

PROPOSED COMMERCIAL DEVELOPMENT
60 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NEW HAMPSHIRE

SITE PLANS

DECEMBER 8, 2015

LAST REVISED: FEBRUARY 9, 2016

RECEIVED
FEB 09 2016
Planning Dept.

Owners:

Map 216 Lot 10
Public Service of New Hampshire
Tax Accounting P.O. Box 3430
Manchester, NH 03105

Map 216 Lot 9
Stratham Industrial Properties Inc.
PO BOX 284
Stratham, NH 03885-0284

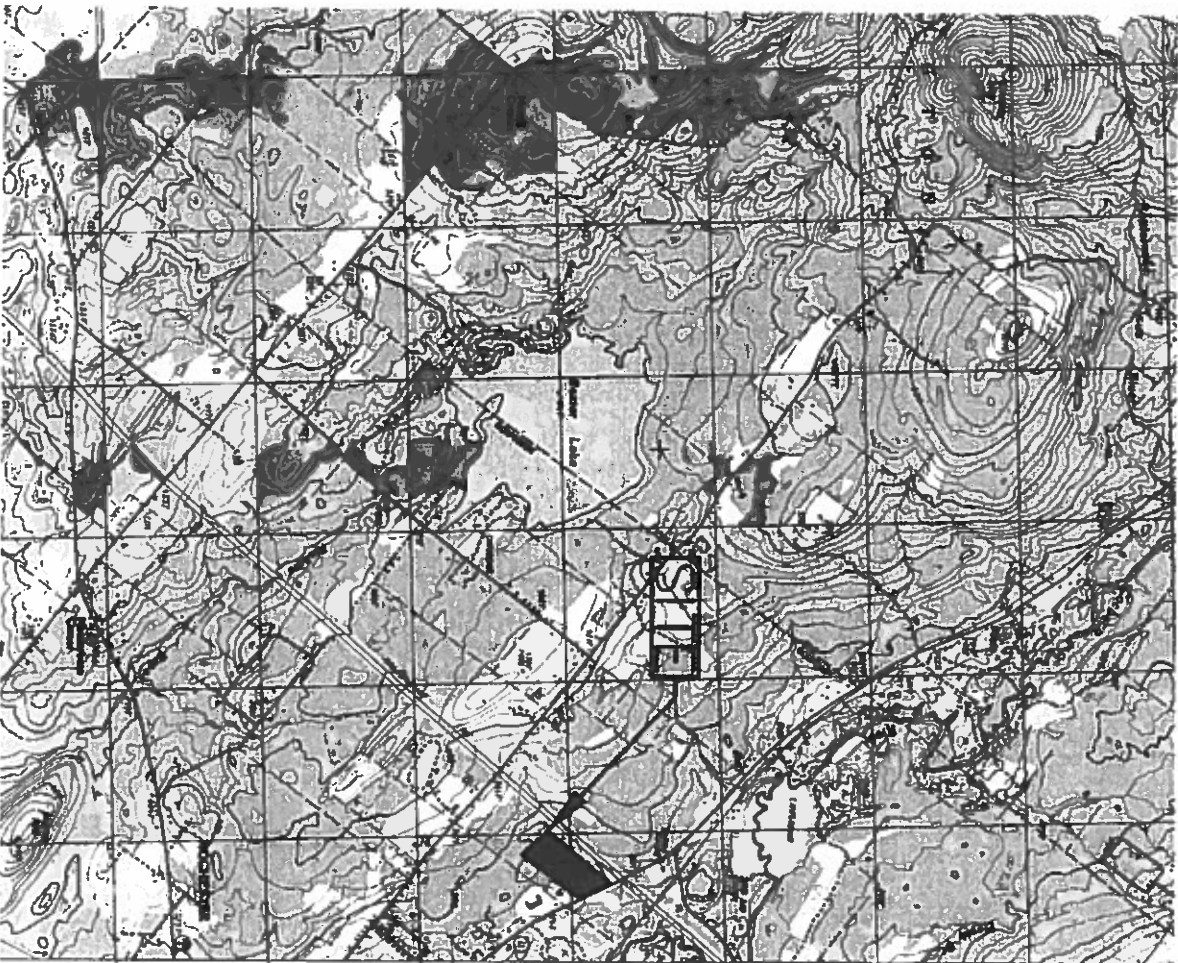
Map 216 Lot 8
Packys Investment Properties LLC
60 Farmington Rd # 400
Rochester, NH 03867-4327

Co-Applicant:

Farmington Associates, LLC
332 Reservoir Street
Needham, MA 02494

Prepared By:

Tighe&Bond
Consulting Engineers
177 Corporate Drive
Portsmouth, NH 03801



SCALE: 1"=2,000'

SHEET	TITLE	REVISED
-	COVER	02/09/2016
1 of 3	EXISTING CONDITIONS PLAN	10/23/2014
2 of 3	EXISTING CONDITIONS PLAN	10/23/2014
3 of 3	EXISTING CONDITIONS PLAN	10/23/2014
C-1	OVERALL EXISTING CONDITIONS PLAN	02/09/2016
C-1A	EXISTING CONDITIONS AND DEMOLITION PLAN	02/09/2016
C-1B	EXISTING CONDITIONS AND DEMOLITION PLAN	02/09/2016
C-1C	EXISTING CONDITIONS AND DEMOLITION PLAN	02/09/2016
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C-8	DETAILS SHEET	02/09/2016
C-9	DETAILS SHEET	02/09/2016
C-10	DETAILS SHEET	02/09/2016
C-11	DETAILS SHEET	02/09/2016
C-12	DETAILS SHEET	02/09/2016
C-13	DETAILS SHEET	02/09/2016
C-14	DETAILS SHEET	02/09/2016
C-15	DETAILS SHEET	02/09/2016
C-16	FIRE TRUCK TURNING PLAN	02/09/2016
C-17	TRUCK TURNING PLAN	02/09/2016
C-18	PHOTOMETRICS PLAN	02/09/2016

2/9/16

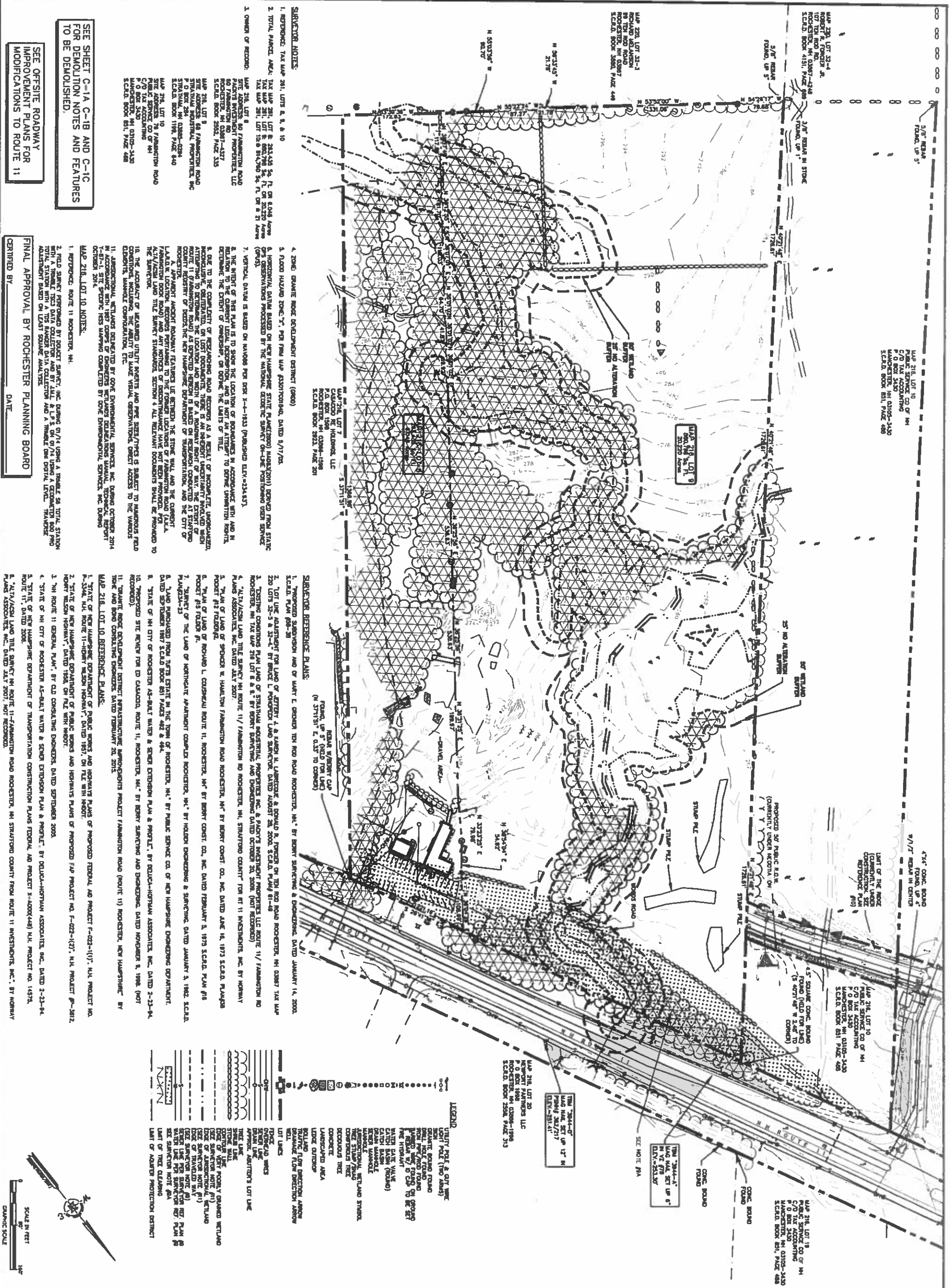
THE STATE OF NEW HAMPSHIRE
COUNTY OF ROCKESTER
NOTARY PUBLIC
No. 0004
2/9/16

**Proposed
Commercial
Development**

Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

PROJECT NO.	W157-C-11A
DATE	1/16/2016
DRAWN BY	BAH
CHECKED	BAH
APPROVED BY	BAH
SCALE	AS SHOWN
C-1	

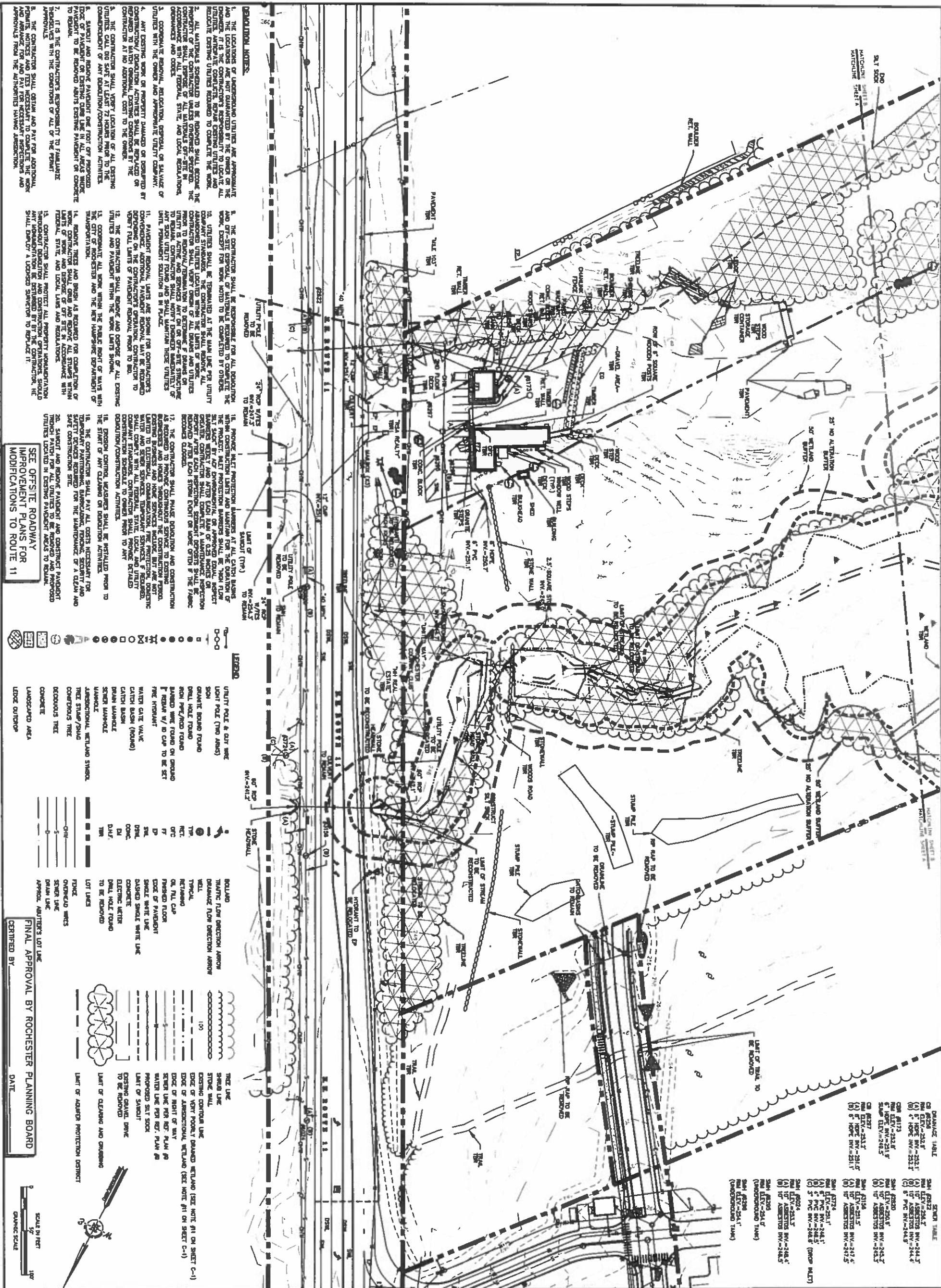


SEE SHEET C-1A, C-1B AND C-1C FOR DEMOLITION NOTES AND FEATURES TO BE DEMOLISHED.

