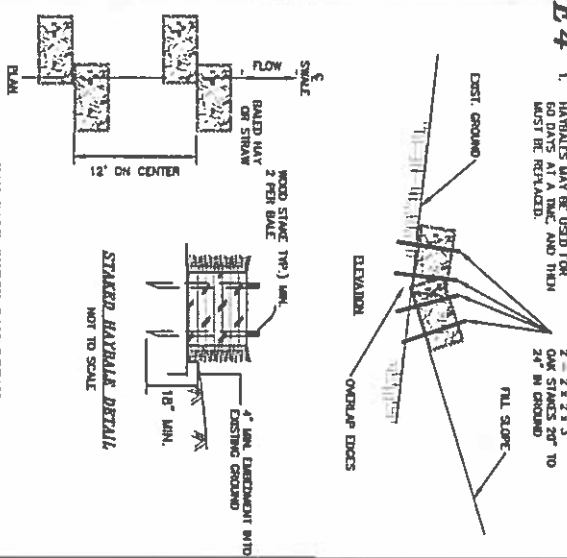
- BLOCK & GRAVEL DROP INLET SEDIMENT FILTER**
1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY.
 2. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP.
 3. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND THE TRAPPING DEVICES SHOULD BE REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

MAINTENANCE

BLACK & GRAVEL DROP INLET SEDIMENT FILTER

NOT TO SCALE

E4



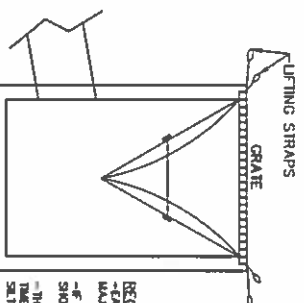
STAKED HAYBALE DETAIL

NOT TO SCALE

E8

- STAKED HAYBALE DETAIL**
1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
 2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
 3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOADED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
 4. ALL DISTURBED AREAS WILL BE RESTORED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,600 Sq. Ft.) WILL BE DISTURBED.
 5. SALT TRENCHES AND PERMANENT BARRIERS SHALL BE INSPECTED FREQUENTLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND THE AREA DESTROYED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
 6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DESTROYED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
 7. PER THE EPA CDP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL MEASURES AND WITHIN 24 HOURS AFTER 0.5 OR GREATER RAIN EVENT.
 8. DITCHES, SWALES, AND BAYS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 9. DO NOT TOWNE EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT IF FEASIBLE. MINIMUM GRADING WITH EROSION CONTROL MEASURES OUTSIDE THE LIMITS OF THE MAINTENANCE CONTRACT.
 10. BERMWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
 11. STABILIZATION MEANS:
 - 11.1 A MINIMUM OF 60% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - 11.2 A MINIMUM OF 3 INCHES OF NON-CROSSLAND LAYER, SUCH AS STONE OR RAP PAV HAS BEEN INSTALLED, OR
 - 11.3 EROSION CONTROL BARRIERS HAVE BEEN INSTALLED.
 12. THE PROJECT IS TO BE MAINTAINED IN A MANNER THAT MEETS THE REQUIREMENTS AND MISSION OF THE MAINTENANCE CONTRACT.
 13. THE MAINTENANCE CONTRACT, DATED DECEMBER 2006, IS A PART OF THIS PLAN SET AND THE MOST RESTRICTIVE WILL GOVERN.

E11



SILT FENCE DETAIL

NOT TO SCALE

E-101

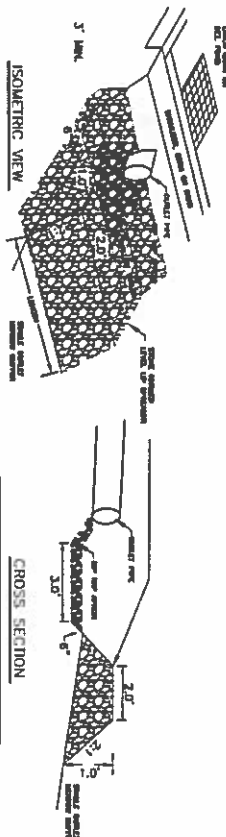
REVISION	DATE	DESCRIPTION

SEDIMENT & EROSION CONTROL DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 810, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135



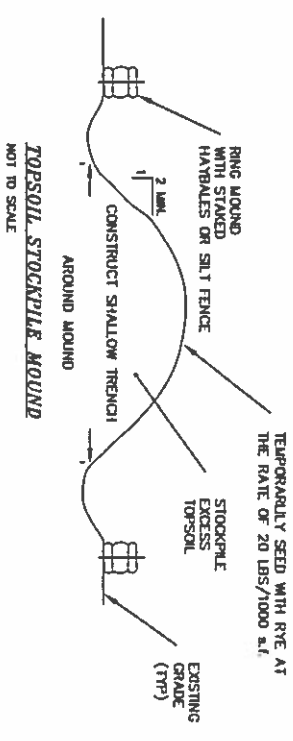
STONE BERM LEVEL SPREADER



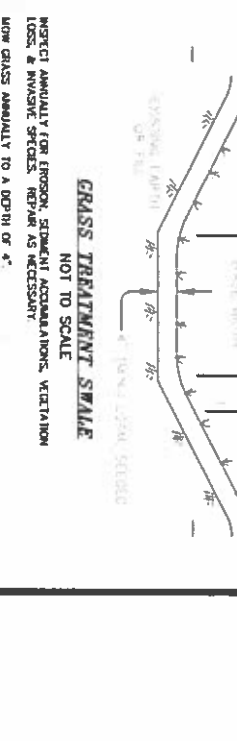
E12

1. CONSTRUCT THE LEVEL SPREADER UP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL UP AREA SHALL BE PROTECTED BY PLACING EXCESSIVE EROSION CONTROL MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE UP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE UP, THEN THE DAMAGE SHOULD BE REPAIRED.

E15

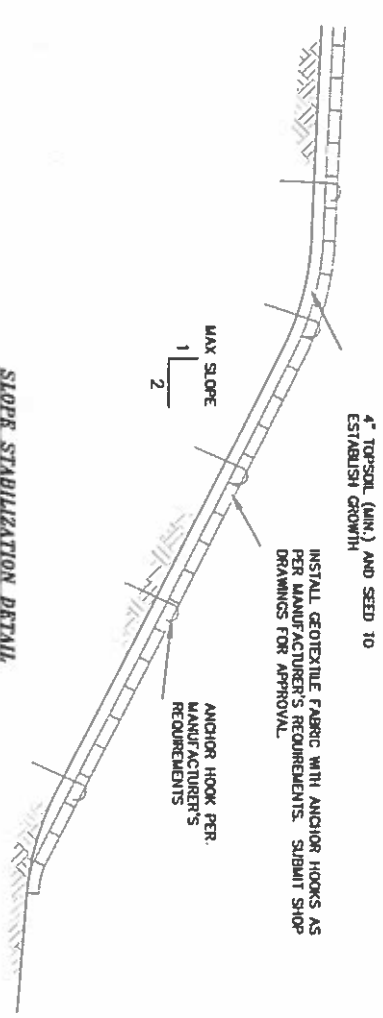


E18



NOTE: ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.

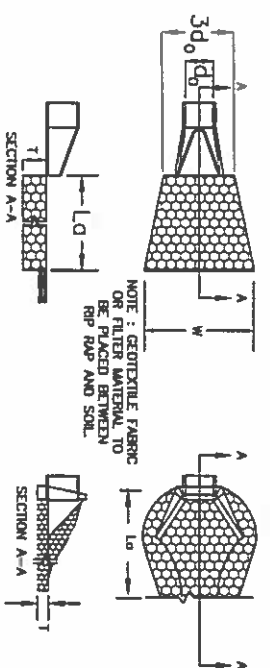
HOW GRASS ANNUALLY TO A DEPTH OF 4"



E19

E13

PIPE OUTLET PROTECTION



NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 420:53 AND CHAPTER ACB 3800 RELATIVE TO INVASIVE SPECIES.

PIPE OUTLET TO WELL-DEFINED CHANNEL.

PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RPP RPP SHALL BE PREPARED TO THE UNDES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RPP RPP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RPP RPP. DAMAGED AREAS IN THE FABRIC SHALL BE COMPLETELY REPLACED WITH NEW FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RPP RPP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

E14

TABLE 7-24--RECOMMENDED RPP RPP GRADATION RANGES				
DO SIZE	0.5	FEET	6	INCHES
SIZE OF STONE (INCHES)	1000	9	12	12
SIZE OF STONE (INCHES)	635	6	8	11
SIZE OF STONE (INCHES)	505	6	6	9
SIZE OF STONE (INCHES)	125	2	3	3

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 65% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING WHICH AT A RATE OF 3-4 TONS PER ACRE. ALL SLOPE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BROODER/ROCK/PHOTODEGRADABLE "JUTE MATING" (EXCESSIVE COMPLEX OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATING SHALL BE COMPLETED PRIOR TO NOVEMBER 15TH. THE SITE SHALL BE STABILIZED AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE LINED WITH PERMANENT LINERS AS DIRECTED, THE PERMANENT LINERS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADDED AND SHAVED.
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THE CRUSHED GRAVEL DOES NOT HAVE TO BE COVERED BY JUTE MATING OR MULCH. THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SPRING SHALL BE SPREAD ON SLOPE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SWITCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SALT FENCING.

E17

SEEDING SPECIFICATIONS

1. Seeding and Shipping
 - a. Slopes shall not be steeper than 2:1. Slopes or better are preferred. Where mowing will be done, 2:1 slopes or flatter are recommended.
 - b. Surface and subgrade shall be prepared or directed from the side to prevent downslope or whiplash.
 - c. Slopes larger than 4:1 and/or shall be removed because they interfere with seeding and future maintenance of the area. Where feasible, the soil should be tilled to a depth of about 4 inches to prepare a seedbed and the fertilizer and lime into the soil. The seedbed should be left in reasonably firm and smooth condition. The best tillage operation should be performed across the slope whenever practical.
 - d. Establishing a Stand
 - i. Live seed and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil by hand or by machine. The seed should be applied in a uniform manner across the slope. When a soil test is not available, the following minimum amounts should be applied:

Application	2 tons per acre or 1000 lbs. per 1000 sq ft.
Phosphorus (P2O5)	100 lbs. per acre or 2.2 lbs. per 1000 sq ft.
Phosphorus (P2O5)	100 lbs. per acre or 2.2 lbs. per 1000 sq ft.
Phosphorus (P2O5)	100 lbs. per acre or 2.2 lbs. per 1000 sq ft.