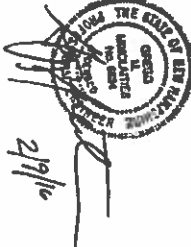
SEE OFFSITE ROADWAY IMPROVEMENT PLANS FOR MODIFICATIONS TO ROUTE 11

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

DATE



Tyhe&Bond
www.tyhebond.com



2-9-16

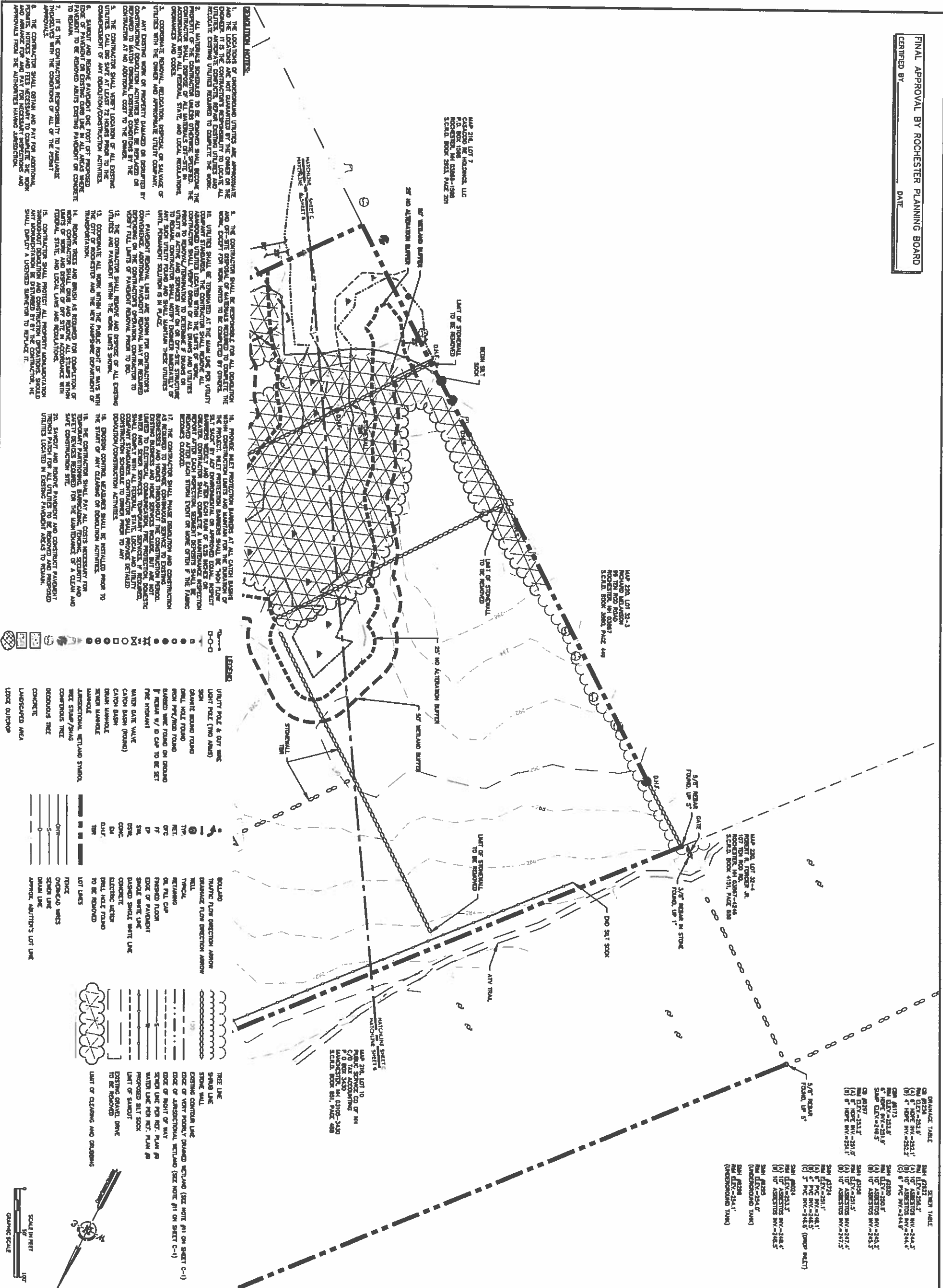
Proposed Commercial Development

Farmington Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE AS SHOWN
C-1A

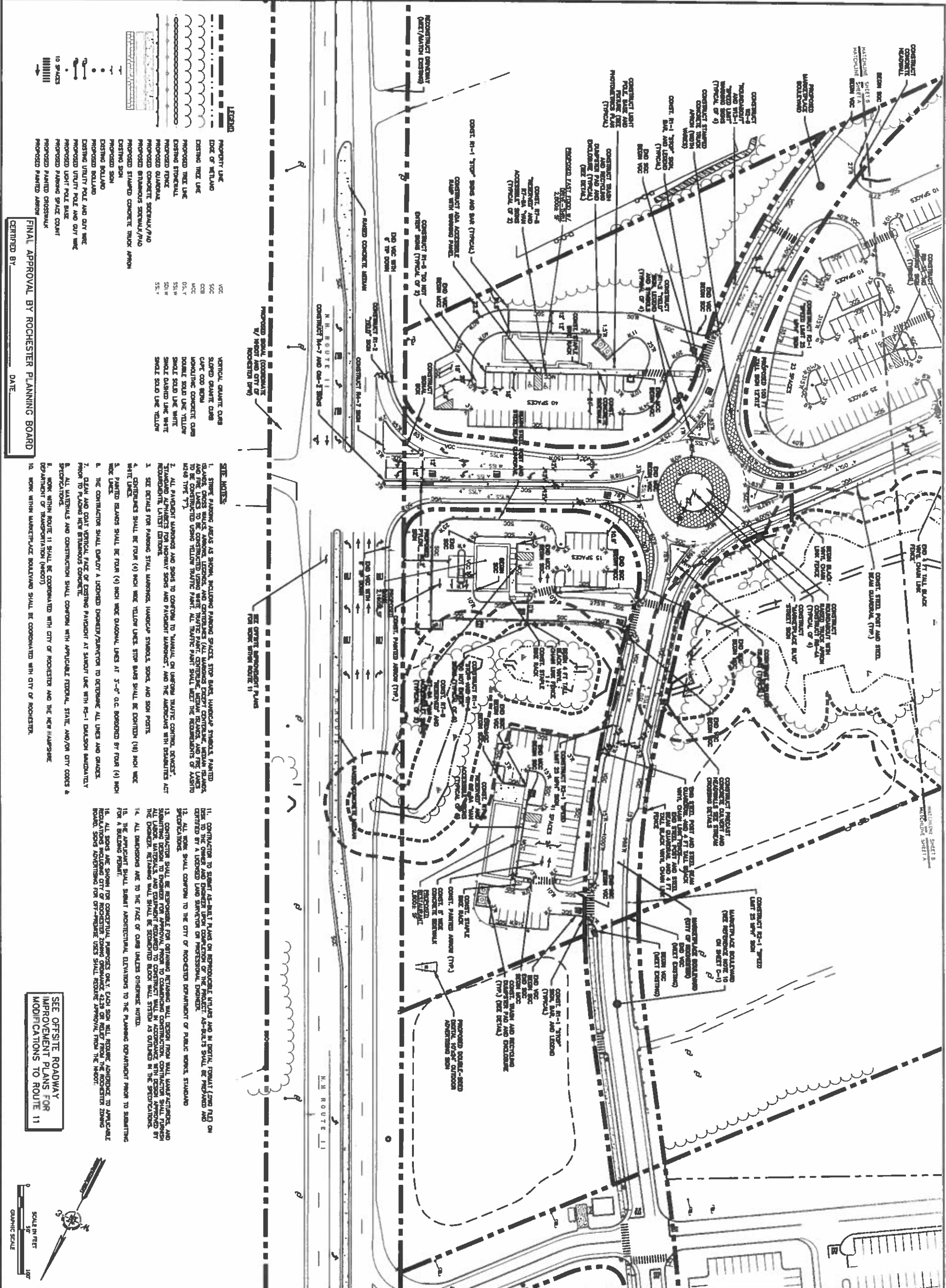
FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____



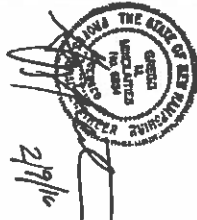
Proposed Commercial Development Farmington Associates, LLC 60 Farmington Road (Route 11) Rochester, NH		
1.	02/09/2016	Revised Per PG Comments
WORK DATE		
PROJECT NO.	W2157	
FILE	W2157_CERTING	
DATE	1/26/2016	
DRAWN BY		
CHECKED	RON	
APPROVED BY	CHN	
EXISTING CONDITIONS AND DEMOLITION PLAN		
SCALE:	AS SHOWN	
C-1C		

The image shows two circular official stamps from the Government of India, Ministry of Education. The stamps are oriented horizontally. The left stamp has a handwritten signature across it and the date '2-9-16' written below. The right stamp has a handwritten signature across it and the date '2/9/16' written below. The text on the stamps includes 'GOVERNMENT OF INDIA', 'MINISTRY OF EDUCATION', and 'OFFICE OF THE SECRETARY, GOVERNMENT OF INDIA'.

Tight & Bond
www.tightandbond.com



Tygh&Bond
www.tygh&bond.com



2-9-16

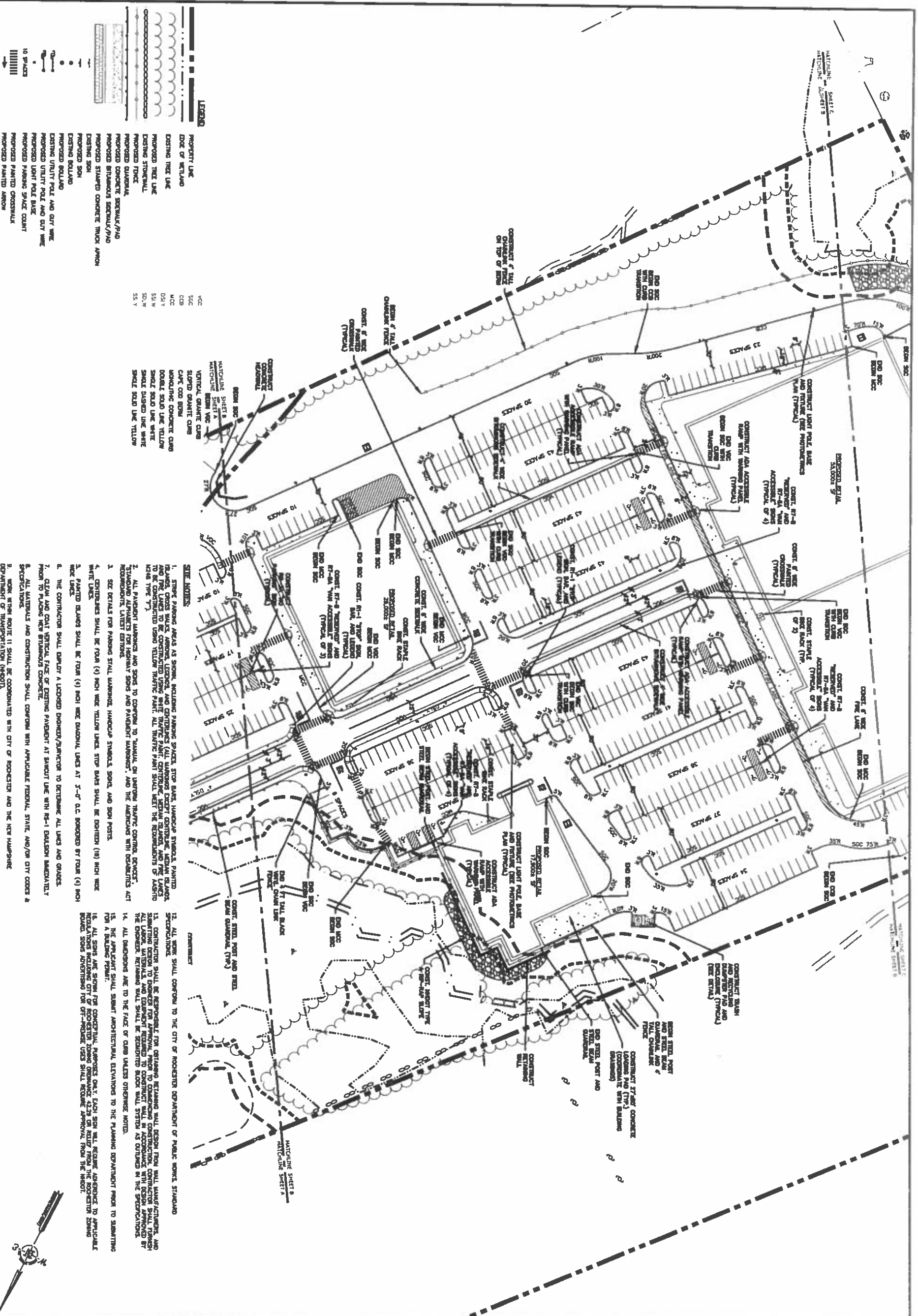
Proposed Commercial Development

Farmington Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

NO.	DATE	REVISION
1.	02/09/2016	Revised for 10 Comments
2.	02/09/2016	Revised for 10 Comments
3.	02/09/2016	Revised for 10 Comments
4.	02/09/2016	Revised for 10 Comments
5.	02/09/2016	Revised for 10 Comments
6.	02/09/2016	Revised for 10 Comments
7.	02/09/2016	Revised for 10 Comments
8.	02/09/2016	Revised for 10 Comments
9.	02/09/2016	Revised for 10 Comments
10.	02/09/2016	Revised for 10 Comments

SITE PLAN
SCALE AS SHOWN
C-2A



www.lighbond.com

Proposed Commercial Development

**Farmington
Associates, LLC**

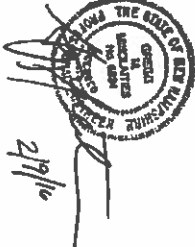
**60 Farmington Road
(Route 11)
Rochester, NH**

1.	02/04/2018	Revised per PG Comments
ISSUE	DATE	DESCRIPTION
PROJECT NO:	W2157	
FILE:	W2157 - C-HITE.png	
DATE:	2/24/2018	
DRAWN BY:	ABY/CJL	
CHECKED:	RAH	
APPROVED BY:	GMH	

SITE PLAN

SCALE: AS SHOWN

C-2B

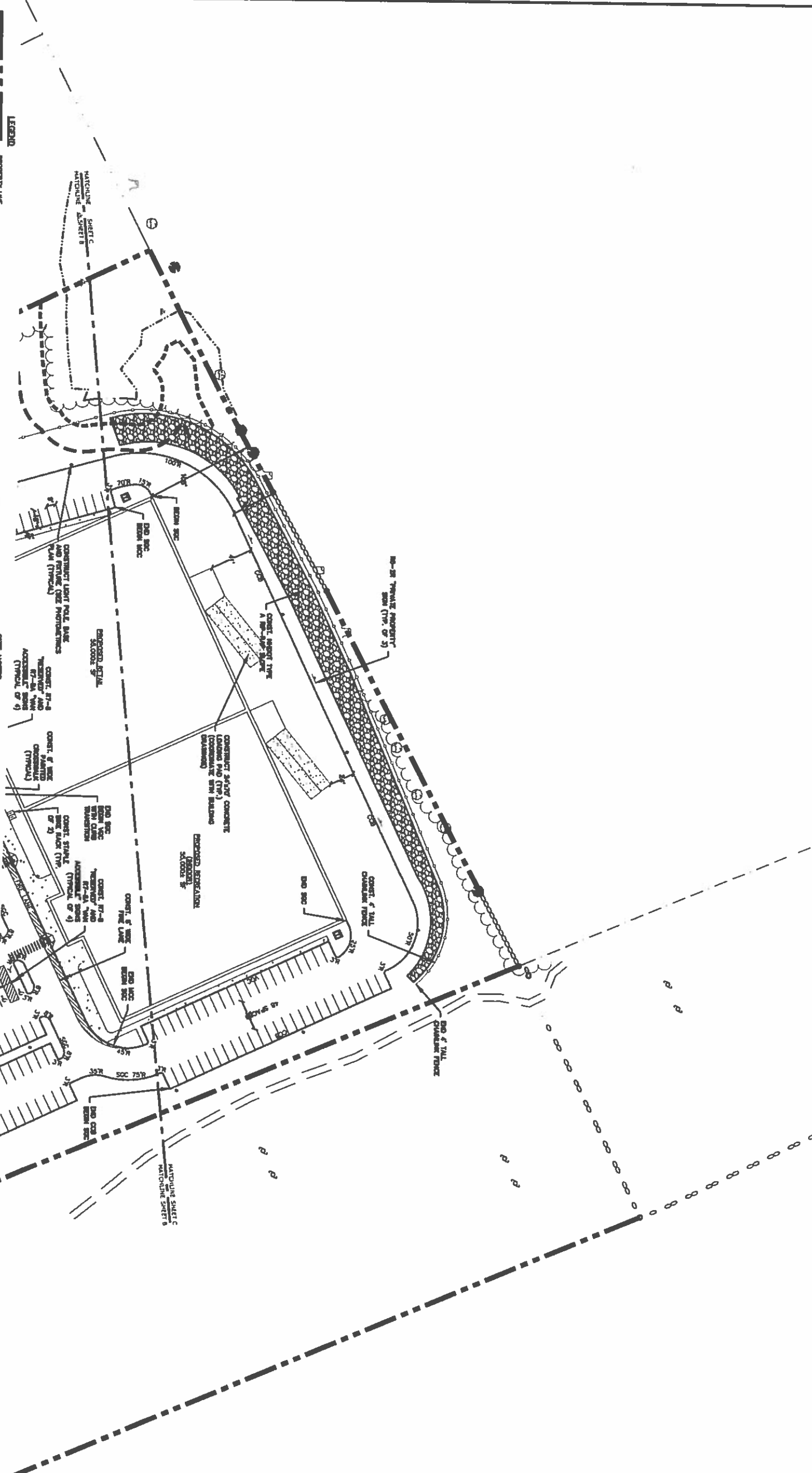


Proposed
Commercial
Development

Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

PROJECT NO.	W2137
DATE	1/29/2016
DRAWN BY	KLH
CHECKED	KLH
APPROVED BY	GMH
SITE PLAN	
SCALE	AS SHOWN
C-2C	



- SITE NOTES:**
1. STAFF PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SPACES, PAINTED STOP BARS, AND TRAFFIC SIGNALS. ALL PARKING SPACES SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. TRAFFIC PAINT SHALL BE APPLIED TO THE LINES TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M287 (TYPE 7).
 2. ALL PARKING SPACES AND SPOTS TO CONFORM TO MINIMUM ON HIGHWAY TRAFFIC CONTROL CONCEPT. STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PARKING MARKINGS, AND THE AMERICAN WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 3. SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SPACES, SIGNS, AND STOP BARS.
 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE COLORED (16) INCH WIDE WHITE LINES.
 5. PAINTED BARS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0\"/>

12. ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM WALL MANUFACTURER. A RETAINING WALL DESIGN FOR THE PROJECT FROM THE CONTRACTOR'S DESIGNER. CONTRACTOR SHALL FURNISH THE DESIGNER, RETAINING WALL SHALL BE SEPARATED BLOCK WALL, SYSTEM AS OUTLINED IN THE SPECIFICATIONS.
14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE APPLICANT SHALL SUBMIT ARCHITECTURAL ELEVATIONS TO THE PLANNING DEPARTMENT PRIOR TO SUBMITTING FOR A BUILDING PERMIT.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

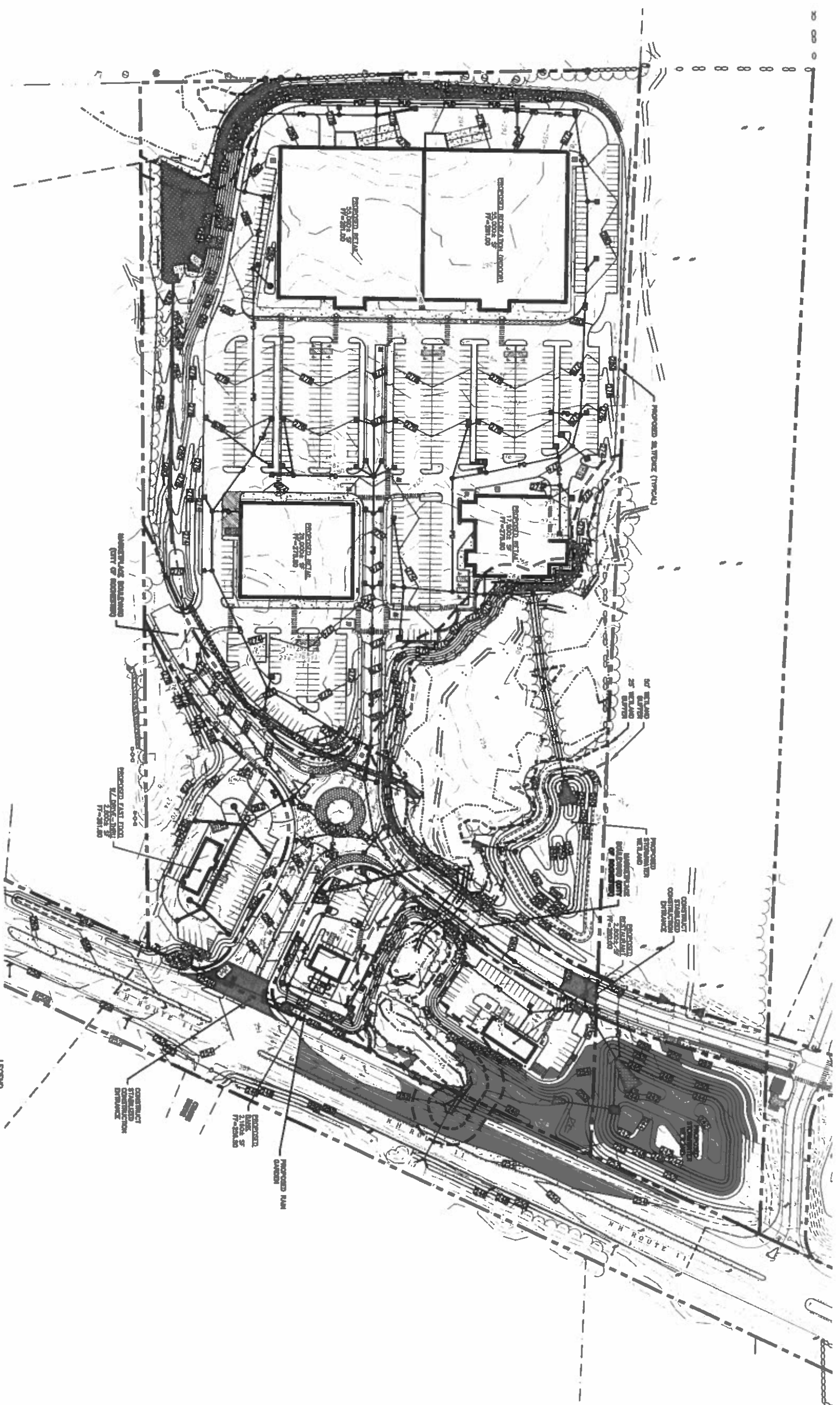
SEE SHEET C-3D FOR
PROPOSED DRAINAGE
STRUCTURE TABLE.

**SEE OFFSITE ROADWAY
IMPROVEMENT PLANS FOR
MODIFICATIONS TO ROUTE 11**

PROPOSED WETLAND BUFFERS
PENDING NHDES DREDGE AND
FILL PERMIT APPROVAL

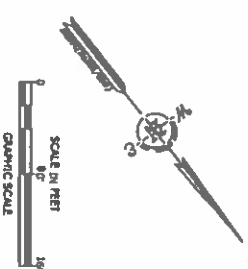
FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ **DATE** _____



156210

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Tighe & Bond
www.tighebond.com

www.tighthead.com

Proposed Commercial Development

**Farmington
Associates, LLC**

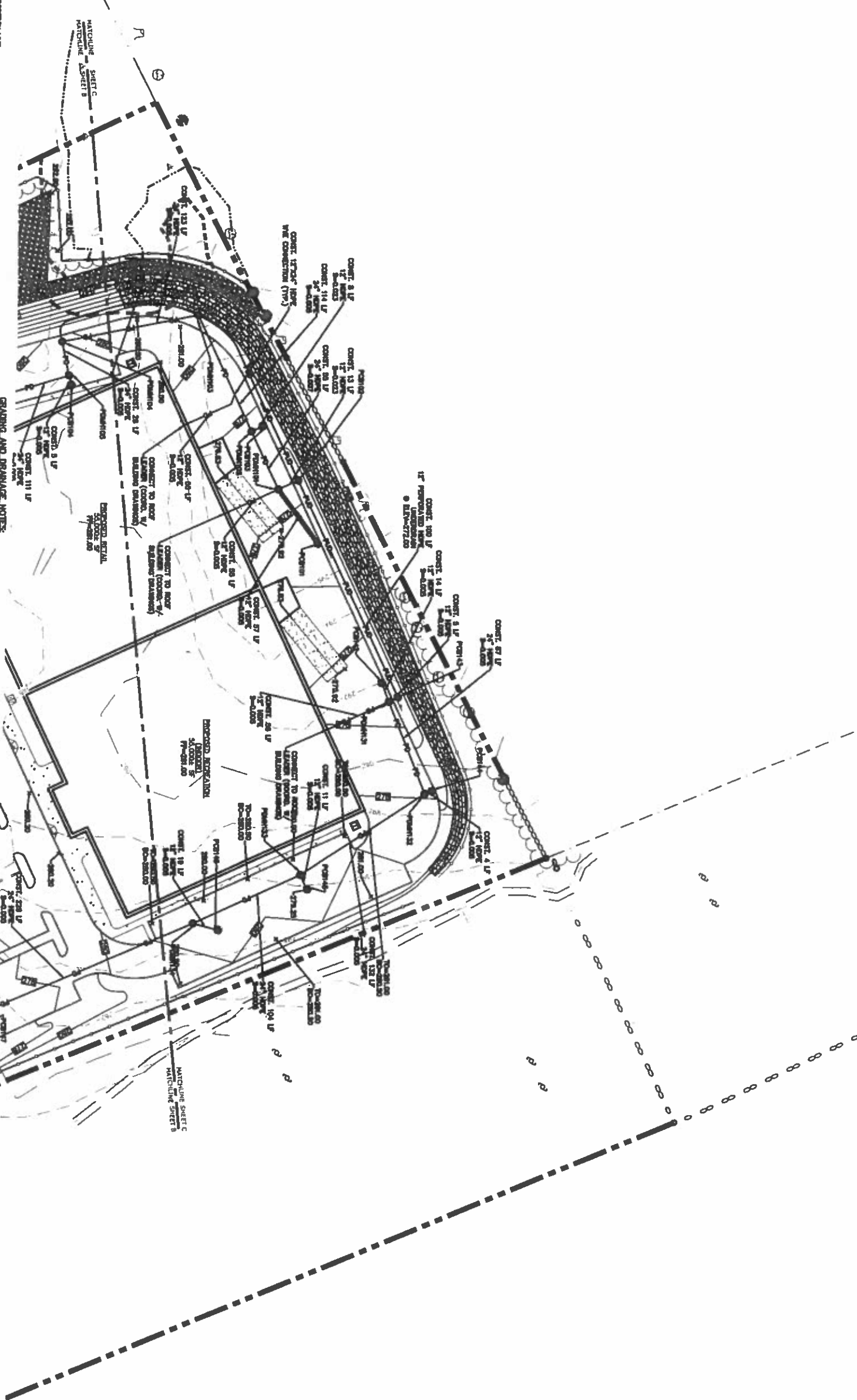
**60 Farmington Road
(Route 11)
Rochester, NH**

1.	02/09/2016	Revised Per PG Comments
PROJECT NO.	W2137	DESCRIPTION
FILE:	W2137-C-0176.dwg	
DATE:	1/28/2016	
DRAWN BY:	REYDUC	
CHECKED:	KCM	
APPROVED BY:	GMM	

OVERALL GRADING PLAN

SCALE: AS SHOWN

3



SEE SHEET C-3D FOR
PROPOSED DRAINAGE
STRUCTURE TABLE.

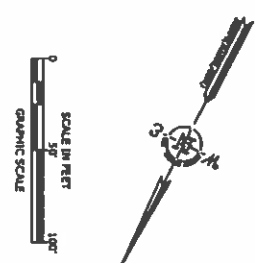
SPECIAL NOTE:
SEE SHEET C-3 FOR
WETLAND BUFFERS

1. COBALTATION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS
TROUGH EROSION MATERIAL, AND
SAND BLASTED MATERIAL. EASE
2. BELOW LOAM AND SAND AREAS
ALL PERCENTAGES OF COBALTATION AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. WITHIN
MAINTENANCE CONTROL AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-2822
C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-2822
ON APPROVED EQUALS) OR NON CLASS II, UNLESS OTHERWISE SPECIFIED.
3. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (MANHOLE H-4-Q, ADS H-4-Q
OR APPROVED EQUALS)
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH
GRADE.
5. CONTRACTOR SHALL PROVIDE A FINISHED PAVED/OT SURFACE AND LAMIN AREAS FREE OF LOW
SPOTS AND POORLY AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, PARKS AND
LOADING DOCK AREAS ADJACENT TO THE BUILDING.
6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT
OF WORK, OR SUBMIT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND
LOCAL CODES.
8. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4 FT IN DIAMETER UNLESS OTHERWISE NOTED.
9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION (NDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES,
LATEST EDITION.
10. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND
LOCAL CODES.
11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND
LOCAL CODES.

- EXPOSURE CONTROL NOTES:**

 1. INSTALL EXPOSURE CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
 2. SEE GENERAL EXPOSURE CONTROL NOTES ON EXPOSURE CONTROL NOTES SHEET.
 3. PROVIDE SIX (6) INCH METAL PROTECTION WITHIN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS. VARIATION FOR THE DIRECTION OF THE PROJECT FLOW, PARALLEL HAS BEEN RETAINED.
 4. INSTALL STABILIZED CONSTRUCTION DRAINAGE/DITCH.
 5. INSPECT METAL PROTECTION AND SIX (6) INCH WOODY AND AFTER EACH RAIN STORM OR 0.25 INCH OR GREATER RAIN/FLOOD PROTECTION IS NECESSARY TO MAINTAIN EFFECTIVENESS OF FILTER. REPLACE ALL FILTERS WHICH SEDIMENT IS 1/3 3" THICK MINIMUM.
 6. ALL EXISTING AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 4" LOAM, SEED, AND FERTILIZER OR 3" PERMANENT MULCH AND SEED.
 7. CONSTRUCT EXPOSURE MAT ON ALL SLOPES STEEPER THAN 3:1.
 8. PRIOR TO ANY WORK ON SOIL DISTURBANCE COMMANDING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE CONTRACTOR SHALL INSTALL ALL EXPOSURE AND EROSION PREVENTION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL ORDINANCES AND APPROVALS.
 9. CONTINUATION SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EXPOSURE THROUGHOUT THE CONSTRUCTION PERIOD DURING ALL WEATHER CONDITIONS.
 10. THE CONTRACTORS SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON INSTABLE SOILS SUBJECT TO AERO CONDITION OF CONSTRUCTION.
 11. TEMPORARY SOIL STRIPES SHALL BE SURMOUNTED BY SIX (6) INCH AND SHALL BE STABILIZED BY TEMPORARY EXPOSURE CONTROL SEEDING. STORAGE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELIMITED EDGE OF WETLAND.
 12. SAFETY ZONE SHALL BE MOVED AROUND STOCKPILES OVER 10 FT.
 13. THE ALLOCATION OF TEMPORARY PERMIT HOLDERS MUST APPEAR TO THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES A WRITTEN OPINION OF THE PROJECT AND REVERSED SIGN DOCUMENTING THE PROJECT EVENT FIVE YEARS FROM THE DATE OF THE PERMIT.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____



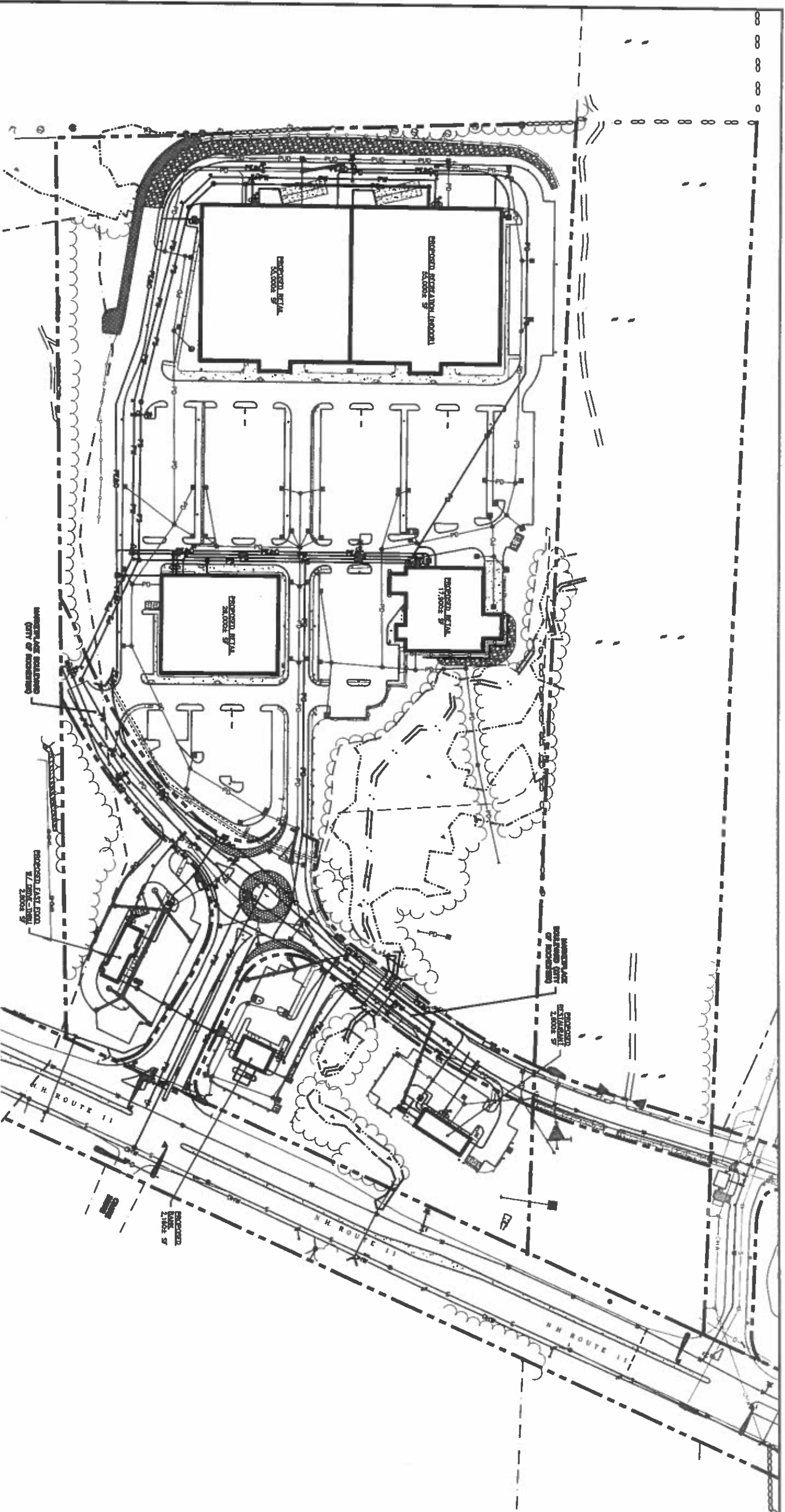
Tighe & Bond
www.tighebond.com

A circular stamp with the word "RECEIVED" at the top and "JAN 10 1964" at the bottom. A signature is written across the center of the stamp.

**Farmington
Associates, LLC**

GRADING, DRAINAGE, AND
EROSION CONTROL PLAN

1.	02/07/2015	Issued for 30 Comments
NAME	DATE	DESCRIPTION
PROJECT NO.	W1517	W1517
DATE	W1517	02/07/2015
APPROVED BY:	REVIEWED BY:	DATE:
GRADING, DRAINAGE, AND EROSION CONTROL PLAN	SCALE: AS SHOWN	C-3D

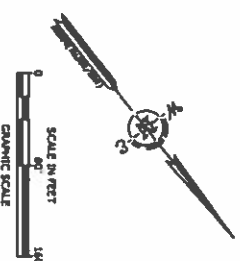


**SEE OFFSITE ROADWAY
IMPROVEMENT PLANS FOR
MODIFICATIONS TO ROUTE 11**

SEE SHEET C-4C FOR
PROPOSED SEWER
STRUCTURE TABLE.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ **DATE** _____



Tighe & Bond
www.tighebond.com

www.lightbond.com

Proposed Commercial Development

**Farmington
Associates, LLC**

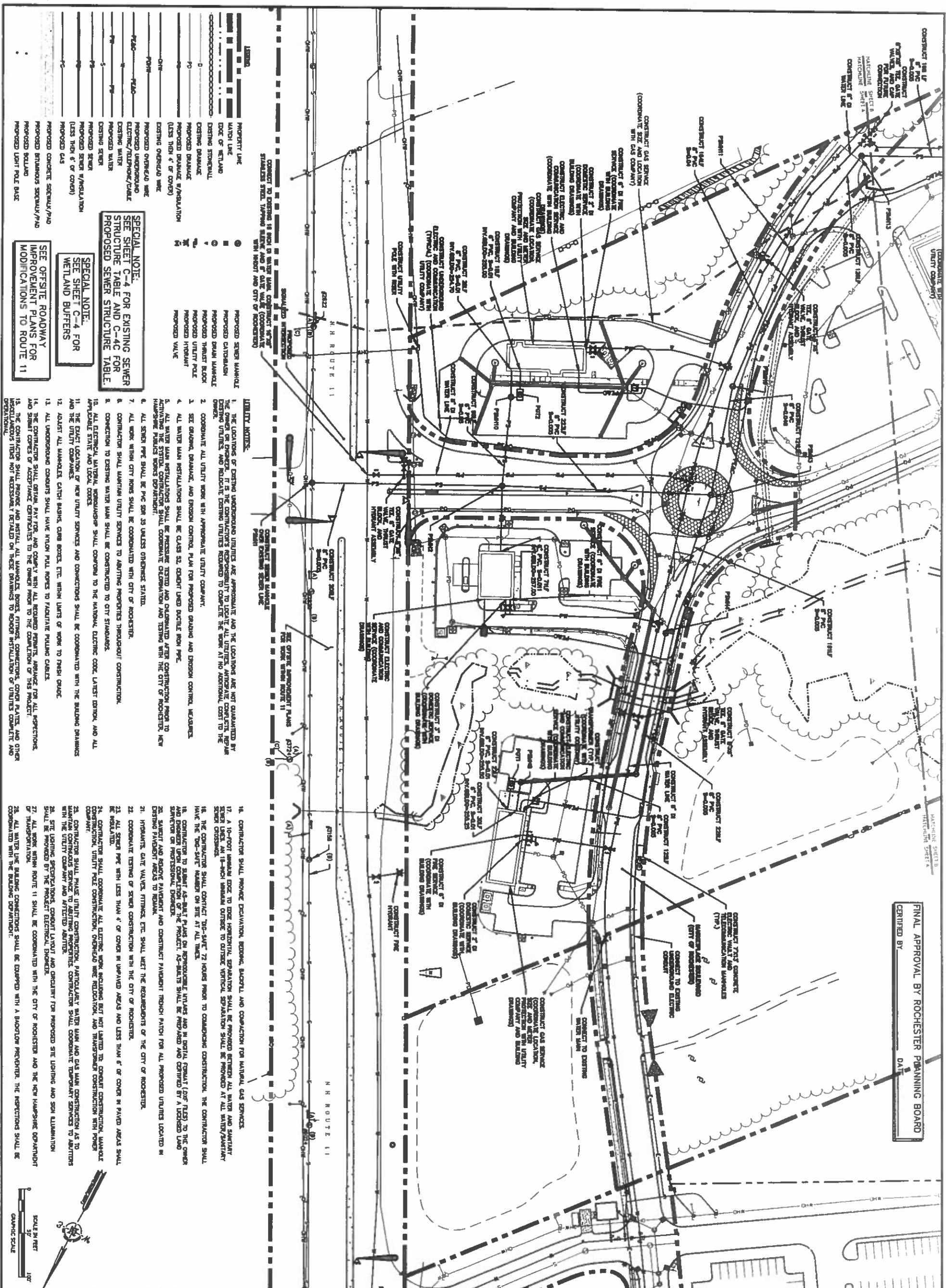
60 Farmington Road
(Route 11)
Rochester, NH

1	02/09/2016	Approved For Prg Comments
WORK DATE		
PROJECT NO.		W2157
DATE		06/09/2016
DATE		
DRYDOWN BY		W2157
CHECKED		W2157
APPROVED BY		W2157

OVERALL UTILITIES PLAN

SCALE: AS SHOWN

C-4



- LEGEND**
- PROPERTY LINE
 - EASEMENT
 - EXISTING STORMWATER
 - EXISTING DRAINAGE
 - PROPOSED DRAINAGE
 - PROPOSED DRAINAGE (LESS THAN 4' COVER)
 - EXISTING OVERHEAD WIRE
 - PROPOSED OVERHEAD WIRE
 - PROPOSED UNDERGROUND ELECTRIC/TELEPHONE/CABLE
 - EXISTING WATER
 - PROPOSED WATER
 - PROPOSED SEWER
 - PROPOSED SEWER (LESS THAN 4' COVER)
 - PROPOSED GAS
 - PROPOSED CONCRETE SEWER/PAV
 - PROPOSED BRICKWORK SEWER/PAV
 - PROPOSED BOLLARD
 - PROPOSED LIGHT POLE BASE
- SPECIAL NOTE:**
SEE SHEET C-4 FOR EXISTING SEWER STRUCTURE TABLE AND C-4C FOR PROPOSED SEWER STRUCTURE TABLE.
- SPECIAL NOTE:**
SEE SHEET C-4 FOR WETLAND BUFFERS.
- SEE OFFSITE ROADWAY IMPROVEMENT PLANS FOR MODIFICATIONS TO ROUTE 11**