 (Note: This is the equivalent of 300 lbs. per acre of 10-20-20 fertilizer or 1,000 lbs. per acre of 5-10-10.)
2. Seeding Rates
 - a. Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling, or using a seed drill. Where broadcasting is used, cover seed with 25 lbs. of soil or mulch.
 - b. Refer to Table E-13 (this sheet) for appropriate seed rates and Table E-14 (this sheet) for rates of seeding. All legumes (perennial, biennial, and annual) must be inoculated with their specific inoculant.
 - c. When seeded areas are mulched, plantings may be made from early spring to late August. When seeded areas are not mulched, plantings should be made from early spring to late August.
 - d. Labels
 - i. Hay, alfalfa, or other mulch, when needed, should be applied immediately after seeding.
 - ii. Mulch will be laid in place using appropriate techniques from the Seed Management Practices for Mulching. Hay or straw mulch shall be placed at a rate of 300 lbs. per 1000 sq ft.
3. Maintenance to Establish a Stand
 - a. Fertilization needs should be determined by soil test. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennial stands 2 to 3 years to become established.
 - b. Fertilization needs should be determined by soil test. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennial stands 2 to 3 years to become established.
 - c. The site is active after November 15th, any accumulated snow shall be removed from all roadway and parking areas.

E21

CONSTRUCTION SEQUENCE

- 1) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED
- 2) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED.
- 3) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO ANY EARTH WORKING OPERATION & OR DIRECTING RUNOFF TO THEM.
- 4) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- 5) CONSTRUCT TEMPORARY ALLEGES AS REQUIRED, OR DIRECTED
- 6) CONSTRUCT PERMANENT PER ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- 7) INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- 8) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 90 DAYS BEFORE BEING STABILIZED. MULCH, OR AS REQUIRED.
- 9) CONSTRUCT TEMPORARY BARRIERS, DRAIN DITCHES, SALT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- 10) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- 11) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE APPROXIMATELY THE COMPLETE.
- 13) SMOOTH AND REVEAL ALL DISTURBED AREAS.
- 14) FINISH FINISH ALL ROADS.

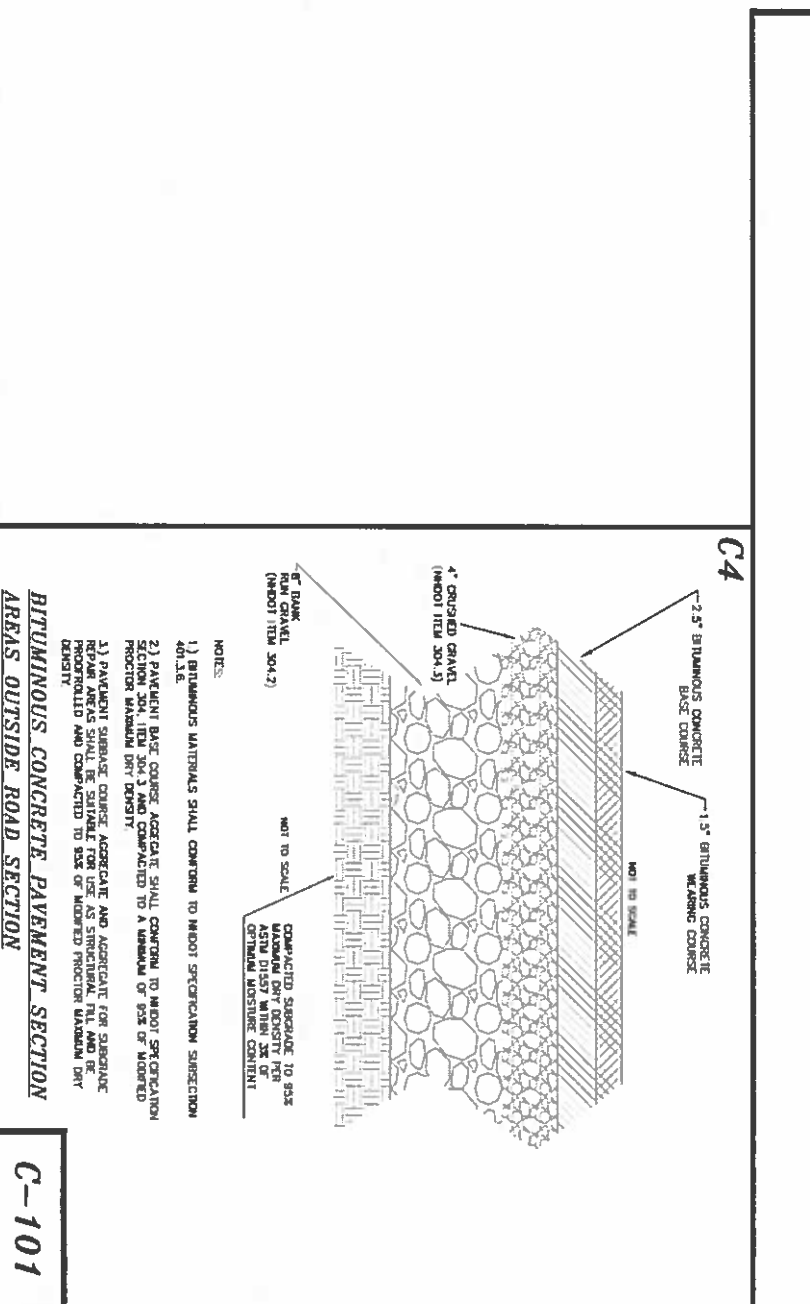
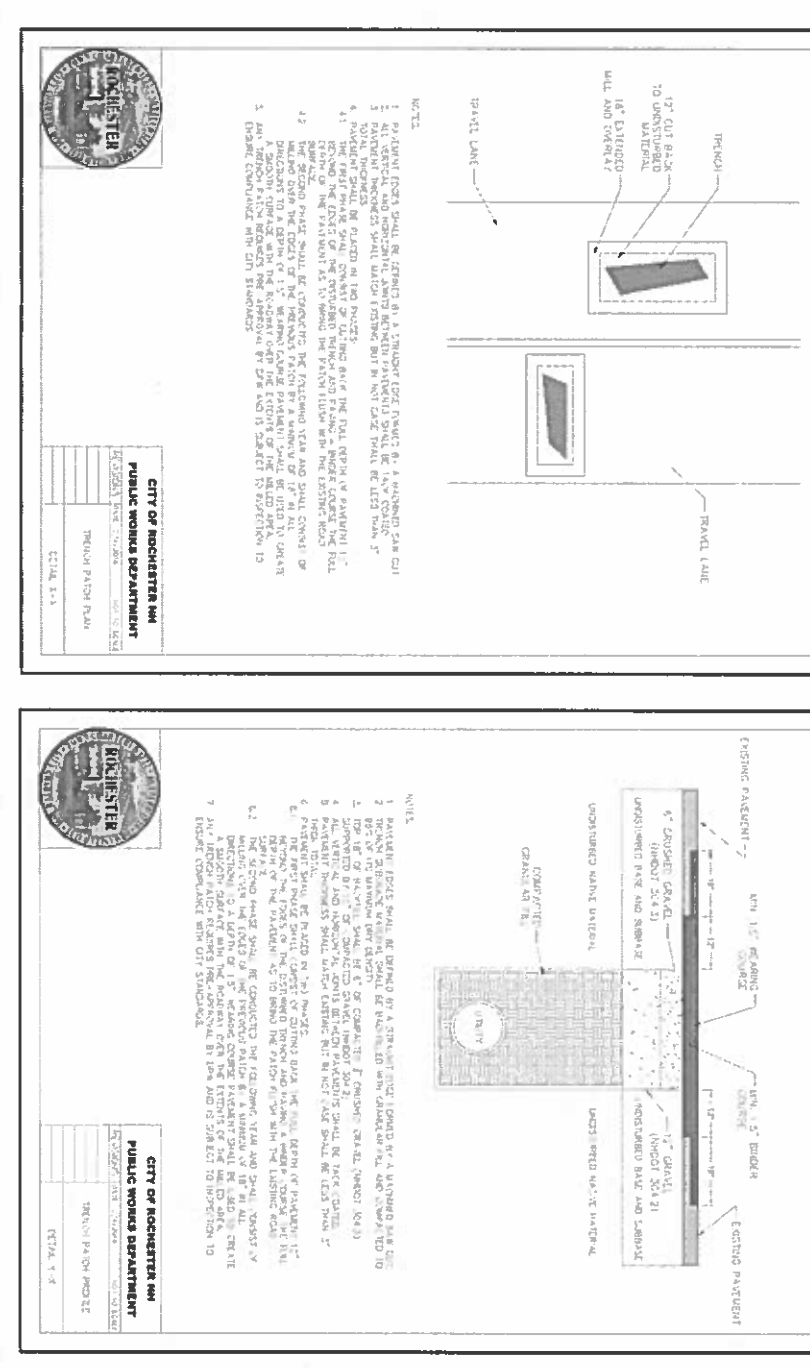
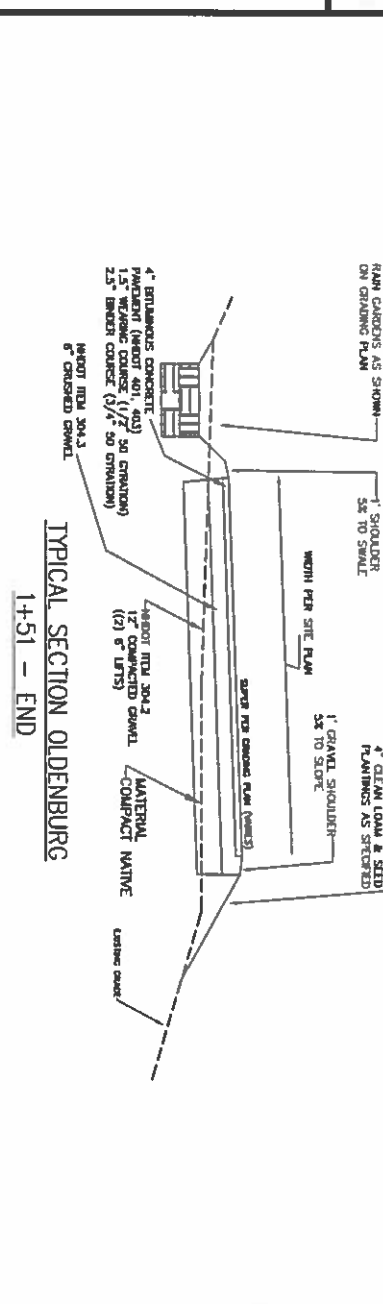
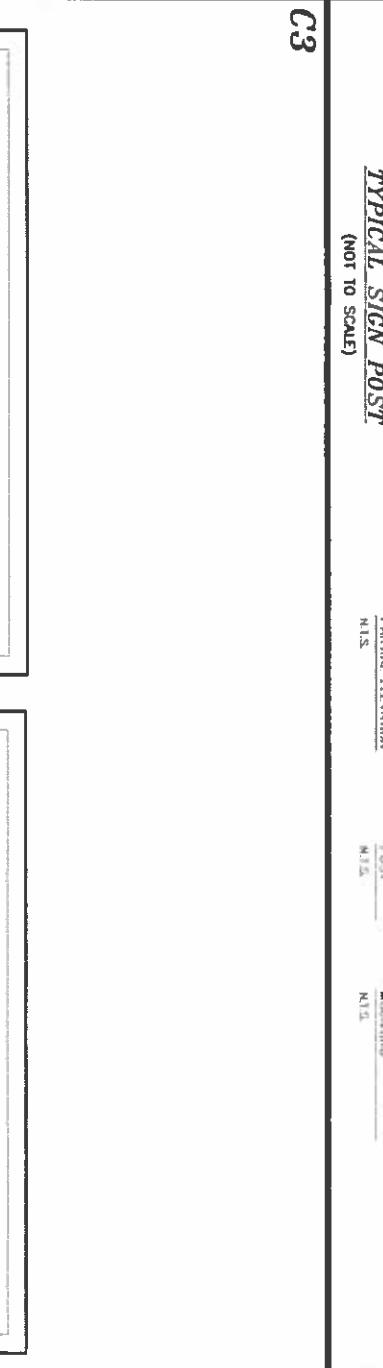
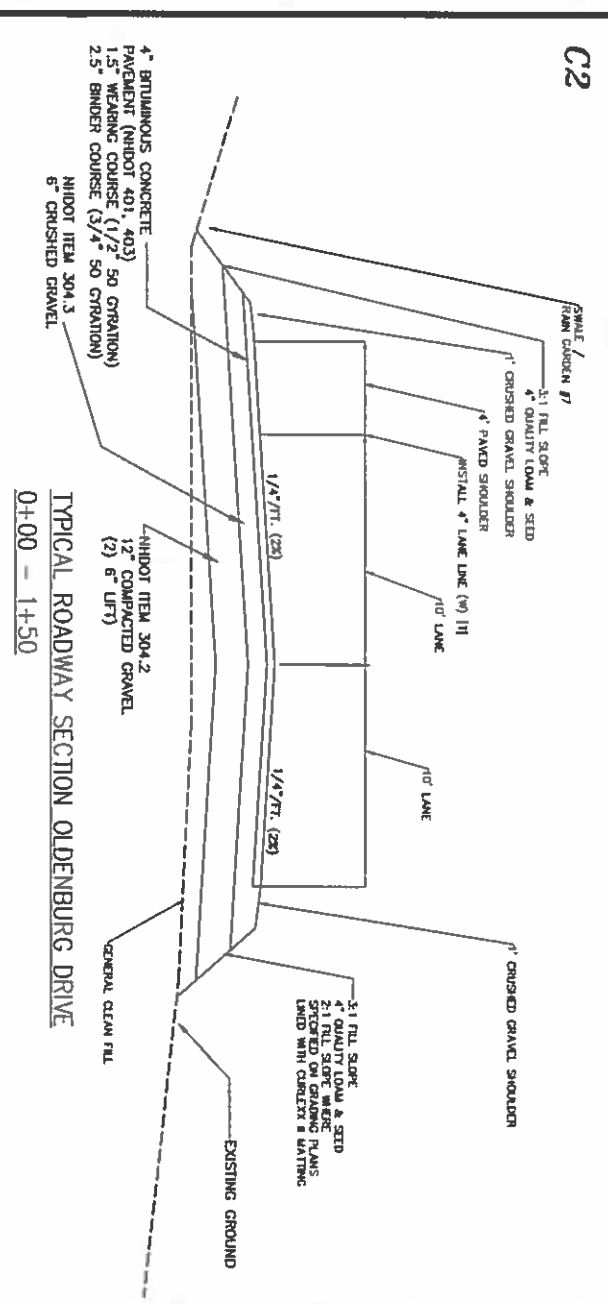
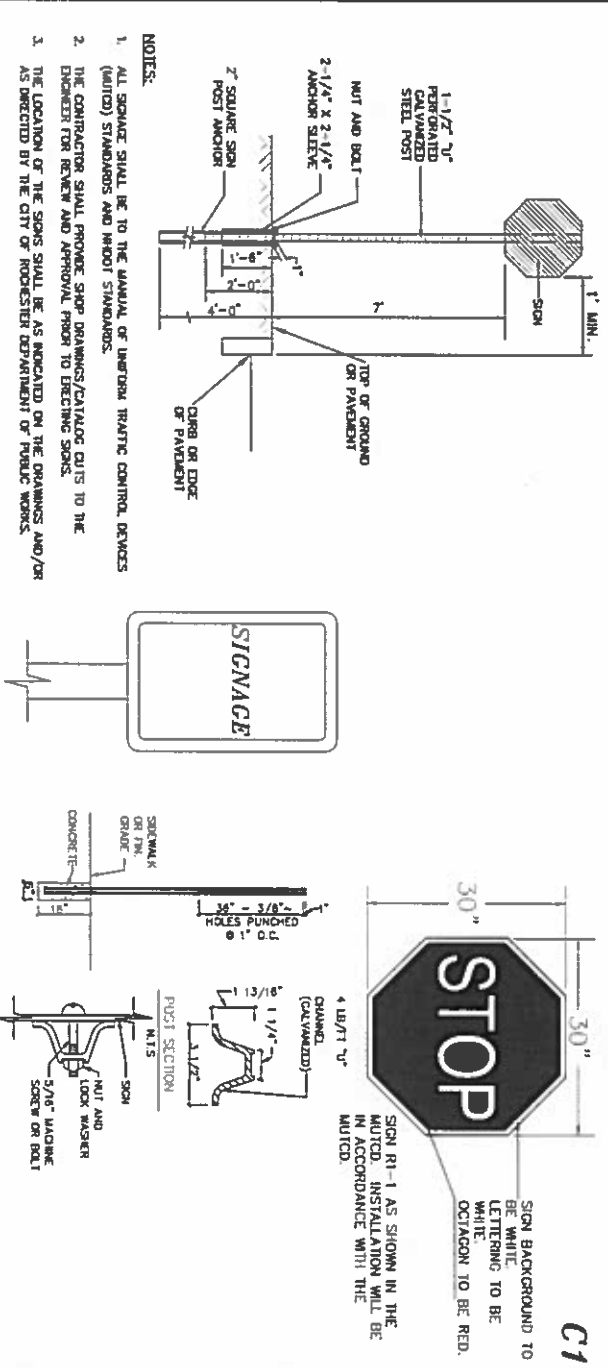
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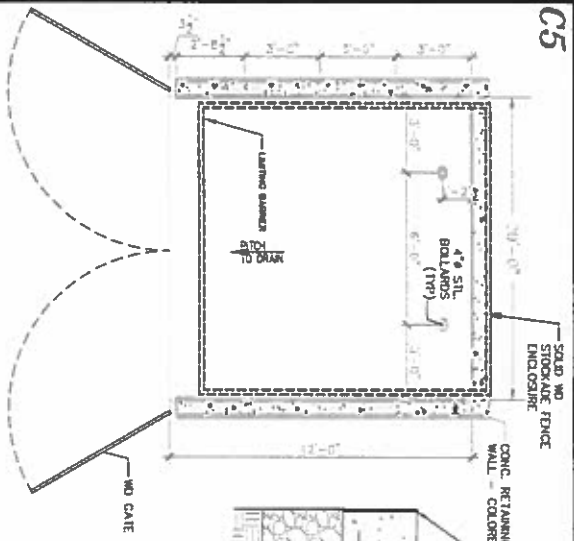
E-102