- UTILITY NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANIES.
 3. SEE DRAWING, DRAINAGE, AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 4. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, EXCEPT UNITS LOCATED WITHIN THE CITY OF ROCHESTER, NEW HAMPSHIRE.
 5. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CALIBRATED AFTER CONSTRUCTION PRIOR TO HANDOVER TO THE CITY OF ROCHESTER.
 6. ALL WATER MAINS SHALL BE 30" UNLESS OTHERWISE STATED.
 7. ALL WORK WITHIN CITY LIMITS SHALL BE COORDINATED WITH THE CITY OF ROCHESTER.
 8. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
 9. ALL ELECTRICAL, WATER, AND GAS SERVICES SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT, AND ALL APPLICABLE STATE AND LOCAL CODES.
 10. ALL ELECTRICAL, WATER, AND GAS SERVICES SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT, AND ALL APPLICABLE STATE AND LOCAL CODES.
 11. THE EXISTING LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT, AND ALL APPLICABLE STATE AND LOCAL CODES.
 12. ADJUST ALL MANHOLE, CATCH BASIN, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO MATCH GRADE.
 13. ALL UNDERGROUND CONDUITS SHALL HAVE MINIMUM 18" COVER TO FACILITATE FUTURE PULLING CAPABILITIES.
 14. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, LICENSES, AND INSURANCE FOR ALL OPERATIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
 15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLE, BOXES, FITTINGS, CONNECTIONS, COVER PLATES, AND OTHER NECESSARY ITEMS NOT NECESSARILY DETAIL ON THESE DRAWINGS TO INSURE INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

16. CONTRACTOR SHALL PROVIDE EXCAVATION, BODING, BACKFILL, AND COMPACTION FOR NATURAL GAS SERVICES.
17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
18. THE CONTRACTOR SHALL CONTACT THE CITY OF ROCHESTER 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE TWO-SAVE NUMBER ON SITE AT ALL TIMES.
19. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON SEWERAGE SYSTEMS AND IN DETAIL SHALL BE FILED TO THE OWNER AND THE CITY OF ROCHESTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECT AND MAINTAIN THE EXISTING UTILITIES AND STRUCTURES OR PROFESSIONAL ENGINEER.
20. SURVEY AND RECORD SURVEY AND CONSTRUCTION PERMIT PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
21. INTERMEDIATE GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER.
22. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF ROCHESTER.
23. ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN UNPAVED AREAS AND LESS THAN 6' OF COVER IN PAVED AREAS SHALL BE INSTALLED.
24. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK INCLUDING BUT NOT LIMITED TO CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSMISSION CONSTRUCTION WITH POWER COMPANY.
25. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJACENT PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJACENTS WITH THE UTILITY COMPANY AND AFFECTED ADJACENTS.
26. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CONDUIT FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
27. ALL WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH THE CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
28. ALL WATER LINE BUILDING CONNECTIONS SHALL BE COMPLETED WITH A BOLLARD PROTECTOR. THE INSPECTIONS SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

Tyhe & Bond
www.tyhebond.com

2/9/16

60 Farmington Road
(Route 11)
Rochester, NH

Farmington
Associates, LLC

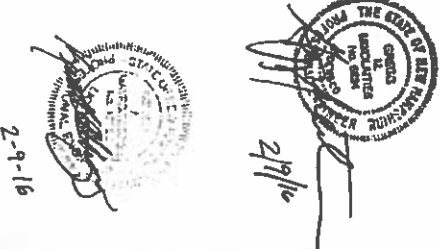
**Proposed
Commercial
Development**

UTILITIES PLAN

SCALE: AS SHOWN

C-4A

NO.	DATE	DESCRIPTION
1	02/09/2016	Issued by 20 Comments
2	02/09/2016	Revised
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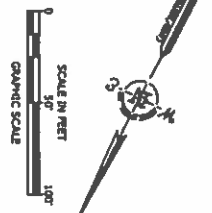


Proposed
Commercial
Development

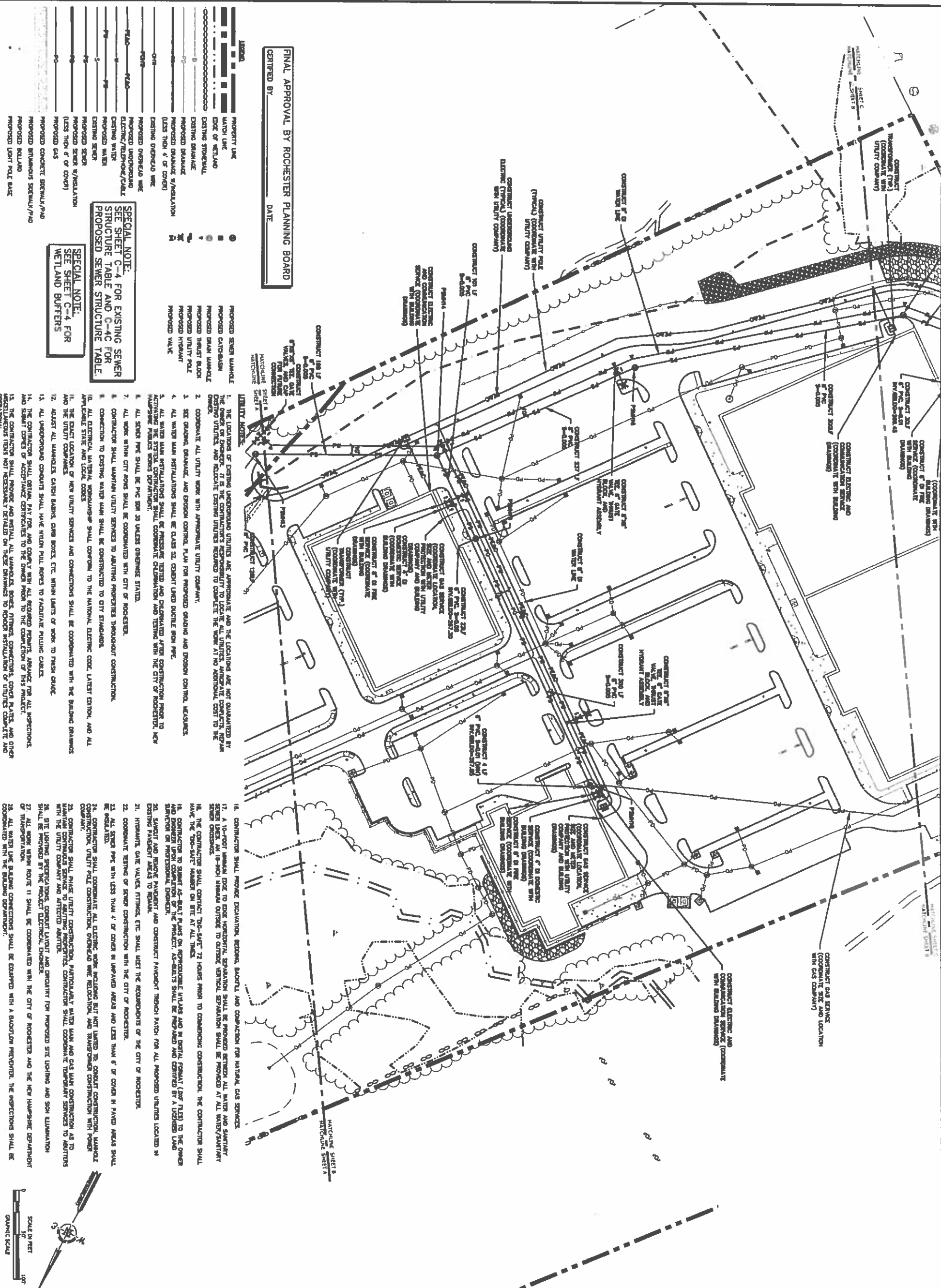
Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

1.	1/28/2016	Issued for 10 Commencement
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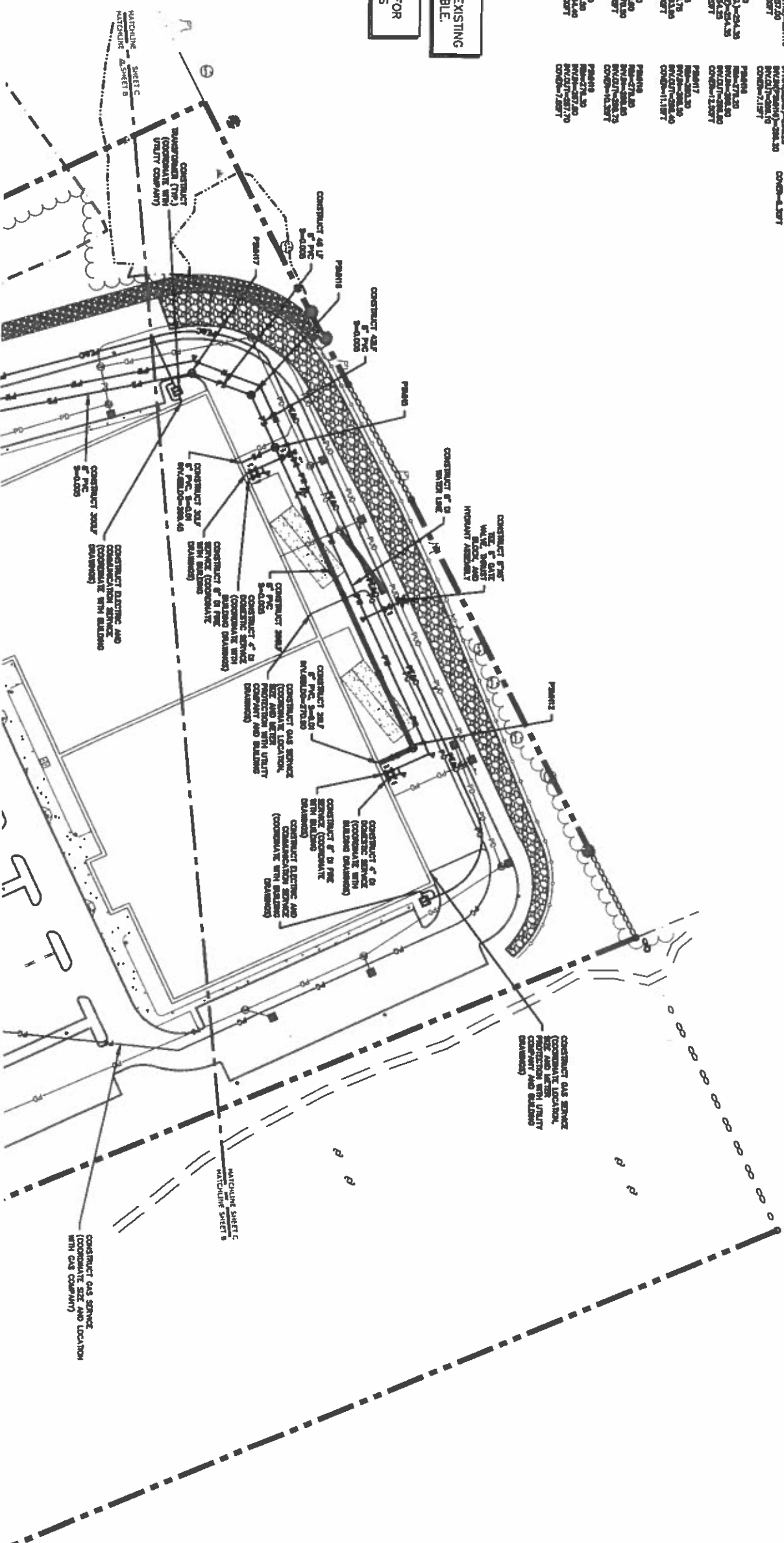
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C-4B



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SPECIAL NOTE:
SEE SHEET C-4 FOR EXISTING
SEWER STRUCTURE TABLE.

SPECIAL NOTE:
SEE SHEET C-4 FOR
WETLAND BUFFERS



IDENTIFY NOTES:

- [illegible]

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

Tighe & Bond
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2-9-18

**Proposed
Commercial
Development**

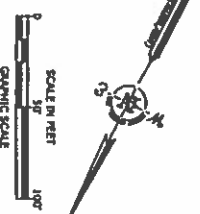
**Farmington
Associates, LLC**
60 Farmington Road
(Route 11)
Rochester, NH

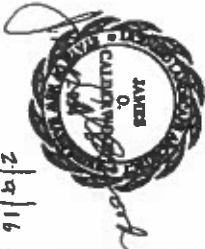
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DATE:	02/09/2016	
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CHECKED BY:		MM
APPROVED BY:		GM

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Proposed
Commercial
Development

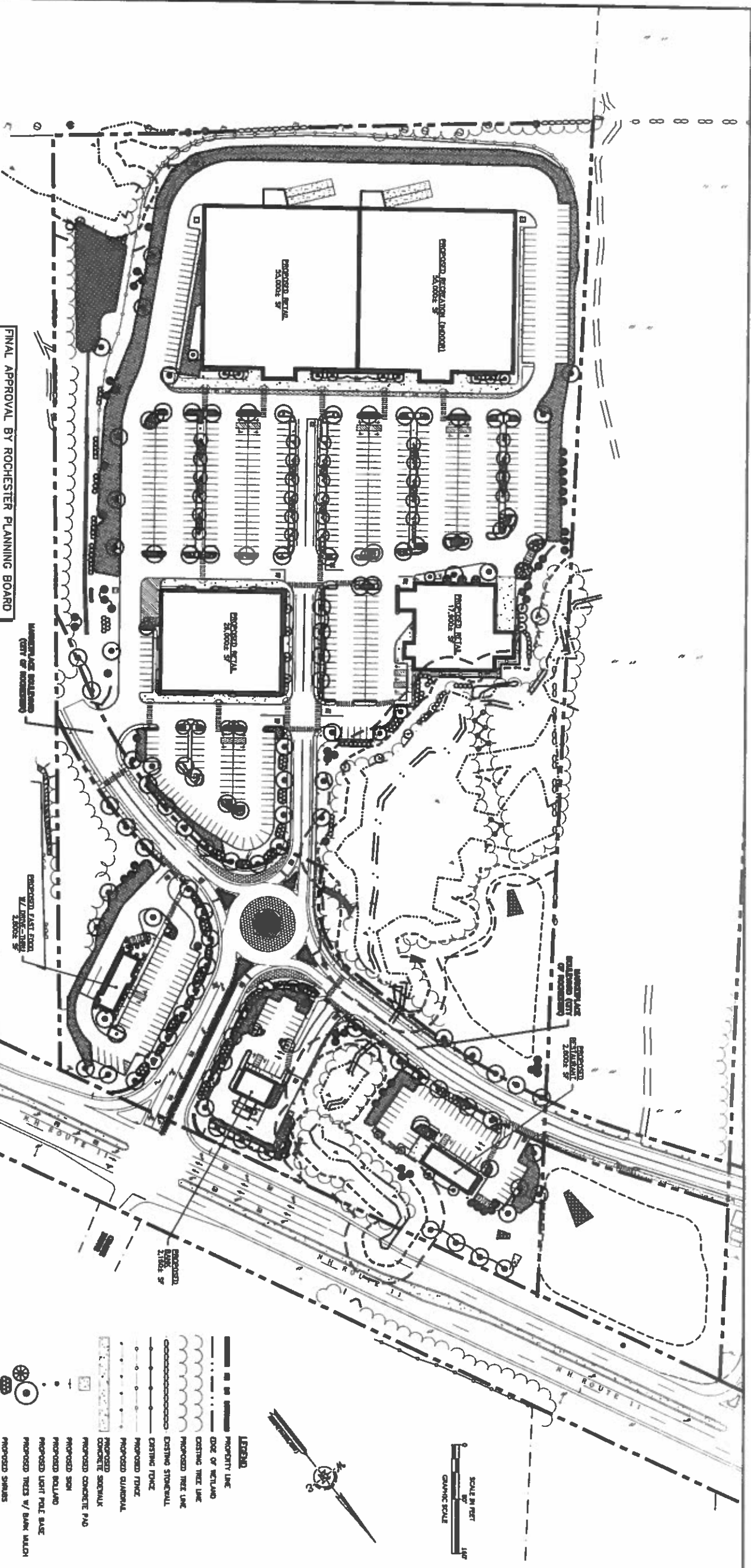
Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

1.	02/09/2016	Revised Per PG Comments
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4.	02/09/2016	Revised Per PG Comments
5.	02/09/2016	Revised Per PG Comments
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9.	02/09/2016	Revised Per PG Comments
10.	02/09/2016	Revised Per PG Comments

DATE:	02/09/2016
PROJECT NO.:	W2157
PROJECT NAME:	W2157 - C-5
DATE:	02/09/2016
PROJECT NO.:	W2157
PROJECT NAME:	W2157 - C-5
DATE:	02/09/2016
PROJECT NO.:	W2157
PROJECT NAME:	W2157 - C-5
DATE:	02/09/2016
PROJECT NO.:	W2157
PROJECT NAME:	W2157 - C-5