SEDIMENT & EROSION CONTROL DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY & SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135



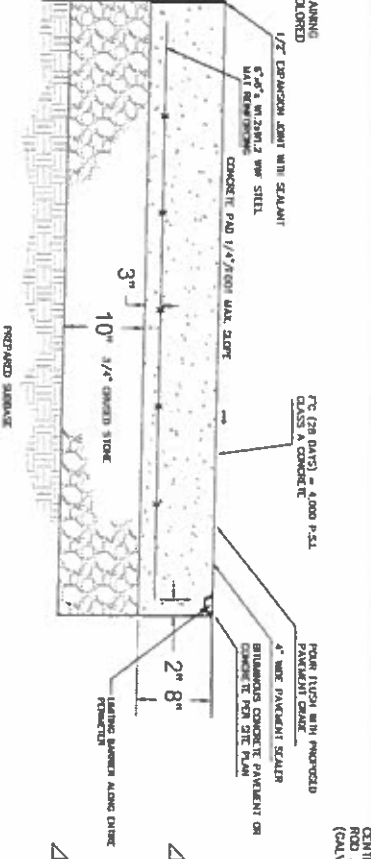




- NOTES:
- 1) DUMPSTER PAD WILL BE SLOPED BY STOCKADE FENCE.
 - 2) GATE ENCLOSURES WILL NOT BE INCLUDED.
 - 3) CONFIGURATION WILL ENCLOSE 2-8 YARD DUMPSTERS.
 - 4) ADDITIONAL AREA FOR PALLET STORAGE.

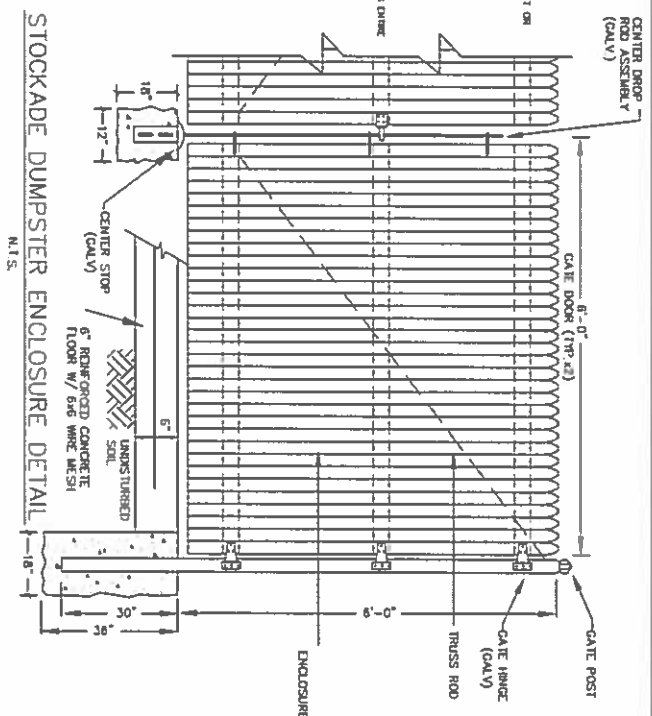
DUMPSTER PAD & CONCRETE PAVEMENT

NOT TO SCALE



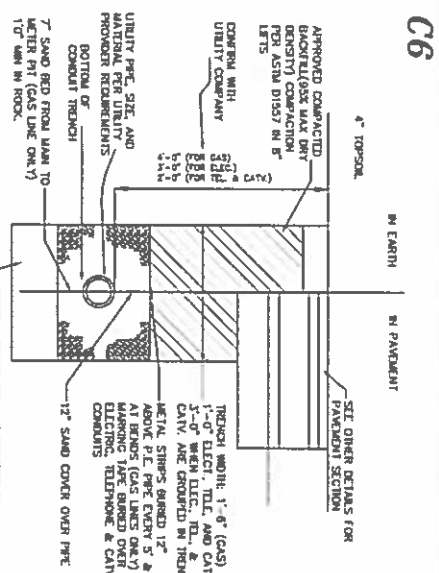
STOCKADE DUMPSTER ENCLOSURE DETAIL

N.T.S.



ELECTRICAL, TELEPHONE, AND GAS TRENCH

NOT TO SCALE



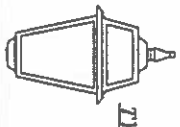
C7

C8

C13

TYPICAL RESIDENTIAL LAMP "B"

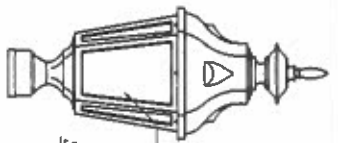
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C9

STREET LIGHTING LAMP "A"

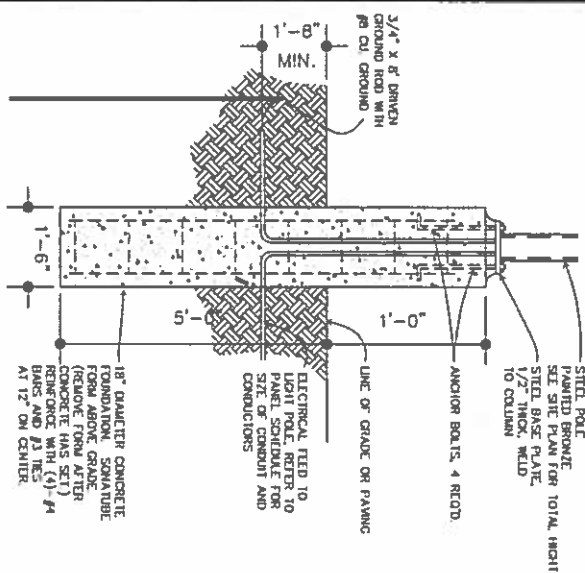
NOT TO SCALE



POLE FOUNDATION

LIGHT BASE DETAIL

SCALE: NONE

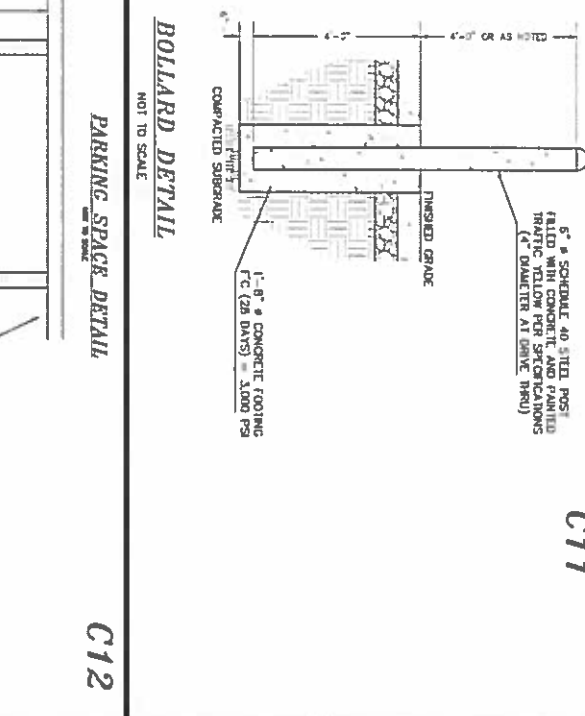


BOLLARD DETAIL

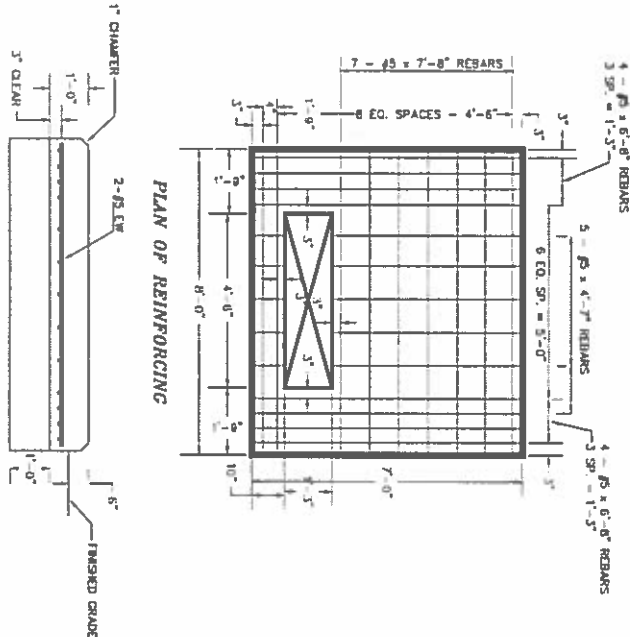
NOT TO SCALE

PARKING SPACE DETAIL

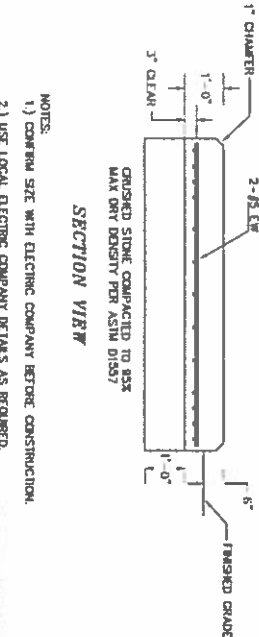
C12



PLAN OF REINFORCING

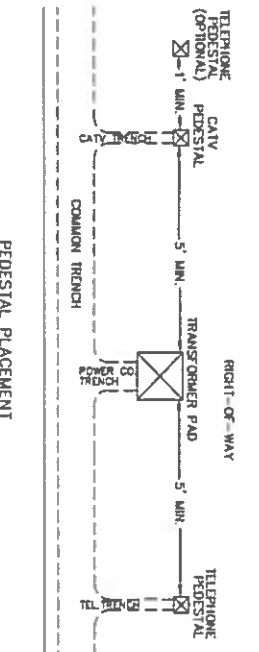


SECTION VIEW

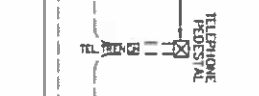


TRANSFORMER PAD DETAIL

NOT TO SCALE



PEDESTAL PLACEMENT



C10

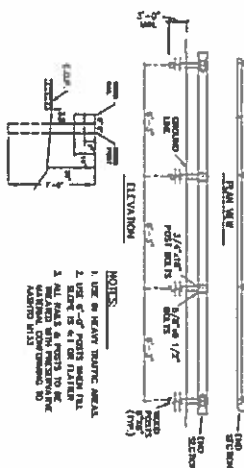
C-102

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS MARKED
 DATE : NOVEMBER 1, 2016
 FILE NO. : DB 2016 - 135

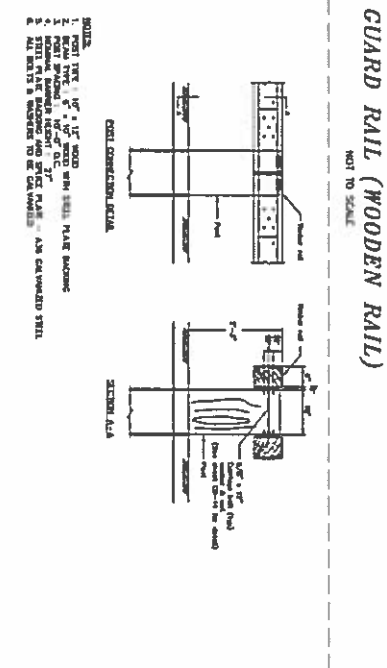
CONSTRUCTION DETAILS
 LAND OF
 ANNA FAZEKAS REVOCABLE TRUST
 ERVIN FAZEKAS REVOCABLE TRUST
 FLAT ROCK BRIDGE ROAD & MILTON ROAD
 ROCHESTER, N.H.
 TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

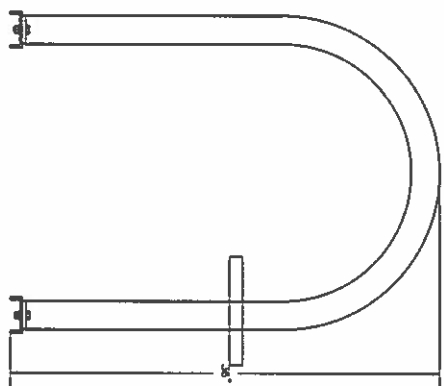




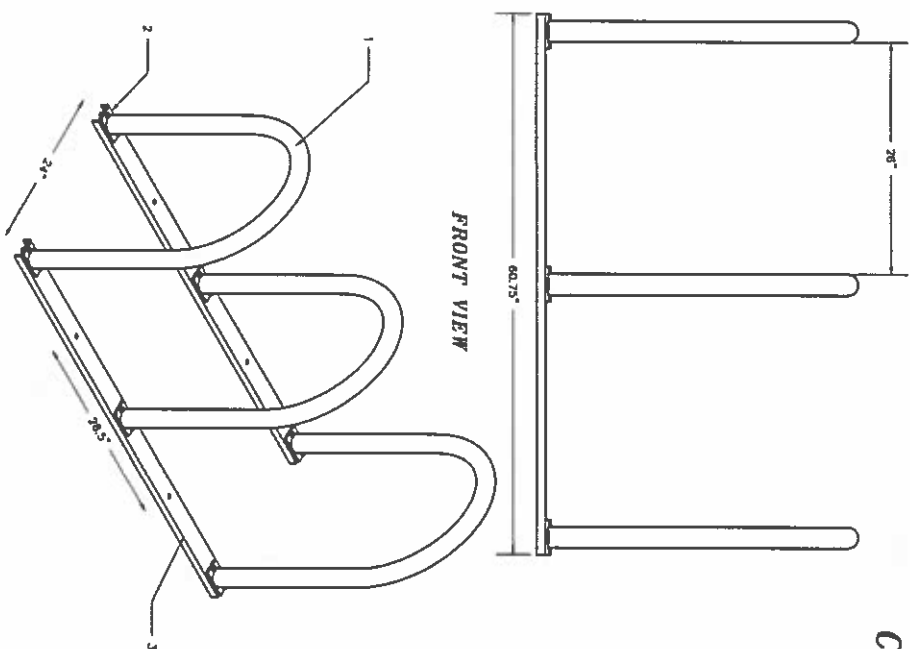
STEEL BACKED WOOD GUARD RAIL
TERMINAL UNIT DETAIL