OVERALL
LANDSCAPING PLAN
SCALE: AS SHOWN
C-5

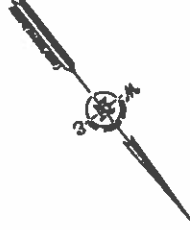


FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____ DATE: _____

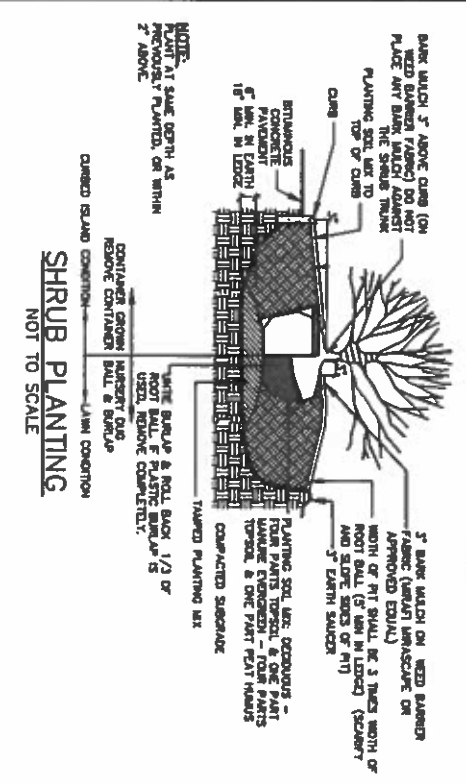
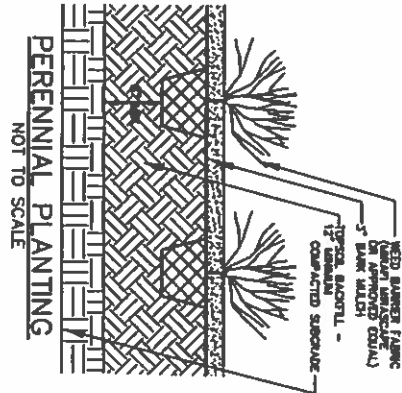
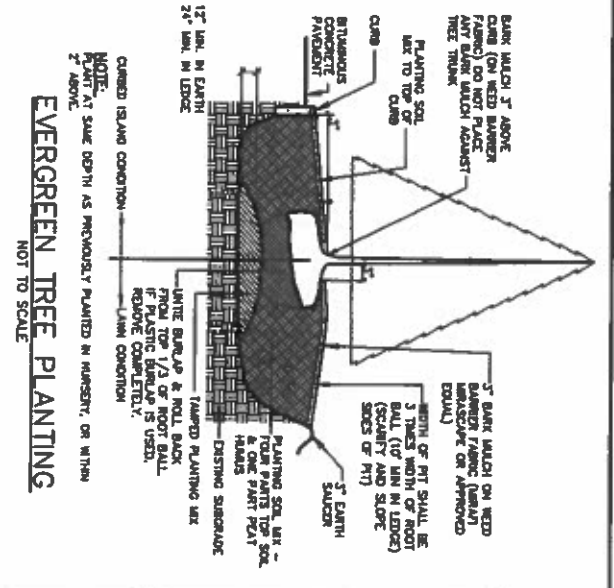
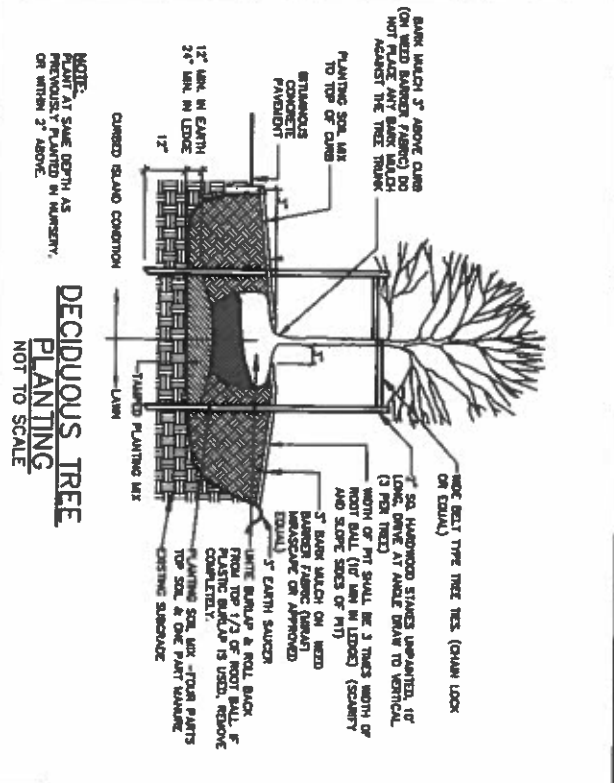
SEE SHEET C-5A FOR
LANDSCAPE PLANTING
NOTES.

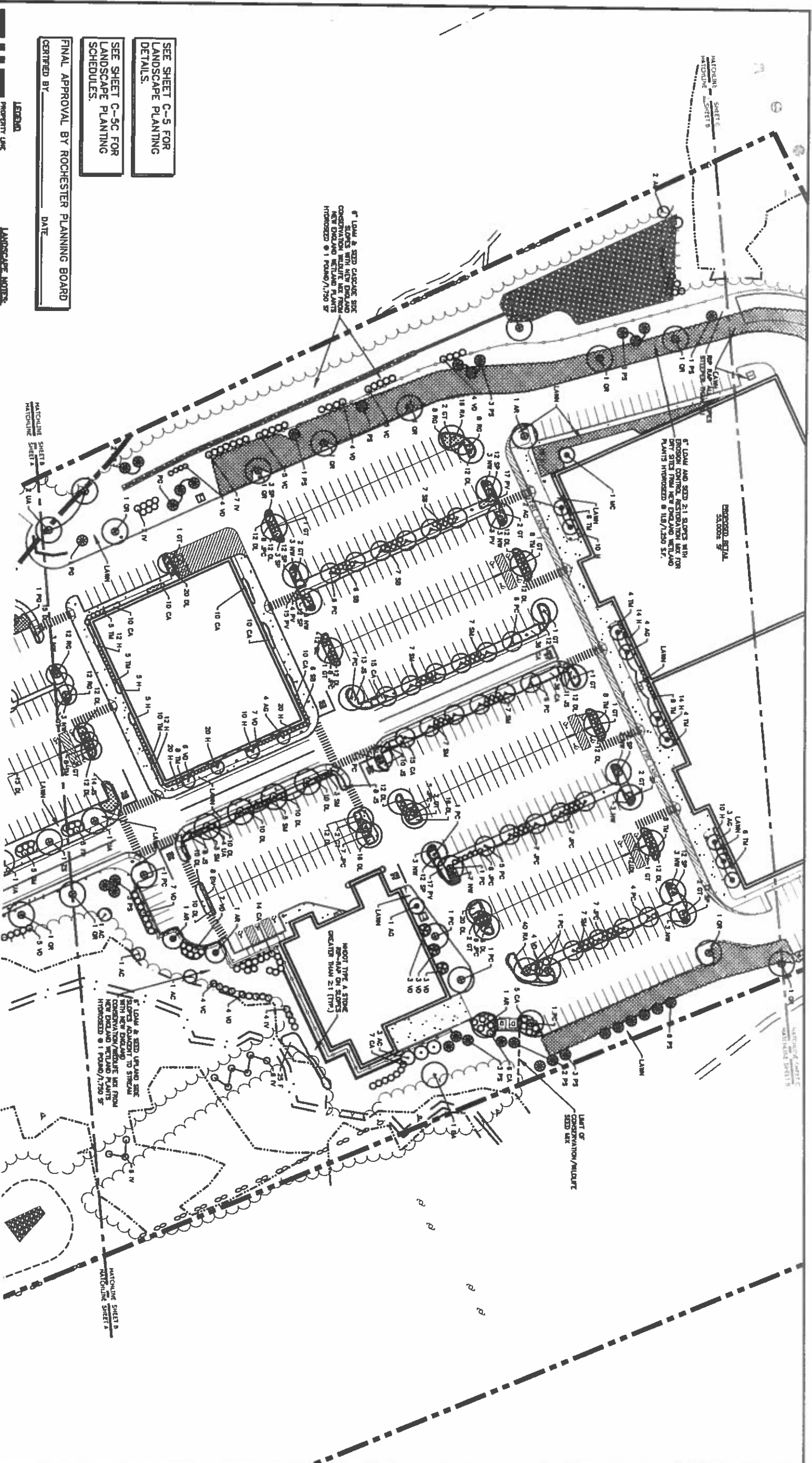
SEE SHEET C-5C FOR
LANDSCAPE PLANTING
SCHEDULES.

WATER REQUEST NOTE
1. DUE TO THE POWER LINE EXISTENT CONSTRAINTS A WATER IS REQUESTED
FROM SECTION 5.0 FRONT AND SIDE LANDSCAPE BUFFERS.
2. DUE TO SEVERAL CONSTRAINTS A WATER IS REQUESTED FROM SECTION
5.0.11 FUNDAMENTAL PLANTING BUFFER FOR 17,000 S.F. (ETAL, 2,500 S.F.,
RESTAURANT AND 2,100 S.F. BANK.



SCALE IN FEET
GRAPHIC SCALE





SEE SHEET C-5 FOR
LANDSCAPE PLANTING
DETAILS.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

LANDSCAPE NOTICE

1. THE COMPLETION SHALL REMAIN AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS DRAWING. PLANTS WILL BE PROVIDED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WEEDS SHALL BE CONTROLLED TO MAINTAIN HEALTH, SHADE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDNESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDNESS CODE MAP, (RESEARCHED PUBLICATION NO. R4, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION).
4. PLANT MATERIAL SHALL BEAT THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DEPOSIT.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST ON OR THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NUMBER OF PLANTS ON THE LIST, AND THE NUMBER OF STUDIES SHOWN ON THE DRAWING. THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, SORT, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO THE LAYOUT OF PLANTING. THE LOCATION OF ALL UTILITIES LOCATED BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PLAYED OR OTHERWISE TREATED SHALL EXIST SIX (6) INCHES OF LOAM AND SEED, NO FILL SHALL BE PLACED IN ANY RETAINED AREA.
9. THREE (3) INCH BATH MATERIAL IS TO BE USED AROUND THE TREE AND SHADE PLANTING AS SPECIFIED IN THE DETAILS. THE MATERIAL SHALL BE PLACED IN THE FORM OF A RING OF BATH MATERIAL SHALL LEFT THE TOP EDGE OF THE DUNE. ALL OTHER AREAS SHALL EXIST SIX (6) INCHES OF LOAM AND SEED.

10. HOSE, BBS, GROUND FAULTS SHALL BE INSTALLED AT THE FRONT AND REAR OF ALL BUILDINGS TO SPECIFY AND MARK REQUIREMENTS FOR PLANTS DURING PERIODS OF DROUGHT (COORDINATE WITH BUILDING ARCHITECT).
11. SET PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST (NORTHERN HEMISPHERE) OR OCTOBER 15TH (SOUTHERN HEMISPHERE) AND PLANTING DURING JULY AND AUGUST (WETTEST MONTHS) ARE IDEAL FOR PRODUCTION.
14. PARKING AREA PLANTED BARKLESS TO HAVE MINIMUM OF 1'-0" TROPICAL PLANTED TO WITHIN 3' BORDERS OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. PLANTING SHALL BE FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF AAS AND ALSO TREES, SHRUBS AND OTHER WOOD PLANT HARDINESS STANDARDS PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNLESS/UNTIL ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4'-FOOT SHIELD PLACED AROUND THE PERIMETER OF THE PLANTING OR AT 3 FEET MINIMUM FROM THE TREE TRUNK. ANY TREES TO BE REMOVED SHALL BE IDENTIFIED BY A RED X ON THE PLAN. THE TREE TRUNK SHALL BE REMOVED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SPRING.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN HEALTHY FLOUSING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING FROM THE DATE OF PLANTING OF SUBSTANTIAL COMPLETION, ALL CLASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN GOOD HEALTHY GROWTH AT THE END OF ONE YEAR SHALL BE REPLACED BY THE CONTRACTOR. MANY CANOED PLANTINGS WILL BE REMOVED (SEE DRAWING 1).

- UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF PROLONGED DROUGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LANDS ADJACENT DURING DRAIN DIGGING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANTING IS INSTALLED AND CONTINUE UNTIL THE TYPICAL ACCEPTANCE OF ALL THE PLANTINGS. PRE-ANNUOUS PLANT MATERIAL AND PRE-AND FOR GROWING TO MEET MONTHLY SCHEDULE AS REQUIRED, IT MAY BE NECESSARY TO AVOID CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- ALL LANDSCAPING SHOULD BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. IF THE LANDSCAPING CANNOT BE COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE OWNER SHALL BE RESPONSIBLE FOR THE SECURITY TO PROTECT THE CONTRACTOR'S PLANTING MATERIALS AND LABOR REQUIRED TO COMPLETE THE LANDSCAPING.
- A CONSERVATION SEED MIX IS TO BE USED IN DISTURBED AREAS AND BATTER AREAS (AREAS OTHER THAN LAWNS) IS TO BE USED ON LAWNS. MIX IS TO BE MAINTAINED FOR 2000 SEEDS PER SQR. YD. FOR NON-PORTLAND PAVEMENTS, INC. OR EQUIVA. CARE MUST BE TAKEN NOT TO SPREAD SEED OR MULCH IN NEIGHBORS.
- SEED MIX SHALL BE TO BE USED THROUGHOUT SITE.
- ALL PERENNIAL PLANTS AND GRAMINOIDAL GRASSES WITHIN SNOW STORAGE AREAS SHALL BE CROWNED IN LATE FALL OR AN ANNUAL BARR.
- PLANTINGS PROPOSED WITHIN THE CITY OF ROCHESTER AND NEARBY TOWNS OR VILLAGES SHALL BE COORDINATED WITH THE CITY OF ROCHESTER AND NEARBY TOWNS.
- AFTER DEVELOPMENT IS COMPLETE, NO GROUND DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE LEFT EXPOSED BARE SOIL, ALL DISTURBED SURFACES - NOT OTHERWISE COVERED WITH BRICKS, STRUCTURES, CONCRETE, PAVEMENT, GRAVEL PAVING OR OTHER HARDSURFACING - SHALL BE OCCUPIED/COVERED, COVERED WITH A MINIMUM OF 5" OF (6) MOSES OR TOP SOIL. EXPOSED MATERIAL SHALL BE COVERED OR LESS, AND PLANTED/COVERED WITH APPROPRIATE

A graphic scale bar labeled "SCALE BY FEET" with markings for 0, 50, and 100 feet. To the right of the scale is a north arrow pointing towards the top right, with the letter "N" at its tip.

Tighe & Bond
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Proposed Commercial Development

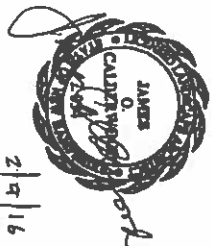
Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

LANDSCAPE PLA

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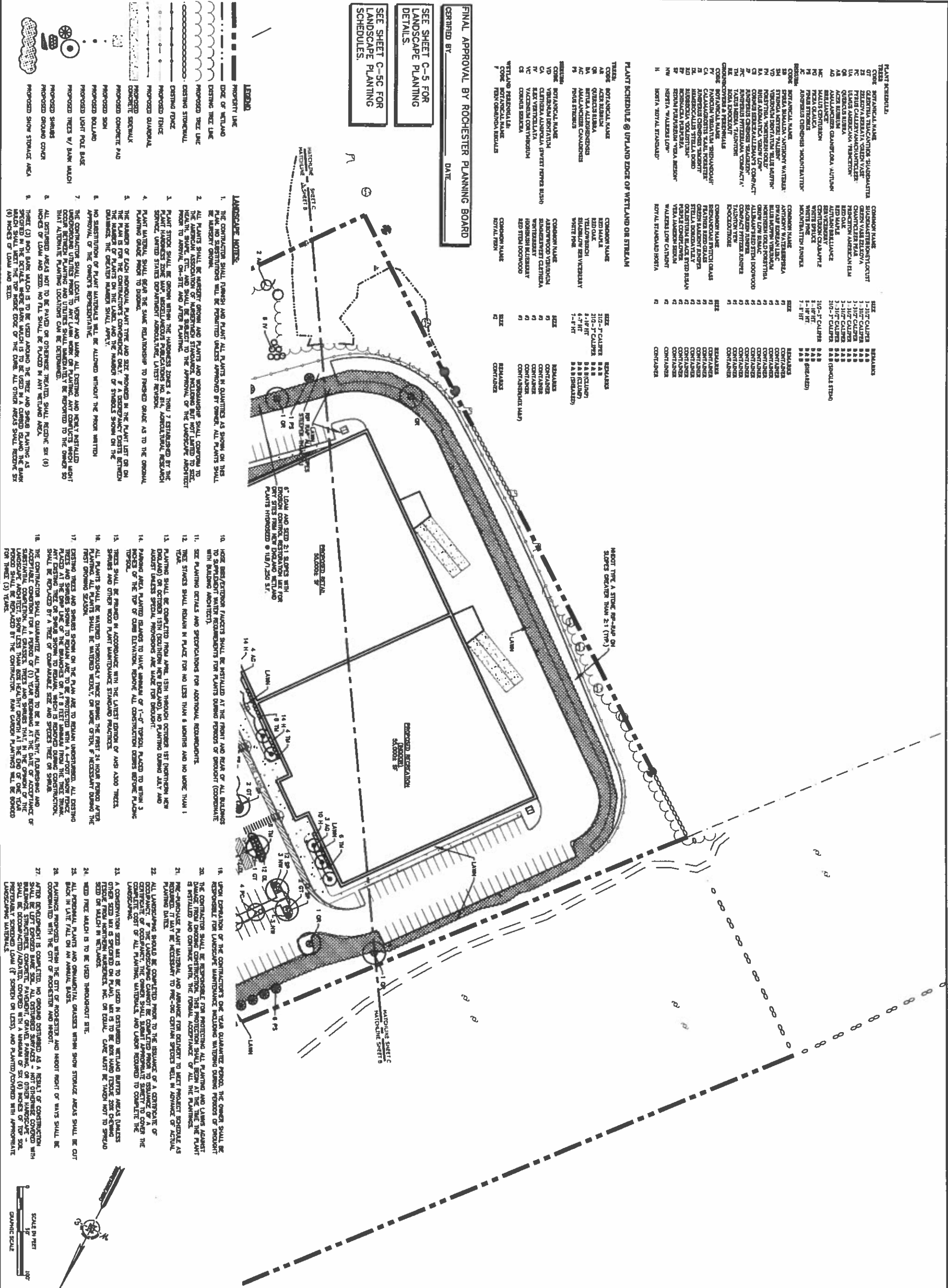


Proposed
Commercial
Development

Farmington
Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

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DATE:	2/9/2016
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CHECKED BY:	WILLIST C. TYHE
APPROVED BY:	WILLIST C. TYHE
PROJECT NO.:	W157
DATE:	2/9/2016
DRAWN BY:	WILLIST C. TYHE
CHECKED BY:	WILLIST C. TYHE
APPROVED BY:	WILLIST C. TYHE
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C-S-C	



2/9/16

2-9-16

Proposed
Commercial
Development

Farmington
Associates, LLC

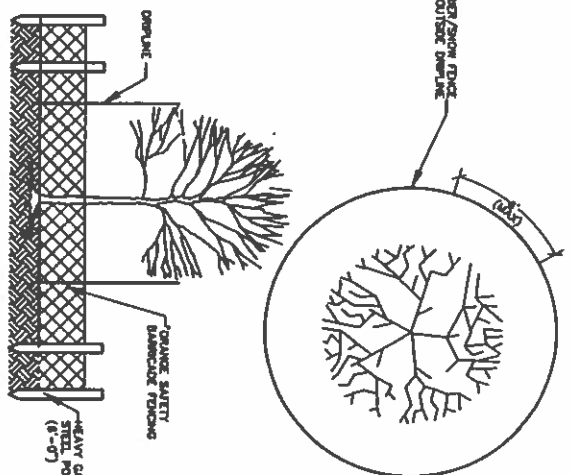
60 Farmington Road
(Route 11)
Rochester, NH