GUARD RAIL (WOODEN RAIL)



RIGHT SIDE VIEW



FRONT VIEW

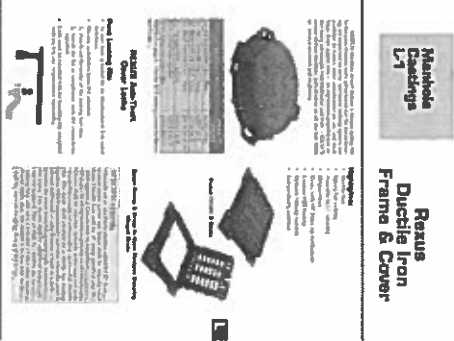
MATERIALS LIST:

1. TUBING - # 2 3/8" x .104" WALL STEEL TUBING
2. SURFACE ANCHORS - 5" x 1" x 3/16" WALL STEEL
3. CHANNEL WITH FOUR 9/16" THROUGH HOLES
4. 9/16" x 2 3/8" STEEL FLAT BAR
5. MOUNTED WITH FOUR 8 1/2" x 4" 5" STAINLESS STEEL ANCHOR BOLTS

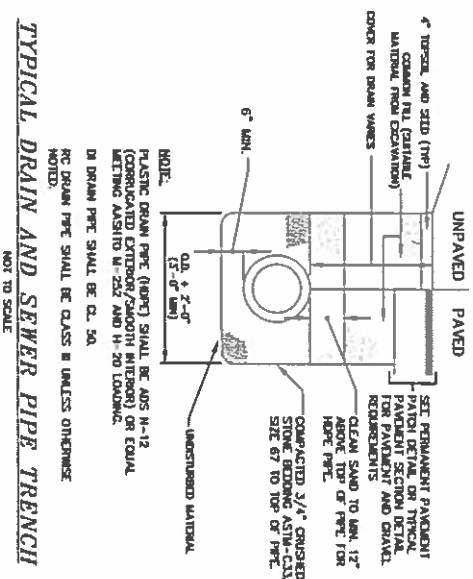
NOTE:
BOLT BACK PLATE MUST BE SITSCLAFES (WWW.SITSCLAFES.COM)

BIKE RACK DETAIL

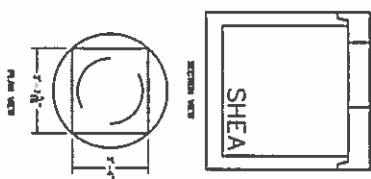
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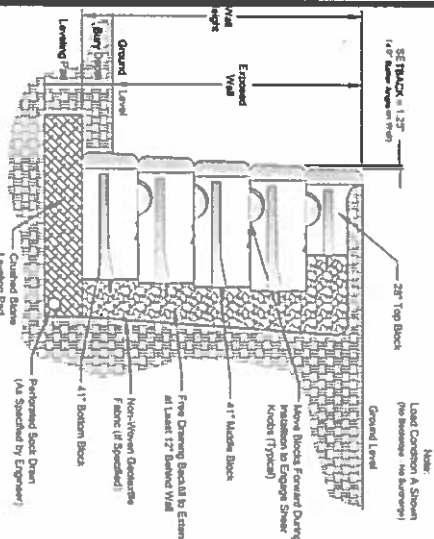
**Rexus
Ductile Iron
Frame & Cover**



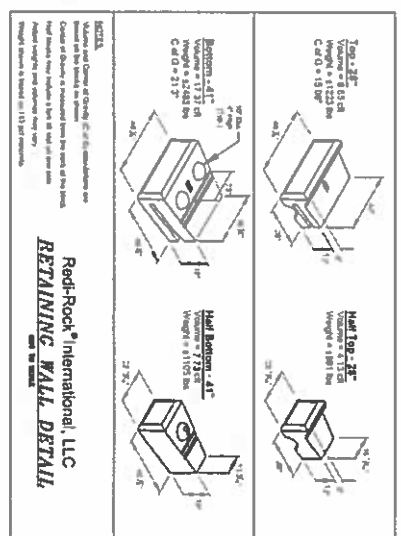
TYPICAL DRAIN AND SEWER PIPE TRENCH



TYPICAL DROP INLET



C19
Typical Gravity Wall
with 41" Blocks



41" SERIES BLOCKS

Redi-Rock® International, LLC
RETAINING WALL DETAILS

NOTE: REDUCES DUCTILE IRON FRAM AND COVER ARE REQUIRED BY REQUESTED DOW AND SPECIFICATIONS ARE NOT ALIGNED

REDUS DUCTILE IRON FRAM AND COVER ARE REQUIRED BY
ROCHESTER DPW AND SUBSTITUTIONS ARE NOT ALLOWED.

NOT TO SCALE

1

NOTES:
1) THE PROPOSED APPLICATION FOR THIS LOCK BLOCK OR EQUAL (AS DETERMINED BY THE DESIGN ENGINEER WITH APPROVAL BY DEPARTMENT OF PUBLIC WORKS (BSE# 603-33-2863) (DPW 603-335-7573)) IS FOR A WALL THAT RANGES IN HEIGHT FROM 2-3 FEET.

2.) USE THE 4" BOTTOM BLOCK TO INSTALL THE FIRST COURSE. NOTE EMBEDMENT REQUIREMENT. COURSE DEPTH IS 1.5"

3.) USE 4" TOP BLOCK ALONG TOP OF WALL.

4.) USE 41" HALF BLOCKS FOR RADIAL TURNS AND END SECTIONS.

5. THE WALL MANUFACTURER TYPICALLY PROVIDES WALL PROFILE AND BLOCK COUNT TO THE CONTRACTOR AS REQUIRED FOR CONSTRUCTION. THIS IS TO BE REVIEWED BY BOTH DPW AND DESIGN ENGINEER FOR CORRELATION WITH PROJECT SITE PLANS.

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CONSTRUCTION DETAILS

LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : AS MARKED

DATE : NOVEMBER 1, 2016

FILE NO. : DB 2016 - 135



SHEET 21 OF 28

PLASTIC LOCK-TIE OR RUBBER HOSE
 TREE TIE, SET LOOSE TO ALLOW FOR
 DIAMETER GROWTH
 # 8 X 8'-0" LENGTH LOCK-POLE PINE
 TREE STAKE
 MIN 2"-3" OF MULCH
 3"-4" SOIL SAUCER (DURING
 ESTABLISHMENT)
 FINISH GRADE
 REMOVE BURLAP FROM TOP
 2/3 OF ROOTBALL
 REMOVE ALL WIRE & STRING
 NATIVE BACKFILL SOIL
 AMENDED WITH 25% (W/V)
 CU (Y) DECOMPOSED
 ORGANIC MULCH
 AMENDMENT FOR ENTIRE
 TREE PIT AREA
 (APPROXIMATELY ROOTBALL
 DEPTH)
 UNDISTURBED SUBGRADE
 (PROVIDES FIRM BASE SO
 THAT ROOTBALL WILL NOT
 SINK)
 6'-0" MIN OR 2 TIMES ROOTBALL
 6'-0" # MULCH AREA CLEAR OF GRASS, WEEDS, ETC.
 TO REDUCE COMPETITION DURING ESTABLISHMENT
 SET ROOT CROWN
 AT OR 1" ABOVE
 FINISH GRADE
 MIN 1/3 HEIGHT
 OF TREE (TYP)
 1'-0" MIN
 TYP.

14

RUBBER HOSE AT BARK
 WIRE TIE
 SOLEFORM (2' x 2') WOOD SLIDE ON WINDWARD SIDE
 INSTALL TWO ADDITIONAL SLIDES AT 120°
 SET TREE AT ORIGINAL GRADE
 MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN
 SPLIT: SPLITTER: USE GOOD TOP SOIL 150mm (6") MIN
 ROPES AT TOP OF BALL SHALL BE CUT REMOVE TOP 1/3 OF BURLAP NON BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
 PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING
 2X BALL DIA. MIN.

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

[illegible]

ROOTBALL DIAMETER, WHICHEVER IS GREATER,
WATERING PANS.
REMOVE ALL WIRE AND STRONG. REMOVE TOP
2/3 OF BURLAP.

1. SCARY ROOT MASS OF CONTAMINATED PLANT MATERIAL.
2. METAL CONTAMINATED PLANTS AT FORCED GRAZE.
3. TAPE PLANTING LUX GRASS AS IT IS FILLED AROUND EACH PLANT BALL.
4. DIRT COLLAR AROUND EACH GRASS WHEN PROTECTOR SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.

The diagram shows a cross-section of a sedimentary bed. A dashed horizontal line represents the original flat surface. Above it, a solid line indicates the actual top surface, which has been eroded into a series of rounded mounds. The vertical distance between the dashed line and the highest point of the mounds is labeled "M HEIGHT". The horizontal distance from the left edge of the bed to the start of the mounds is labeled "L DISTANCE". The horizontal distance between two consecutive peaks of the mounds is labeled "P WAVELENGTH". The height of one individual mound is labeled "P MOUNTAIN HEIGHT". The total width of the bed shown is labeled "BED WIDTH".

- 6.) CONTRACTOR SHALL INCORPORATE FAMILIARIZE HERSELS WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINING. SEE NOTE B ON EXISTING SITE PLAN.
- 7.) PROMOTED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 8.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- 9.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 10.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, FIRMING, STAKING OR GUYING, MULCHING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 11.) ALL GRASS, OTHER VEGETATION AND TREES SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 12.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SHOWN OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE DAMAGED BY THE CONSTRUCTION PROCESS. STAKING OR CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, STORAGE AND OR VEHICLE TRAFFIC SHALL NOT BE PERMITTED WITHIN THE ONE FOOT OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 13.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.

- 10) ALL SHARD BEGS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHIPPED BLACK MULCH
- 11) WHERE INDICATED ON PLAN, PLANTING SOIL, MATERIAL FOR GROUND COVER AND PERSONALITY BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SHIPYARD FILL SOIL, AND ONE PART FERTILIZER PERCENT BY VOLUME. PLANT MIXES MAY BE SUBSTITUTED WITH WELL-ROOTED OR DETERMINED NUMBER OF COMPOST. CONTROLL BEGS TO A DEPTH OF 8 INCHES.
- 12) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ON LANDSCAPE SUPERINTENDENT UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING, AND MOWING. AS NECESSARY, ALL PLANT MATERIAL SHALL BE QUANTIFIED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL

- (12) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- (14) THE GENERAL CONTRACTOR AND/OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCESS CHIPPED MATERIAL, ONCE PLANT MATERIAL HAS BEEN ESTABLISHED, (IMMEDIATELY OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE STABILIZATION HAS BEEN ACCEPTED BY OWNER.

13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MAINTAIN OF TWO MAINTENANCE FOR ALL TURF AREAS OR UNITS, ACCEPTANCE BY THE OWNER. A MINIMUM OF TWO MAINTENANCE FOR ALL TURF AREAS OR UNITS, ACCEPTANCE BY THE OWNER.
14. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN ESTABLISHED TURF SOLE.
15. SHRUBS OR TREES WHICH ARE PLANTED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO DISCLOSE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
16. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER.

- 18.) TREES ARE TO BE 2-2.5" CALIPER.
- 19.) COORDINATES.
- 20.) ALL PLANT STOCK SHALL CONFORM TO AHS 12901 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 21.) 4" ACED PINEBARK MULCH AND A WEED BARRIER (TY-PAK FABRIC OR APPROVED EQUIV.) SHALL BE APPLIED TO ALL SHRUB AND CROCK BEDS. BARK-TALL SHALL BE MAINTAINED AS PER MANUFACTURERS RECOMMENDATIONS.
- 22.) PLANT-INT BARK-TALL SHALL BE MAINT AT A RATE OF 7 PARTS OF DORMANT/AGED COW MANURE, SLOW RELEASE

22.) ALL UNPLANTED AREAS NOT PLANTED WITH TREES, SHRUBS OR GRASSSEEDER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON ATTACHED PLANS.

24.) THE REQUIRED STREET TREES MUST BE PLANTED BY OCTOBER 15 ON ANY LOT FOR WHICH A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED OR PRIOR TO AUGUST 31 OF THAT SAME YEAR. NO ADDITIONAL CERTIFICATES OF OCCUPANCY WILL BE ISSUED IF THIS REQUIREMENT IS NOT MET.

25.) STREET TREES TO BE CHOSEN FROM THE LIST OF APPROVED TREES WITHIN THE CITY OF ROCHESTER AND ARE TO HAVE A MINIMUM OF TWO SPACES ALTERNATING FROM THE STREET TO DISCOURAGE A MONO-CULTURE.

L-101

REVISION	DATE	DESCRIPTION

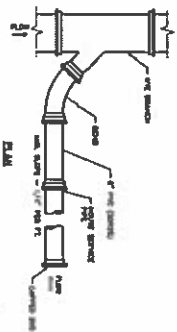
LANDSCAPING CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

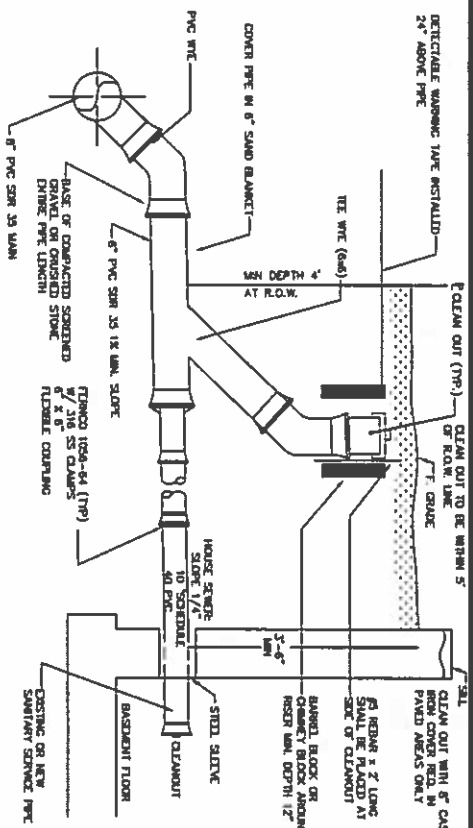


U1

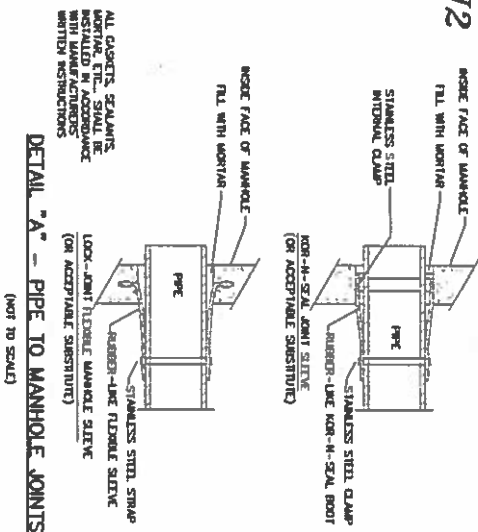
- 1) SEE DETAILS FOR SERVICE CONNECTION RECOMMENDATIONS
- 2) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE
- 3) CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION
- 4) REPAIR SHALL BE PLACED AT SIDE OF CLEANOUT
- 5) CLEANOUT SHALL BE USED TO PILE AND TEST ALL NEW LATERALS WITH MINIMUM INTERSECTION TO ORIGINATOR OF MAIN SERVICE LINE
- 6) CLEANOUT REPAIR PIPE AND FITTINGS SHALL BE INSTALLED IN SAME MATERIAL AND CONDITION AS ORIGINAL
- 7) CLEANOUT SHALL BE INSTALLED IN SAME MATERIAL AND CONDITION AS ORIGINAL



DETAIL OF HOUSE SEWER SERVICE



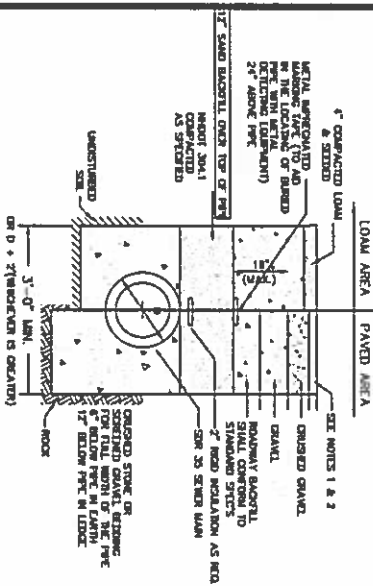
U2



DETAIL "A" - PIPE TO MANHOLE JOINT

(NOT TO SCALE)

U3

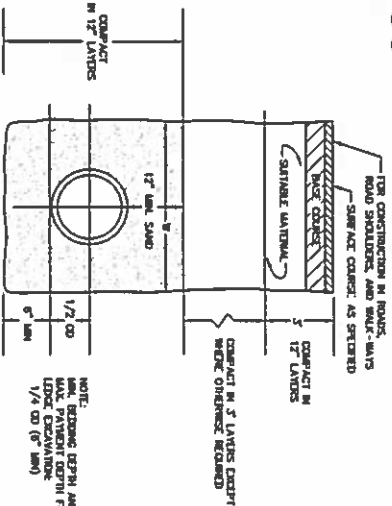


TYPICAL SEWER TRENCH DETAIL

NOT TO SCALE

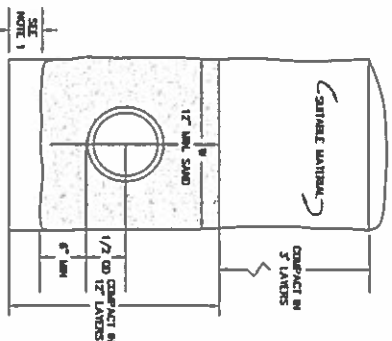
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.
3. ANTI-STEP CALLS OR CLAY CHECK DAMS ON STEEP RUNS IN NEW CONDITIONS

U5



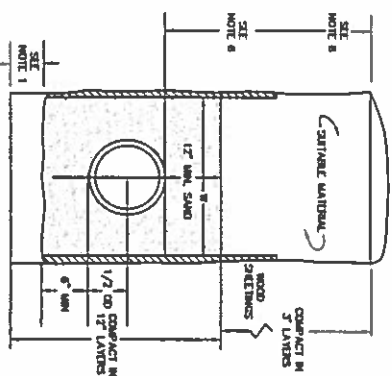
LEDGE CONSTRUCTION

NOT TO SCALE



EARTH CONSTRUCTION

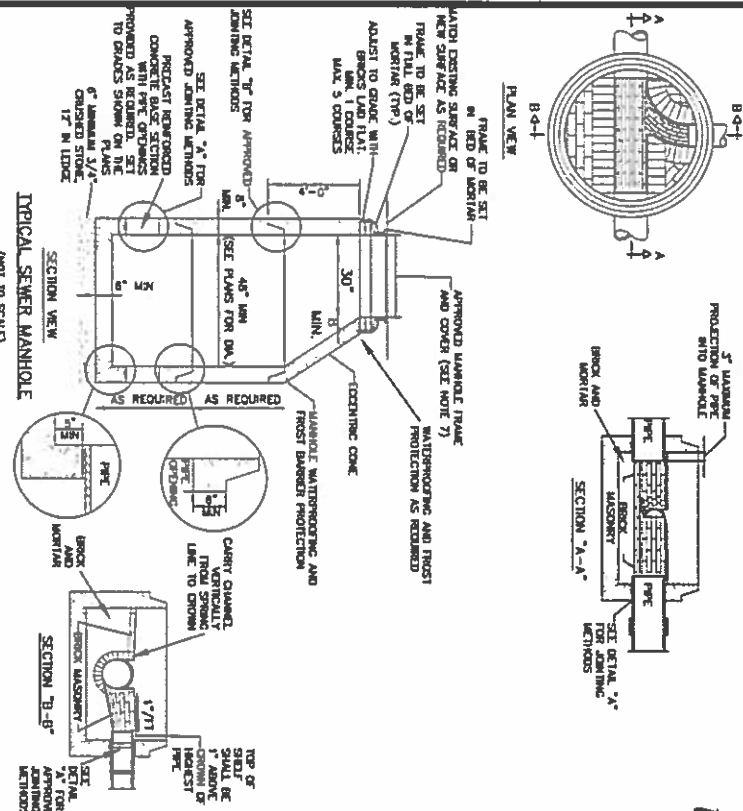
NOT TO SCALE



EARTH CONSTRUCTION WITH SHEETING

NOT TO SCALE

U4



DETAIL "B" HORIZONTAL JOINT

(NOT TO SCALE)

- 1) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER BEFORE CONSTRUCTION.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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- 8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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- 10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

U-101

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS MARKED
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UTILITY DETAILS
 LAND OF
 ANNA FAZEKAS REVOCABLE TRUST
 ERVIN FAZEKAS REVOCABLE TRUST
 FLAT ROCK BRIDGE ROAD & MILTON ROAD
 ROCHESTER, N.H.
 TAX MAP 810, LOT 64

REVISION	DATE	DESCRIPTION

SEPERATION NOTES:

- TO BE OF FORCE WHEN CONTRACTING
DOES NOT APPLY TO THIS PLAN 211



WATER MAIN BELOW SEWER

NOT TO SCALE

SET TOP OF BOX
FLUSH WITH FINISH
PAVEMENT



ERRE STYLE (ADJUSTABLE)

NOTES.