1.	02/09/2016	Revised Per PA Comments
2.	03/01/2016	Final
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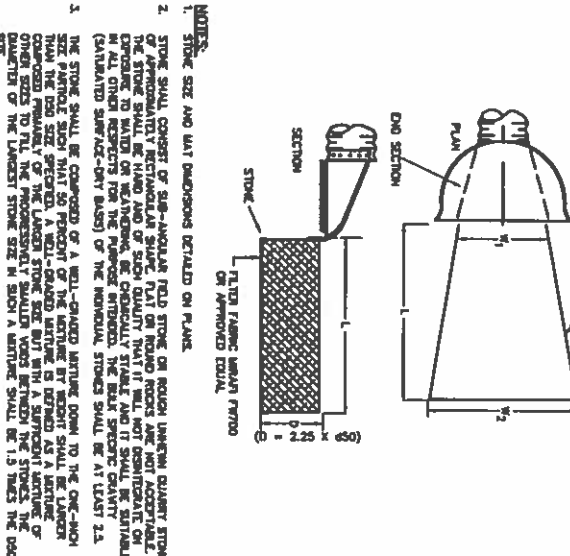
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C-7

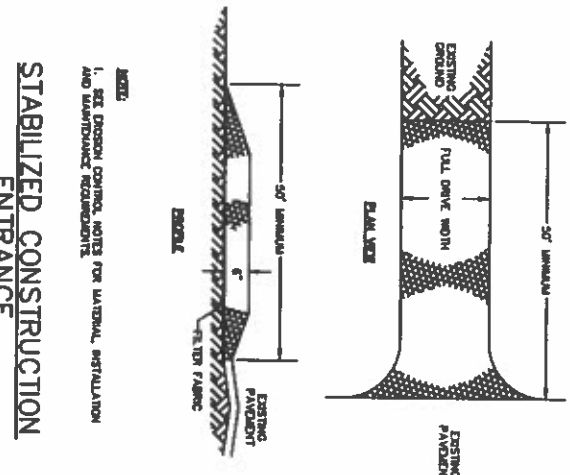
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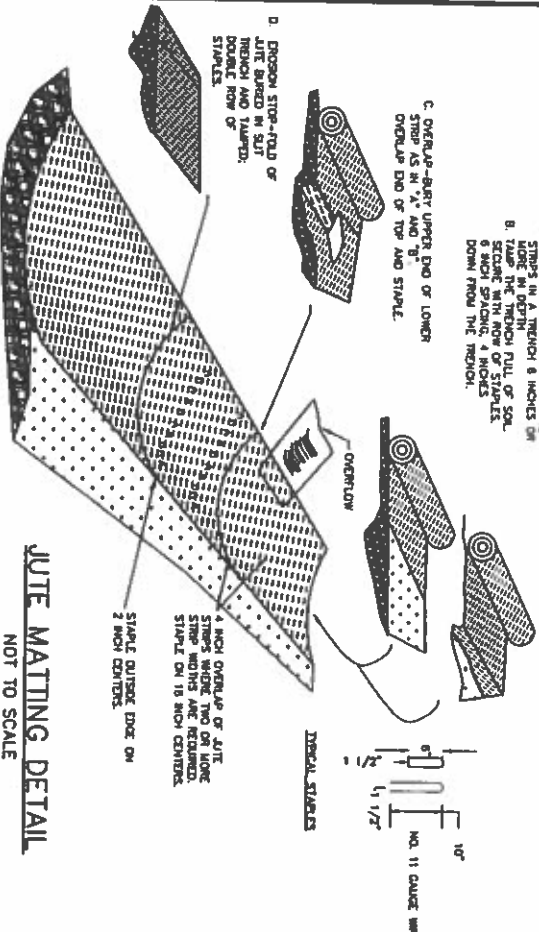
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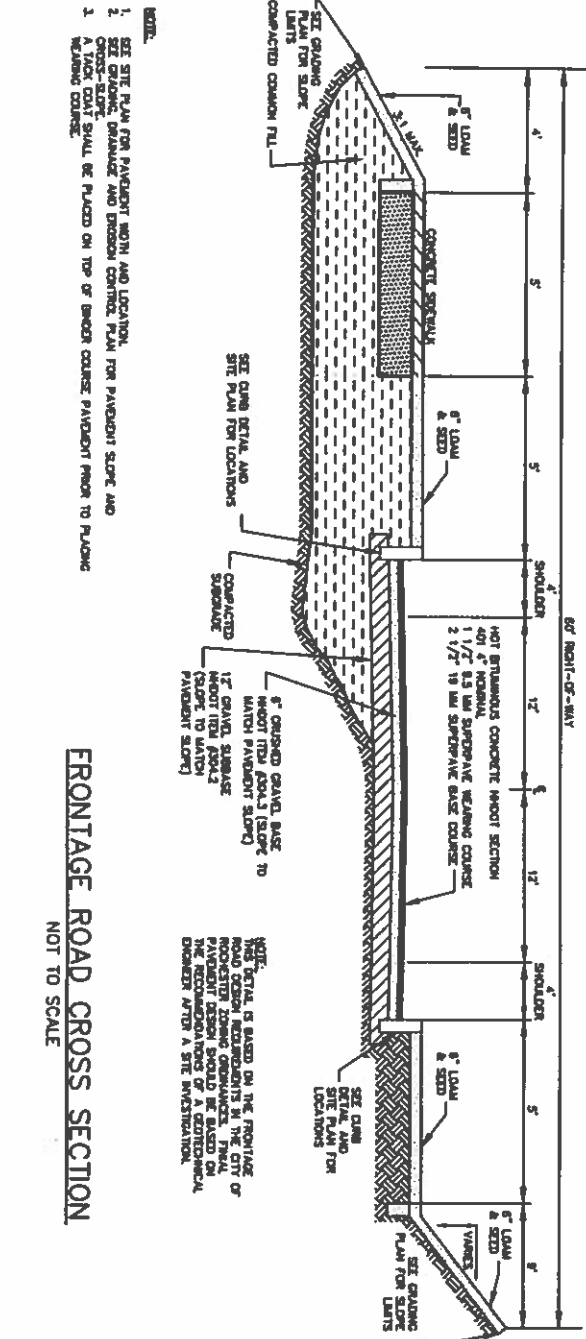
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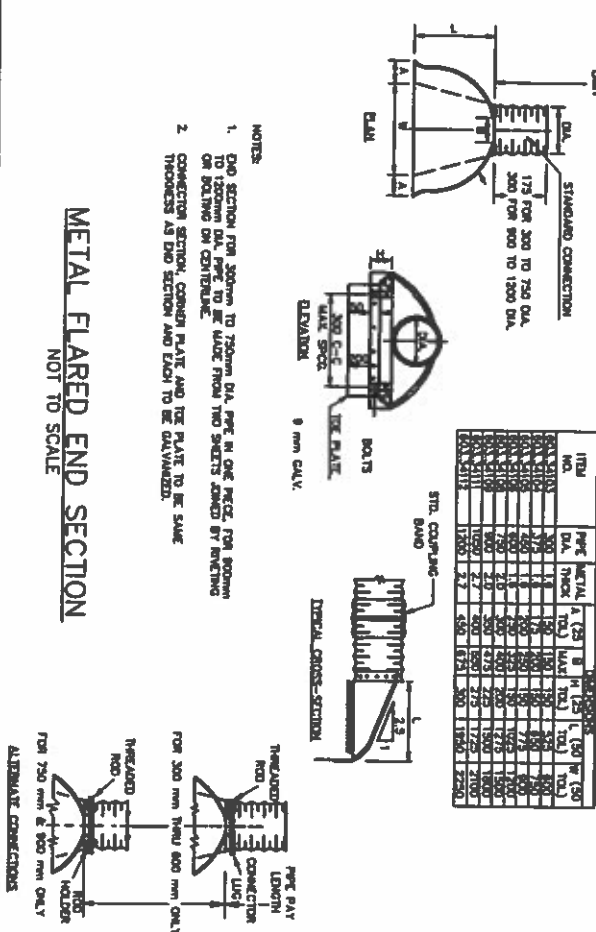
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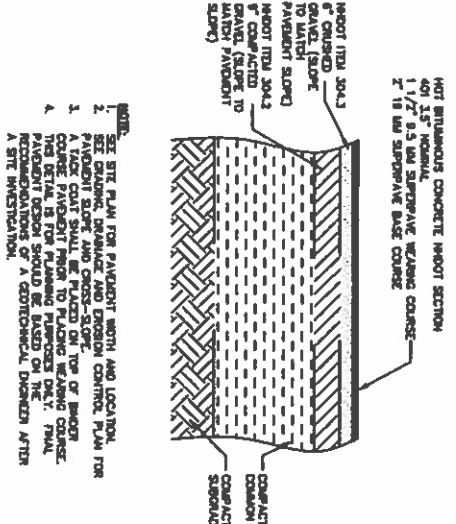
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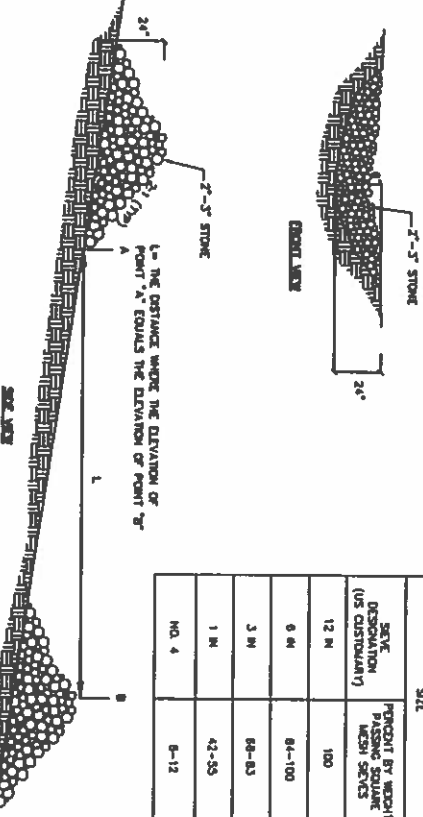
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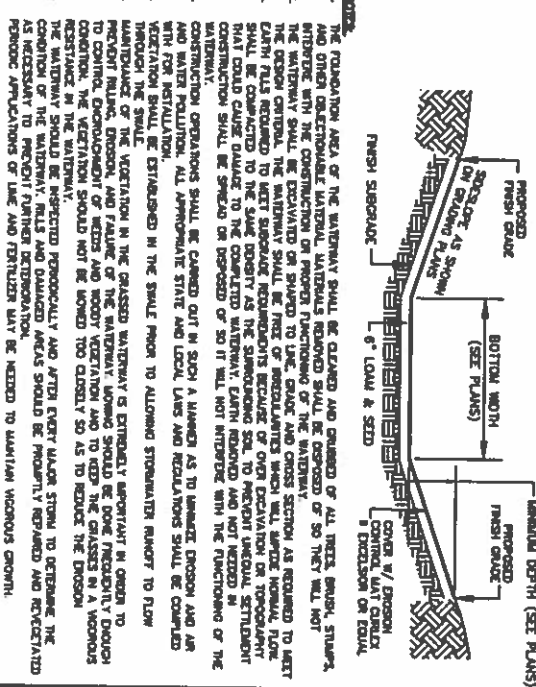
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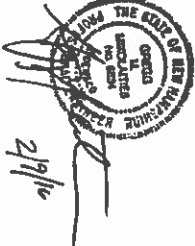


STONE CHECK DAM
NOT TO SCALE



GRASSSED SWALE
NOT TO SCALE





Proposed
Commercial
Development

Farmington
Associates, LLC

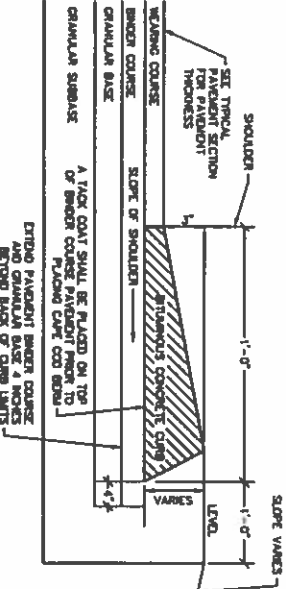
60 Farmington Road
(Route 11)
Rochester, NH

PROJECT NO.	W217
DATE	12/1/15
DRAWN BY	RYN
CHECKED	RYN
APPROVED BY	RYN

DETAILS SHEET

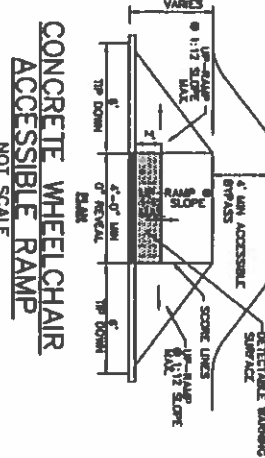
SCALE AS SHOWN

C-8



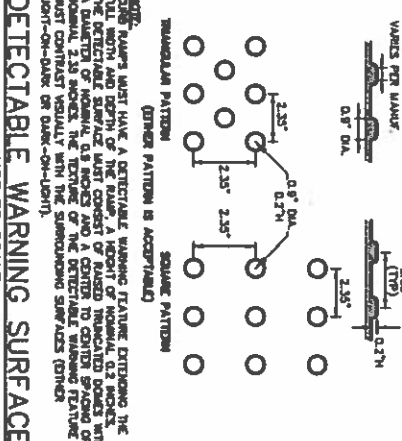
CAPE COD BERM

NOT TO SCALE



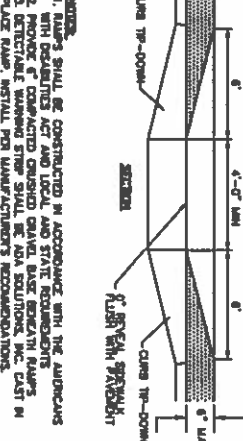
CONCRETE WHEELCHAIR
ACCESSIBLE RAMP

NOT SCALE



DETECTABLE WARNING SURFACE

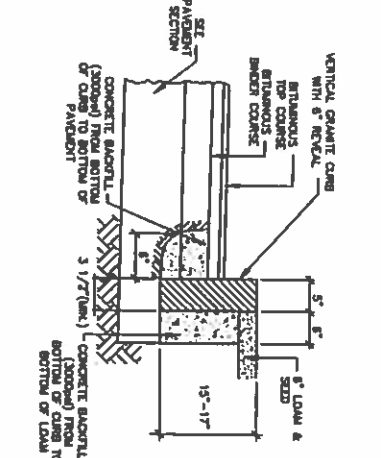
NOT TO SCALE



VERTICAL GRANITE CURB

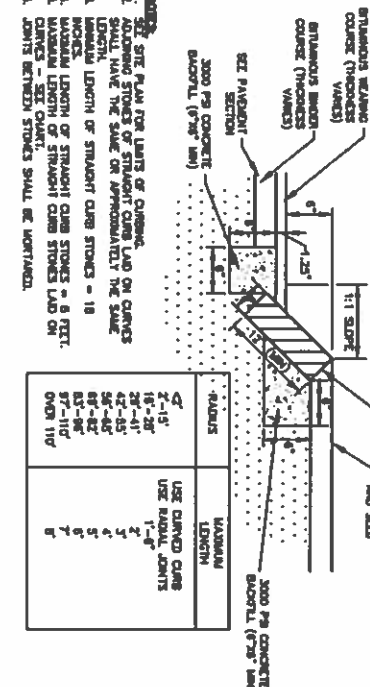
NOT TO SCALE

RADIUS	MAX. LENGTH
4'-0"	21'
2'-0"	21'
1'-0"	21'
0'-0"	21'
0'-0"	21'
0'-0"	21'
0'-0"	21'
0'-0"	21'
0'-0"	21'
0'-0"	21'