1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.

VALVE BOX DETAIL (N.T.S.)



SET TO FINISH — THE END OF THE INSTALLED WATER SERVICE TO BE MARKED



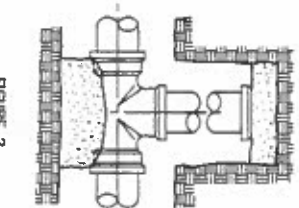
TYPICAL WATER SERVICE CONNECTION

/ GATE / TAPPING VALVE

1. ALL INFORMATION WILL BE CONTAINED WITHIN THE CITY OF HOUSTON WATER UTILITY DEPARTMENT'S RECORDS.
2. ALL INSTALLATION AND TAPPING OF EXISTING WATER MAINS WILL BE CONDUCTED BY AN INDIVIDUAL OR FIRM HAVING BEEN APPROVED BY THE CITY OF HOUSTON'S DEPARTMENT AND CITY OF HOUSTON'S WATER DEPARTMENT.
3. CONTRACTORS SHALL NOT CONTACT RESIDENTS OR BUS OR MEDICAL AGENCY TRAFFIC.
4. EXISTING WATER MAINS SHALL BE PROTECTED FROM DAMAGE.

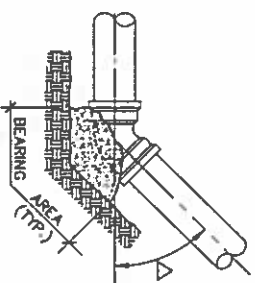
DETAIL FOR STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY

TYPICAL THRUST BLOCKS

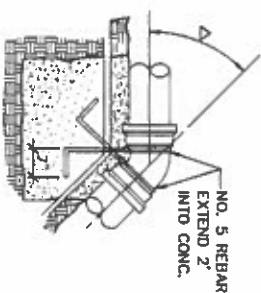


(GULF REGION) AND IS LESS THAN 60 FT. LONG]

TEE, PLUG OR CAP



HORIZONTAL OR
UPWARD VERTICAL BEND



DOWNWARD VERTICAL BEND

PREF ID	NAME	PICTURE	READING AGE A		SQUARE FEET		VOLUME OF CONC. CU						
			SCORE	Δ	PICTURE	Δ	PICTURE	Δ					
1	1	1	90	45	22	1/2	11	1/4	45	22	1/2	11	1/4
2	2	2	85	40	20	1/2	10	1/4	40	20	1/2	10	1/4
3	3	3	80	35	18	1/2	9	1/4	35	18	1/2	9	1/4
4	4	4	75	30	16	1/2	8	1/4	30	16	1/2	8	1/4
5	5	5	70	25	14	1/2	7	1/4	25	14	1/2	7	1/4
6	6	6	65	20	12	1/2	6	1/4	20	12	1/2	6	1/4
7	7	7	60	15	10	1/2	5	1/4	15	10	1/2	5	1/4
8	8	8	55	10	8	1/2	4	1/4	10	8	1/2	4	1/4
9	9	9	50	5	6	1/2	3	1/4	5	6	1/2	3	1/4
10	10	10	45	0	4	1/2	2	1/4	0	4	1/2	2	1/4
11	11	11	40	-5	3	1/2	1	1/4	-5	3	1/2	1	1/4
12	12	12	35	-10	2	1/2	0	1/4	-10	2	1/2	0	1/4
13	13	13	30	-15	1	1/2	-1	1/4	-15	1	1/2	-1	1/4
14	14	14	25	-20	0	1/2	-2	1/4	-20	0	1/2	-2	1/4
15	15	15	20	-25	-1	1/2	-3	1/4	-25	-1	1/2	-3	1/4
16	16	16	15	-30	-2	1/2	-4	1/4	-30	-2	1/2	-4	1/4
17	17	17	10	-35	-3	1/2	-5	1/4	-35	-3	1/2	-5	1/4
18	18	18	5	-40	-4	1/2	-6	1/4	-40	-4	1/2	-6	1/4
19	19	19	0	-45	-5	1/2	-7	1/4	-45	-5	1/2	-7	1/4
20	20	20	-5	-50	-6	1/2	-8	1/4	-50	-6	1/2	-8	1/4

MECHANICAL JOINTS AT ALL FITTINGS, E. BENDS, TEES, CROSSES, AND VALVES SHALL BE THRUST RESTRAINT. (MEGA-LUG OR APPROVED EQUAL).

SHEET 24 OF 28

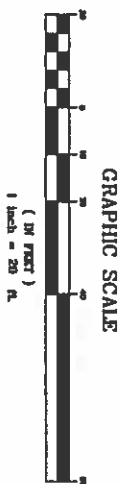
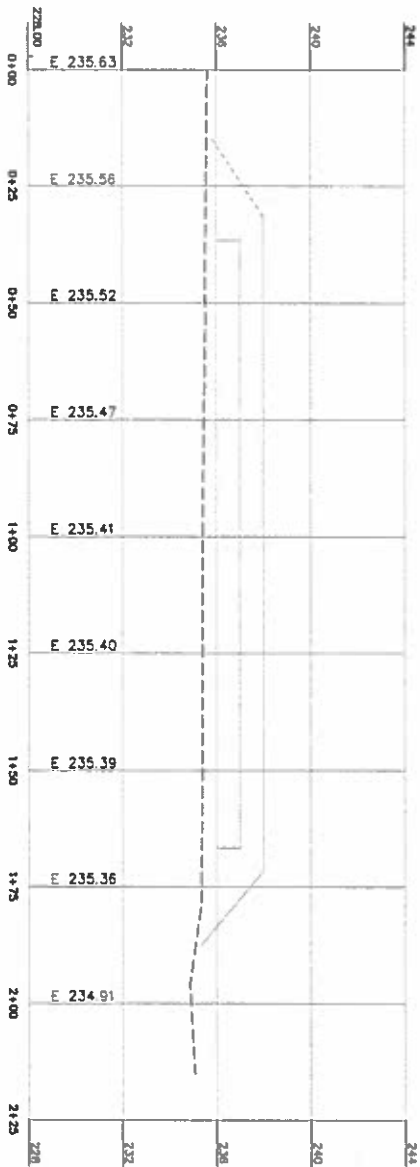
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

UTILITY DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210. LOT 64

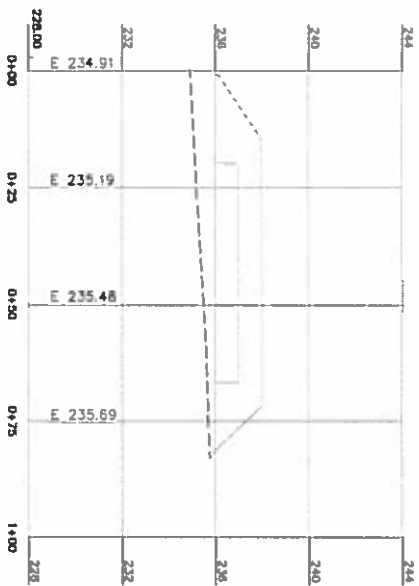
REVISION	DATE	DESCRIPTION



- NOTES:**
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERWIN FAZEKAS REVOCABLE TRUST
141 WATFIELD STREET
ROCHESTER, NH 03827-1303
 - 2) ROCHESTER TAX MAP 210, LOT 64
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE PROFILE VIEW AND SECTION VIEW OF THE EFFLUENT DISPOSAL FIELD.



PROFILE VIEW EFFLUENT DISPOSAL FIELD
VERTICAL SCALE" 1" = 4'
CROSS SECTION VIEW EFFLUENT DISPOSAL FIELD
VERTICAL SCALE" 1" = 4'

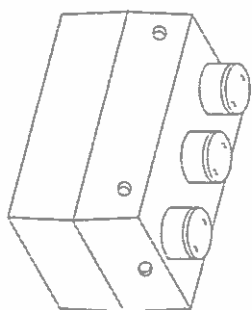
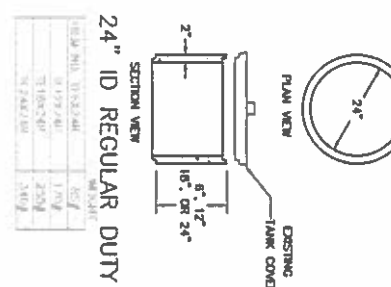
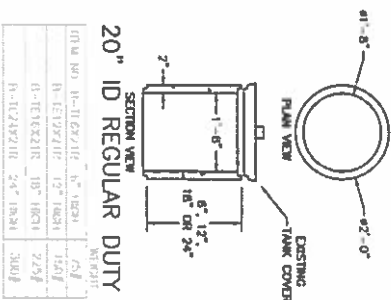
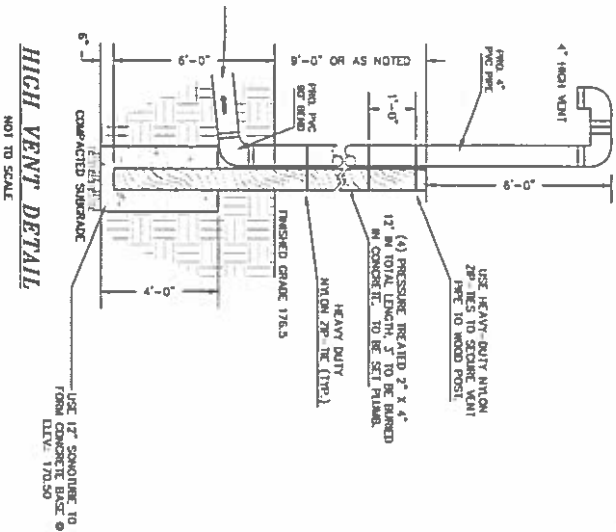
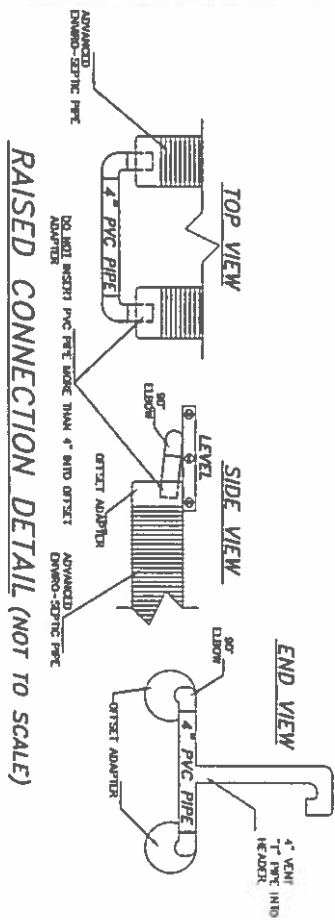
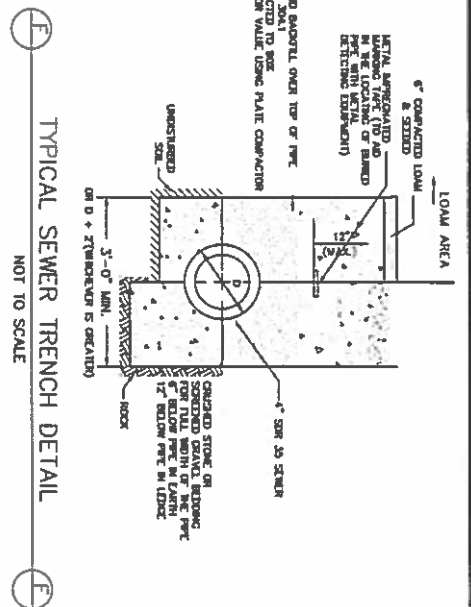
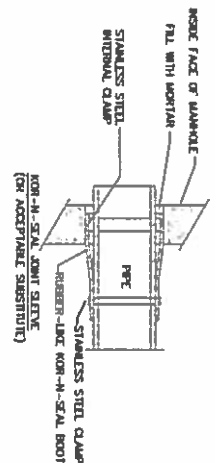
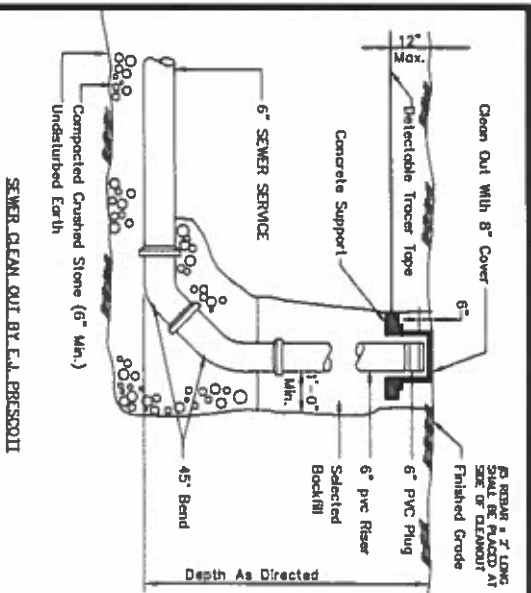


PROFILE AND SECTION VIEW OF EFFLUENT DISPOSAL FIELD
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERWIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135



REVISION	DATE	DESCRIPTION



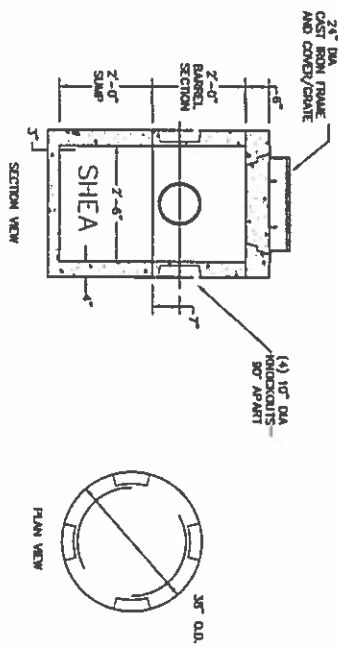
NOTES:
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
2. OPTIONAL CONCRETE OR CAST FROM COVER AVAILABLE.

11/25/2009
11/25/2009

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

EFFLUENT DISPOSAL DESIGN SPECIFIC CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

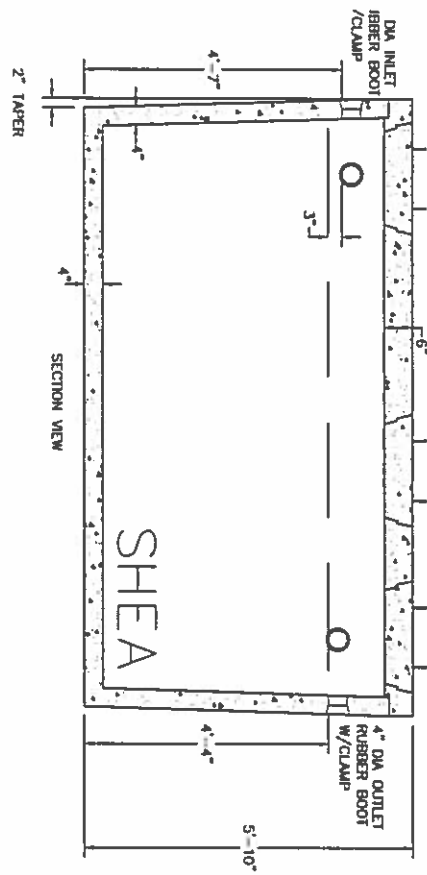
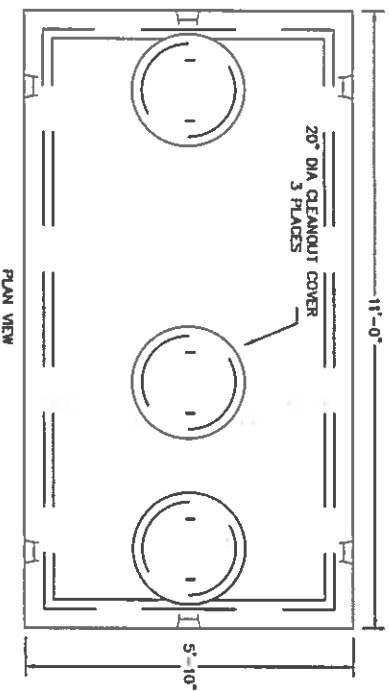
REVISION	DATE	DESCRIPTION



- NOTES:
1. CONCRETE 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.

SIZE	WGT.	WGT.	WGT.
1'-0" DIA.	1500	1500	1500
2'-0" DIA.	3000	3000	3000
3'-0" DIA.	4500	4500	4500
4'-0" DIA.	6000	6000	6000
5'-0" DIA.	7500	7500	7500
6'-0" DIA.	9000	9000	9000
7'-0" DIA.	10500	10500	10500
8'-0" DIA.	12000	12000	12000
9'-0" DIA.	13500	13500	13500
10'-0" DIA.	15000	15000	15000

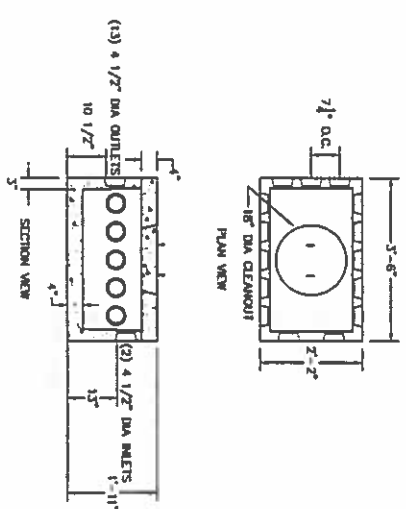
MANHOLE 30" DIA H-20
MINI CATCH BASIN
USED FOR VELOCITY REDUCING BASINS
02/01/2013



- NOTES:
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CAR 15.00, DEP TITLE 5 REGS. FOR SEPTIC TANKS.
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. BATTLE WALL OPTIONAL FOR TWO COMPARTMENT TANKS.
 5. TIES AND GAS BATTLE SOLD SEPARATELY.
 6. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 7. H2O LOADING REQUIRED (THICKER WALLS MAY BE NEEDED)

SIZE	WGT.	WGT.	WGT.
1'-0" DIA.	1500	1500	1500
2'-0" DIA.	3000	3000	3000
3'-0" DIA.	4500	4500	4500
4'-0" DIA.	6000	6000	6000
5'-0" DIA.	7500	7500	7500
6'-0" DIA.	9000	9000	9000
7'-0" DIA.	10500	10500	10500
8'-0" DIA.	12000	12000	12000
9'-0" DIA.	13500	13500	13500
10'-0" DIA.	15000	15000	15000

1500 GALLON SEPTIC TANK
MONOLITHIC 4" WALL H-20
02/01/2013



- NOTES:
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CAR 15.00, DEP TITLE 5 REGS. FOR DISTRIBUTION BOXES.
 3. DESIGNED FOR H-20 LOADING.

SIZE	WGT.	WGT.	WGT.
1'-0" DIA.	1500	1500	1500
2'-0" DIA.	3000	3000	3000
3'-0" DIA.	4500	4500	4500
4'-0" DIA.	6000	6000	6000
5'-0" DIA.	7500	7500	7500
6'-0" DIA.	9000	9000	9000
7'-0" DIA.	10500	10500	10500
8'-0" DIA.	12000	12000	12000
9'-0" DIA.	13500	13500	13500
10'-0" DIA.	15000	15000	15000

DISTRIBUTION BOX
24 OUTLET-2 INLETS
02/01/2013

- GENERAL TANK & BOX NOTES:
- 1) ALL TANKS ARE TO BE SEALED USING CONCRETE CS-202 OR APPROVED EQUAL. THIS IS TO BE DONE PRIOR TO THE TANK BEING SET IN PLACE OR WHERE THE TANK MEETS THE TANK.
 - 2) NO OVERLAPPING OF CONCRETE WILL BE ALLOWED. ALL JOINTS SHALL BE SEALED WITH A MINIMUM OF 1/2" FROM ANY CORNER. CONCRETE IS TO BE PLACED AND ALLOWED TO SET FOR 40 MIN. PRIOR TO BACK FILL TO MAINTAIN COMPRESSION. JOINT COMPRESSION IS REQUIRED.
 - 3) TANK SEAMS AND JOINTS WHERE REINFORCING BARS ARE TO BE ADDITIONALLY SEALED WITH SHOCK 728 HS SILICONE SEALANT.
 - 4) TANKS ARE TO BE WATER PROOFED BOTH INSIDE AND OUT USING A COMMON CONCRETE WATER PROOFING.
 - 5) ALL TANKS AND D-BOXES ARE TO BE EQUIPPED WITH ROOTS. CEMENTED OUTLETS WILL NOT BE ACCEPTED.
 - 6) CONTRACTOR IS TO NOTE PRE-CALCULATED AND REINFORCEMENTS FOR NO JOINTS. WHERE 45° JOINTS ARE REQUIRED, 7000 PSI STRENGTH IS REQUIRED. 7000 PSI STRENGTH WILL NOT BE ACCEPTED.

EFFLUENT DISPOSAL DESIGN SPECIFIC CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

SHEET 28 OF 28