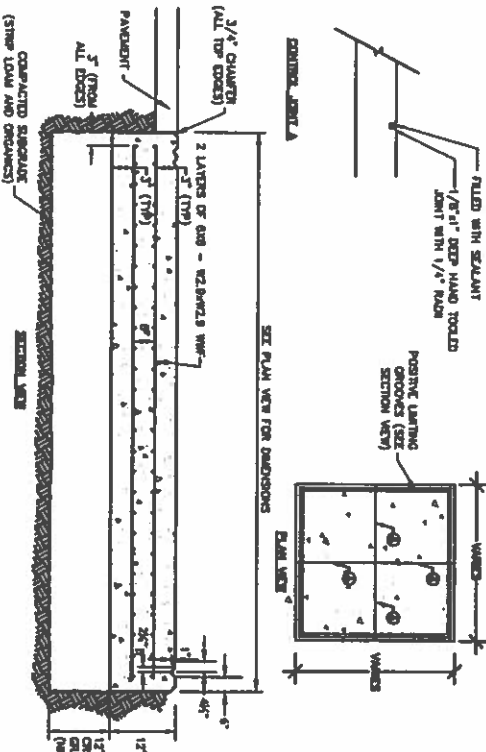
VERTICAL GRANITE CURB

NOT TO SCALE



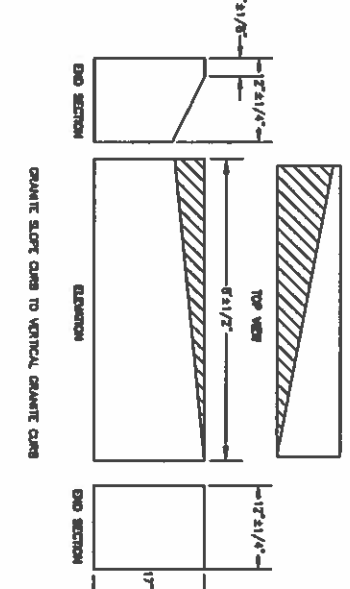
SLOPED GRANITE CURB

NOT TO SCALE



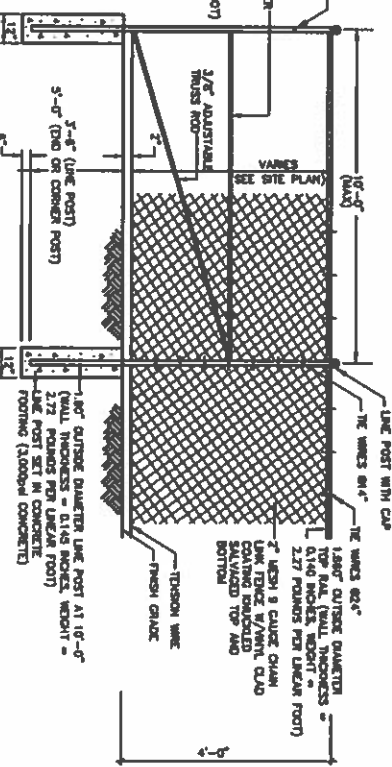
DUMPSITE PAD

NOT TO SCALE



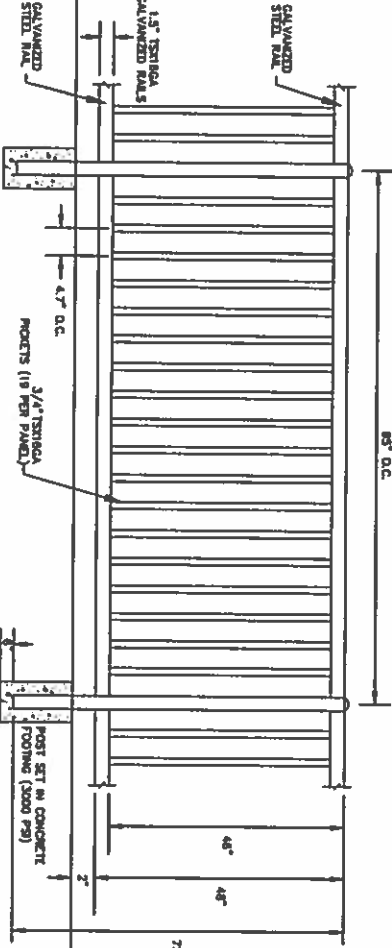
CURB TRANSITION

NOT TO SCALE



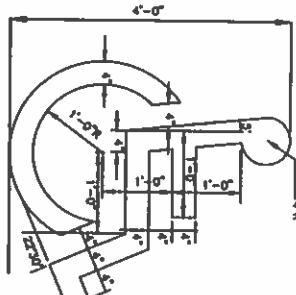
CHAIN LINK FENCE

NOT TO SCALE



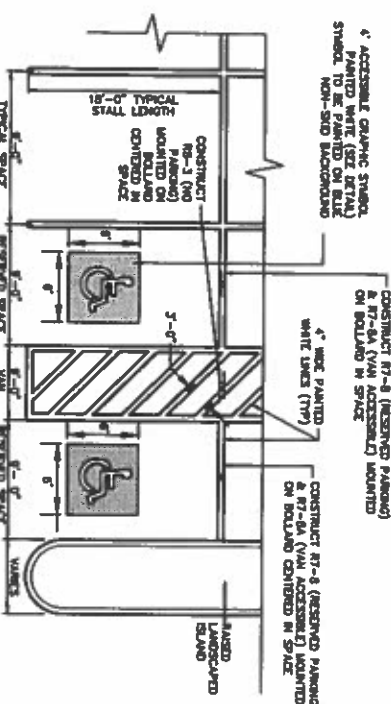
ORNAMENTAL FENCE

NOT TO SCALE



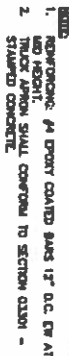
ACCESSIBLE SYMBOL

NOT TO SCALE

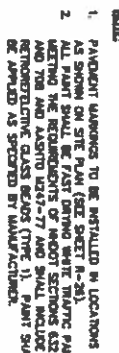


STALL STRIPING-SINGLE STRIPE

NOT TO SCALE



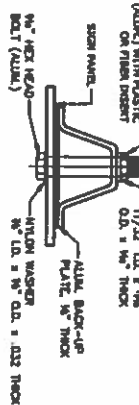
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

1.	8/20/2016	Revised per PG Comments
NAME	DATE	DESCRIPTION
PROJECT NO:		W2157
FILE:	W2157-C-DETAILS.DWG	
DATE:	1/24/2016	
DRAWN BY:	MD/DKL	
CHECKED:	KAM	
APPROVED BY:	GMM	

DETAILS SHEET

SCALE AS SHOWN

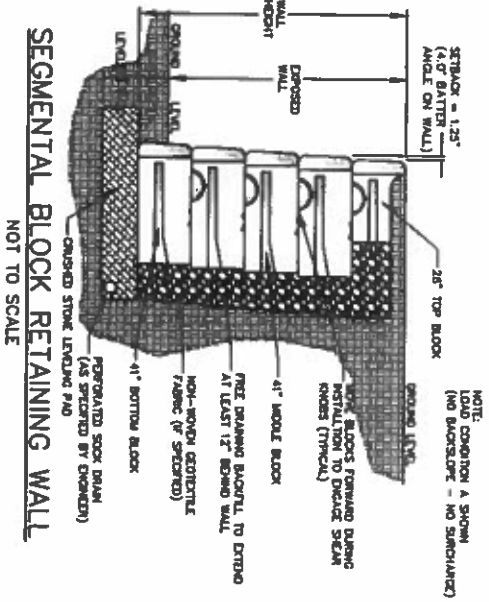
Proposed Commercial Development

**Farmington
Associates, LLC**

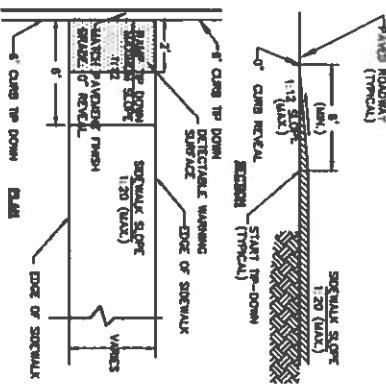
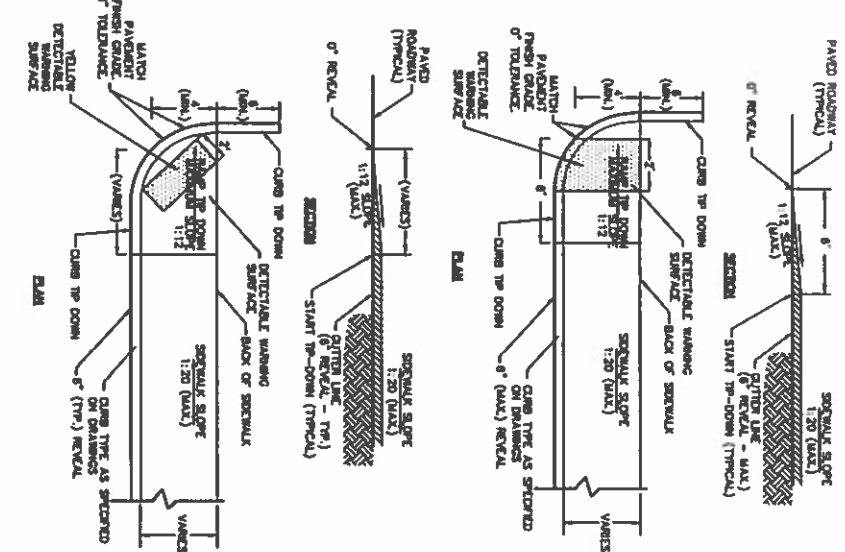
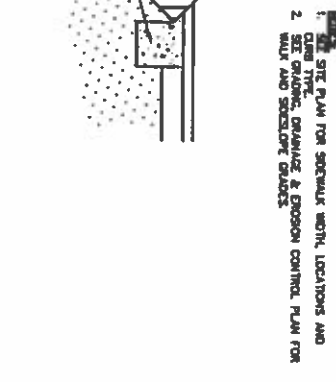
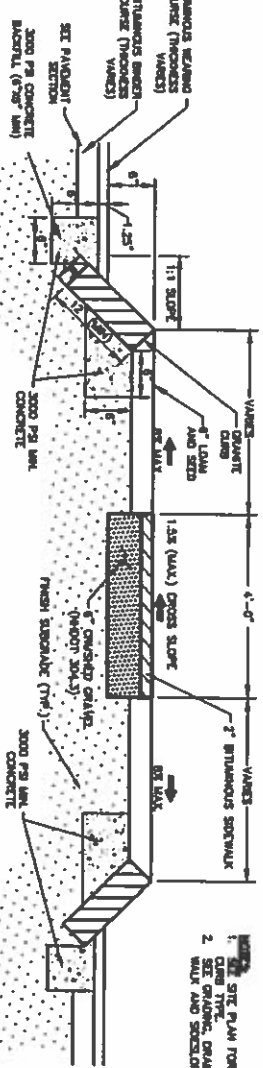
60 Farmington Road
(Route 11)
Rochester, NH

2-9-16

C-9

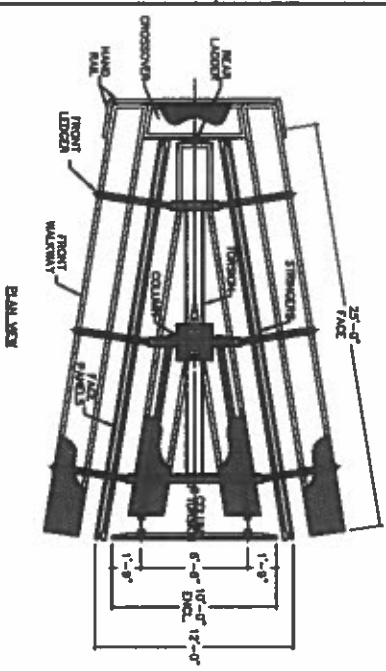


9. RETAINING WALL SITE:
RETAINING WALL SHALL BE BED ROCK OR APPROVED EQUIV.
10. THE CONTRACTOR SHALL SUBMIT DESIGN AND CALCULATIONS FOR THE RETAINING WALL THAT SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION:
11. GENERAL DESIGN PARAMETERS:
 - DESIGN SURFACE FACTOR OF SAFETY = 1.5
 - DRILLING FACTOR OF SAFETY = 1.5
 - SLIDING FACTOR OF SAFETY = 2.0
 - GEOTERM FRICTION FACTOR OF SAFETY = 1.5
12. WALL DESIGNS MUST CONSIDER EFFECTS OF SLOPE, TRAFFIC LOADS, BUILDING LOADS, CLIMATE AND/OR TRENCH AS REQUIRED.
13. WALL DESIGN ENGINEER SHALL CONSIDER HOIST AND SPECIAL SAFETY RAIL WHERE REQUIRED.
14. ALL INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION MANUAL, AND THE WALL DESIGN ENGINEER'S DESIGN PLANS AND SPECIFICATIONS. WHERE INFORMATION ON THESE PLANS CONFLICTS WITH THE MANUFACTURER'S RECOMMENDATIONS, THE MANUFACTURER'S RECOMMENDATIONS SHALL SUPERSEDE.
15. THE WALL DESIGN ENGINEER SHALL COMPLETE SATISFACTORY INSPECTIONS DURING CONSTRUCTION TO CERTIFY WORK IS COMPLETED IN ACCORDANCE WITH DESIGN.
16. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS OF WALL WITH WALL DESIGNER'S CERTIFICATION TO OWNER.
17. CONTRACTOR SHALL DIRECT SURFACE RUNOFF AWAY FROM THE WALL DURING CONSTRUCTION.
18. CONTRACTOR SHALL SUPPLY SKIDS TO THE OWNER FOR REMOVAL PRIOR TO WALL CONSTRUCTION.
19. ANY SURFACE DAMAGE, TREES, TREES GRADING, PAVEMENT OR OTHER SURFACE TREATMENT SHALL BE INSTALLED IN THE AREA OF THE WALL IMMEDIATELY AFTER THE WALL IS COMPLETE.
20. GEOTECHNICAL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT.
21. ALL WALLS & OR GREATER REQUIRE INSTALLATION OF A SAFETY RAIL.
22. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL AID HIGHWAY ACT AND LOCAL AND STATE REQUIREMENTS.
2. PROVIDE 3" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
3. DETECTABLE WARNING STRIP SHALL BE ADA COMPLIANT, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
4. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PERPENDICULAR TO THE WIDENED PORTION OF TRAVEL.

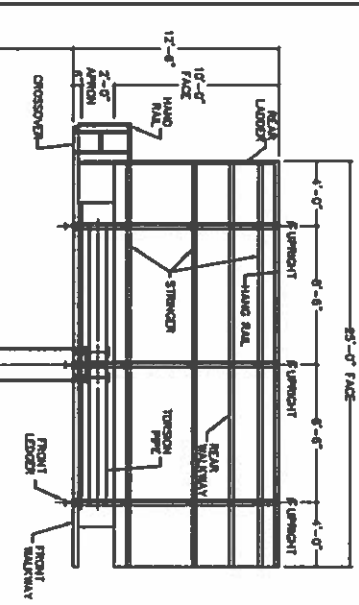
CONCRETE SIDEWALK TIP
DOWN RAMP
NOT TO SCALE



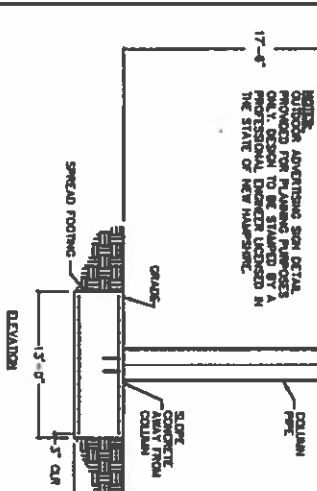
**Proposed
Commercial
Development**

**Farmington
Associates, Inc.**

**60 Farmington Road
(Route 11)
Rochester, NH**



NOTES:
OUTDOOR ADVERTISING SIGN DETAIL
PROVIDED FOR PLANNING PURPOSES
ONLY. DESIGN TO BE SUPPLIED BY A
PROFESSIONAL DESIGNER LICENSED IN
THE STATE OF NEW HAMPSHIRE.



OUTDOOR ADVERTISING SIGN

NOT TO SCALE

DATE	02/09/2018	Revised for PM Deliverables
PROJECT NO.	W217	DESCRIPTION
FILE	W217-C-ORTALS.DWG	
DESIGNED BY:	MM	
CHECKED BY:	MM	
APPROVED BY:	MM	
DATE	02/09/2018	

DETAILS SHEET

SCALE: AS SHOWN

C-10

2-9-16

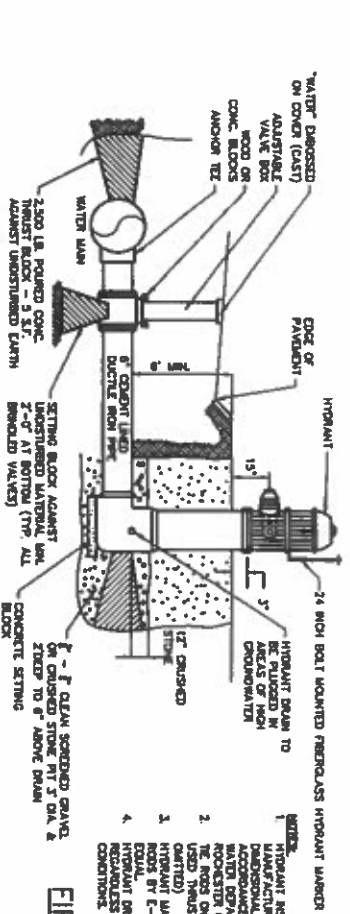
Proposed
Commercial
Development

Farmington
Associates, LLC

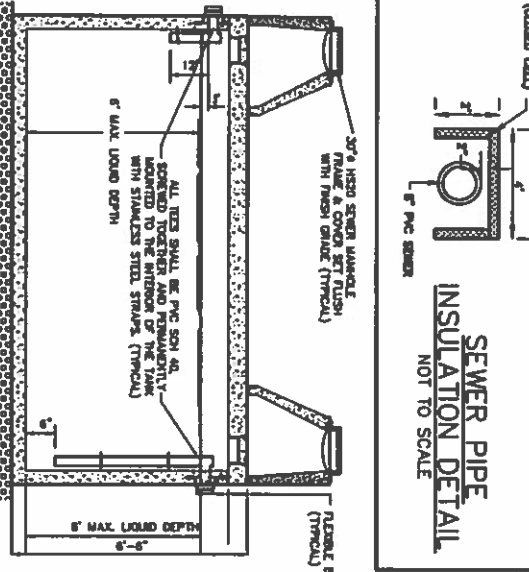
60 Farmington Road
(Route 11)
Rochester, NH

1	DATE	REVISION	BY	DATE
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3	12/2/2014	Revised by JN	W2157	
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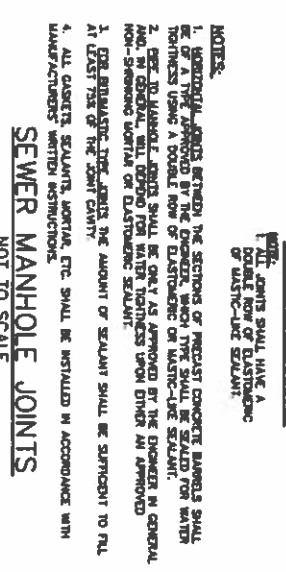
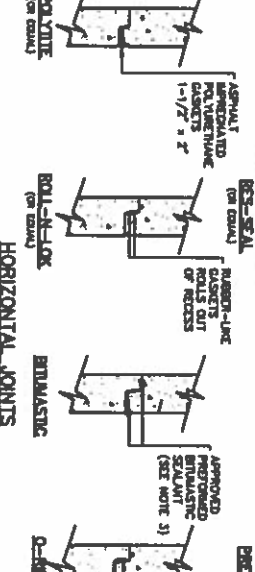
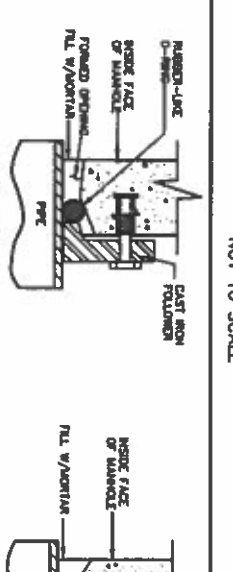
FIRE HYDRANT
NOT TO SCALE



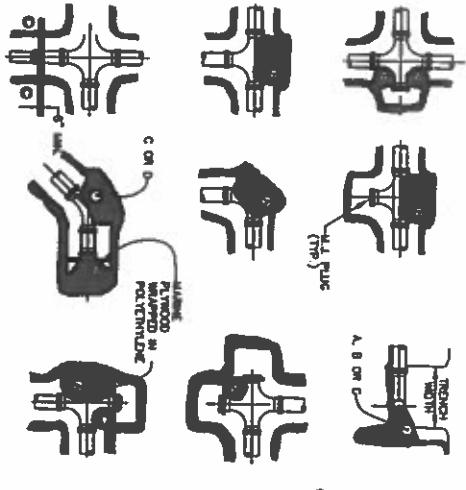
SEWER PIPE
INSULATION DETAIL
NOT TO SCALE



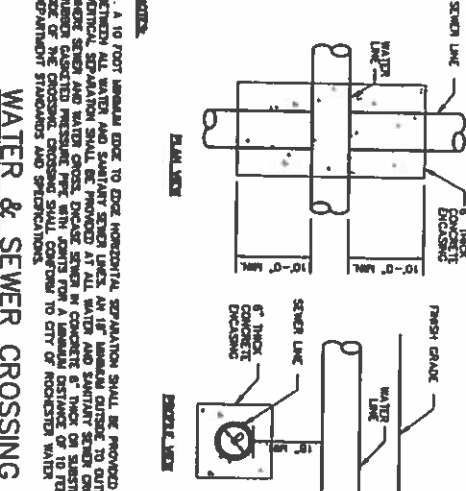
2,000 GALLON GREASE TRAP (TYP)
NOT TO SCALE



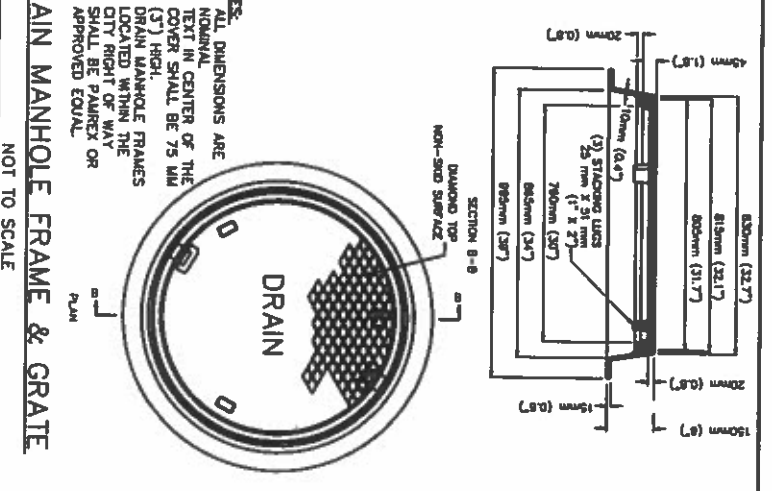
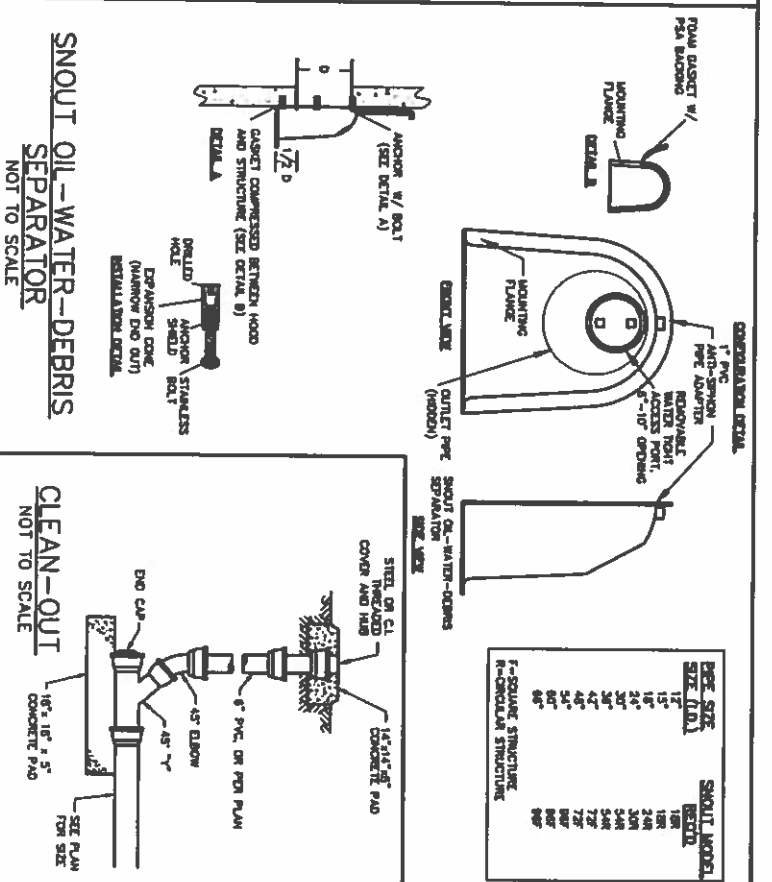
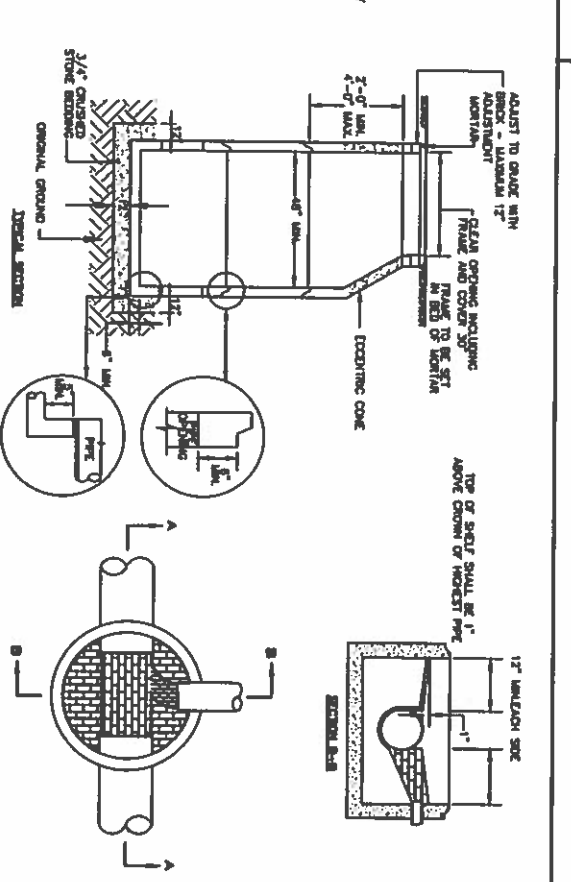
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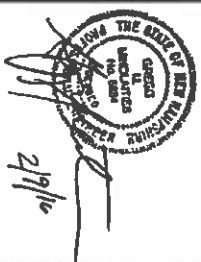


WATER & SEWER CROSSING
NOT TO SCALE



SEWER MANHOLE
NOT TO SCALE





2-9-16

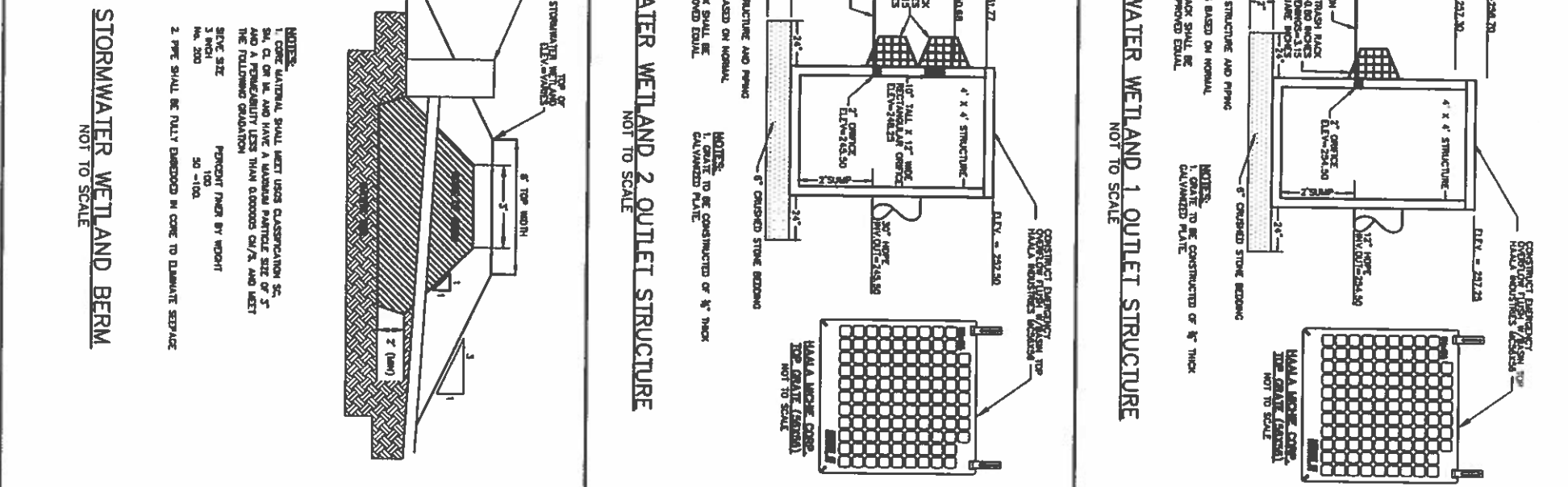
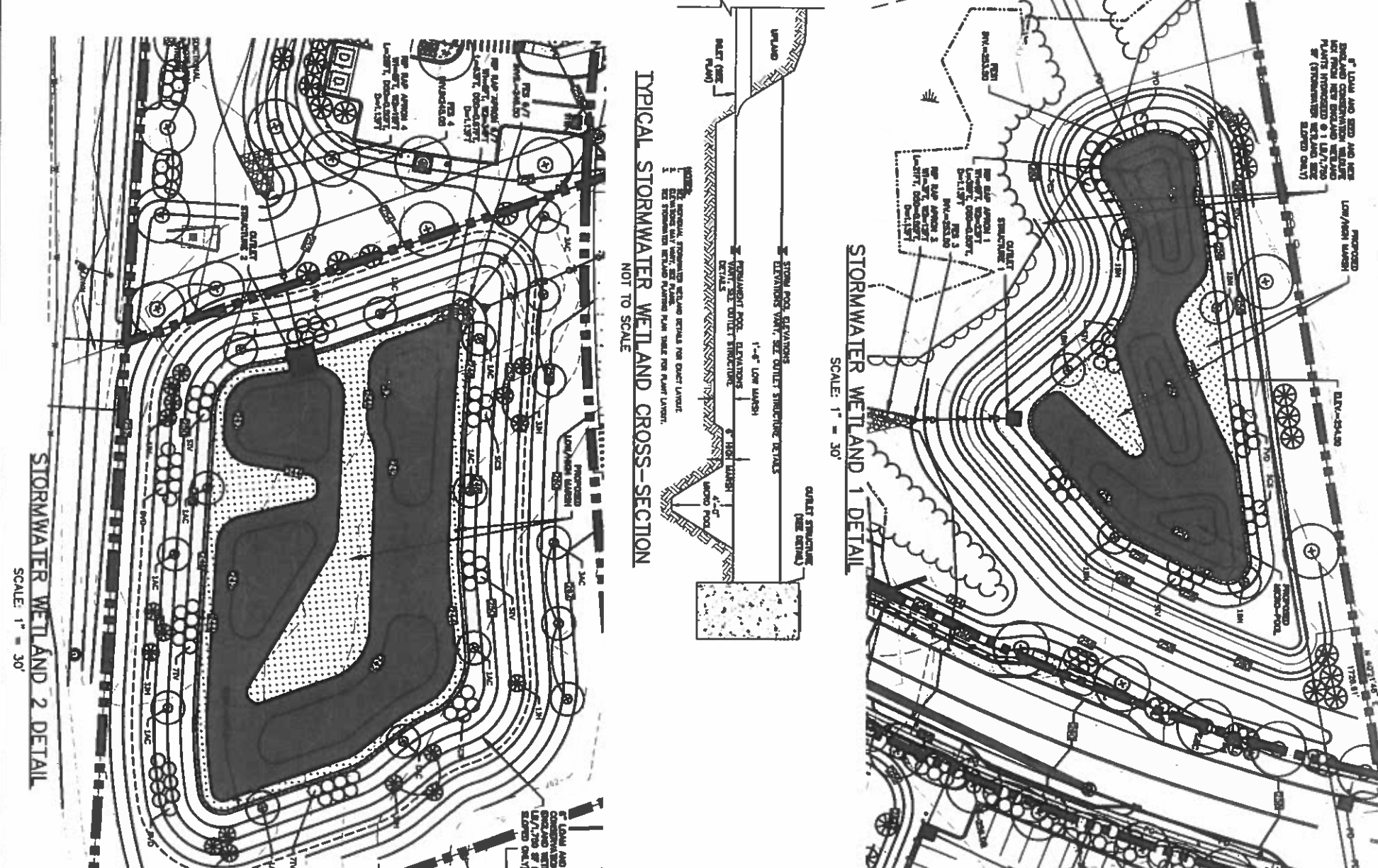
Proposed
Commercial
Development

Farmington
Associates, LLC
60 Farmington Road
(Route 11)
Rochester, NH

DETAILS SHEET	
SCALE: AS SHOWN	
C-13	
PROJECT NO:	W157
FILE:	W157-CORRELS.DWG
DATE:	1/24/2015
DRAWN BY:	RAM
CHECKED:	RAM
APPROVED BY:	GM

STORMWATER WETLAND #1			
PLANT SCHEDULE			
PLANT	QUANTITY	DESCRIPTION	REMARKS
1. BASS WOOD (FR. 200-250)	10	1" BASS WOOD	1" BASS WOOD
2. CORNUS STOLONIFERA	10	2" CORNUS STOLONIFERA	2" CORNUS STOLONIFERA
3. VERBENA SPICATA	10	2" VERBENA SPICATA	2" VERBENA SPICATA
4. BETA VULGARIS	10	2" BETA VULGARIS	2" BETA VULGARIS
5. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
6. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
7. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
8. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
9. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
10. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA

STORMWATER WETLAND #2			
PLANT SCHEDULE			
PLANT	QUANTITY	DESCRIPTION	REMARKS
1. BASS WOOD (FR. 200-250)	10	1" BASS WOOD	1" BASS WOOD
2. CORNUS STOLONIFERA	10	2" CORNUS STOLONIFERA	2" CORNUS STOLONIFERA
3. VERBENA SPICATA	10	2" VERBENA SPICATA	2" VERBENA SPICATA
4. BETA VULGARIS	10	2" BETA VULGARIS	2" BETA VULGARIS
5. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
6. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
7. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
8. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
9. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA
10. CYPRISSUS COCA	10	2" CYPRISSUS COCA	2" CYPRISSUS COCA



NOTES:

1. ALL DIMENSIONS ON THE OUTLET STRUCTURE AND PIPING SHALL BE BASED ON THE OUTLET STRUCTURE AND PIPING.
2. THE OUTLET STRUCTURE SHALL BE CONSTRUCTED OF 12" THICK GALVANIZED STEEL TRASH RACK SHALL BE CONSTRUCTED BY CONCRETE ON APPROVED EQUAL.

NOTES:

1. ALL DIMENSIONS ON THE OUTLET STRUCTURE AND PIPING SHALL BE BASED ON THE OUTLET STRUCTURE AND PIPING.
2. THE OUTLET STRUCTURE SHALL BE CONSTRUCTED OF 12" THICK GALVANIZED STEEL TRASH RACK SHALL BE CONSTRUCTED BY CONCRETE ON APPROVED EQUAL.



DETAILS SHEET

SCALE: AS SHOWN

**Farmington
Associates, LLC**
60 Farmington Road
(Route 11)
Rochester, NH

2-9-16



Proposed Commercial Development

**Farmington
Associates, LLC**

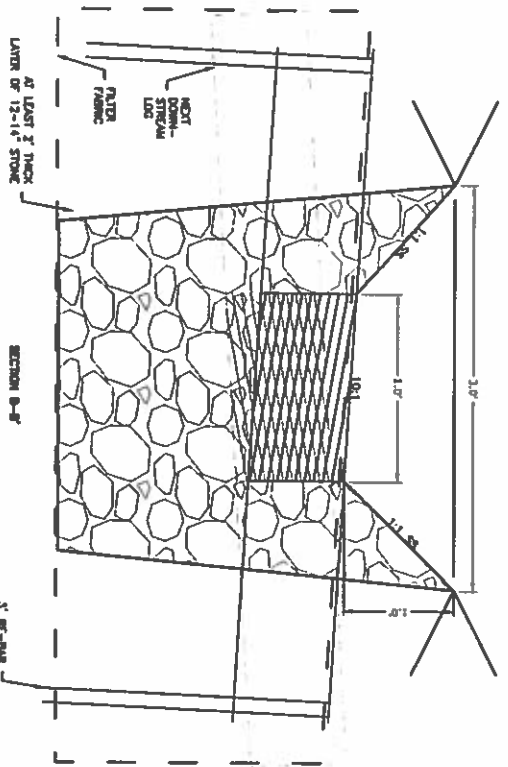
**60 Farmington Road
(Route 11)
Rochester, NH**

DATE:	02/04/2016	Reported by: JG Cummings
FILE:	W2157-C-DEALS.DWG	W2157
PROJECT NO.:	1/18/2016	
APPROVED BY:	JGCM	
APPROVED BY:	JGCM	

DETAILS SHEET

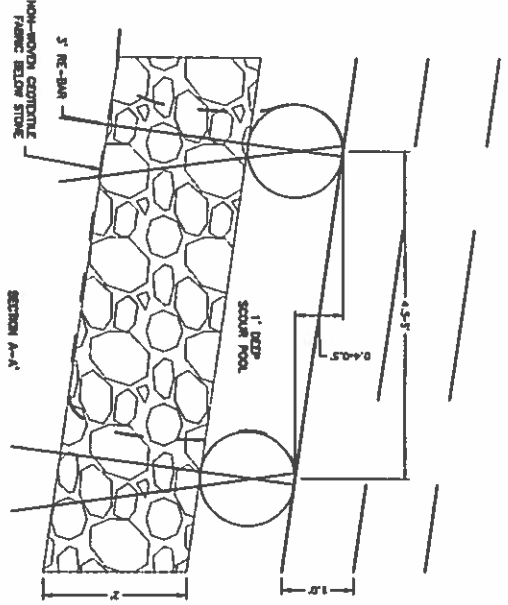
AS SHOWN

5



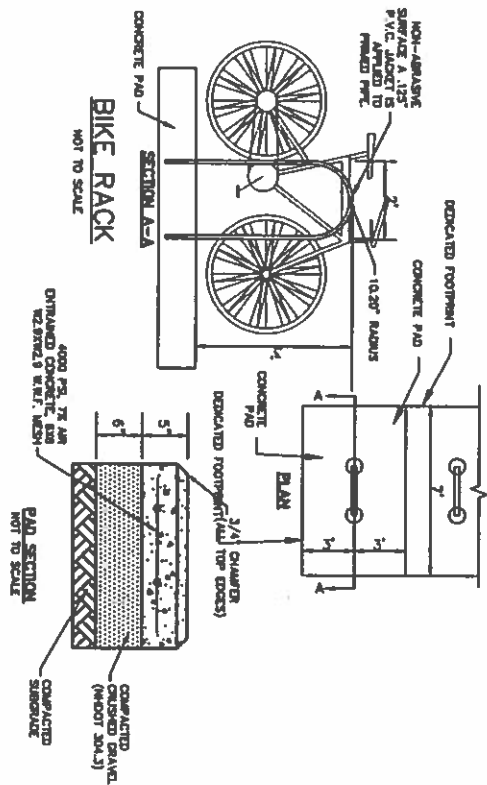
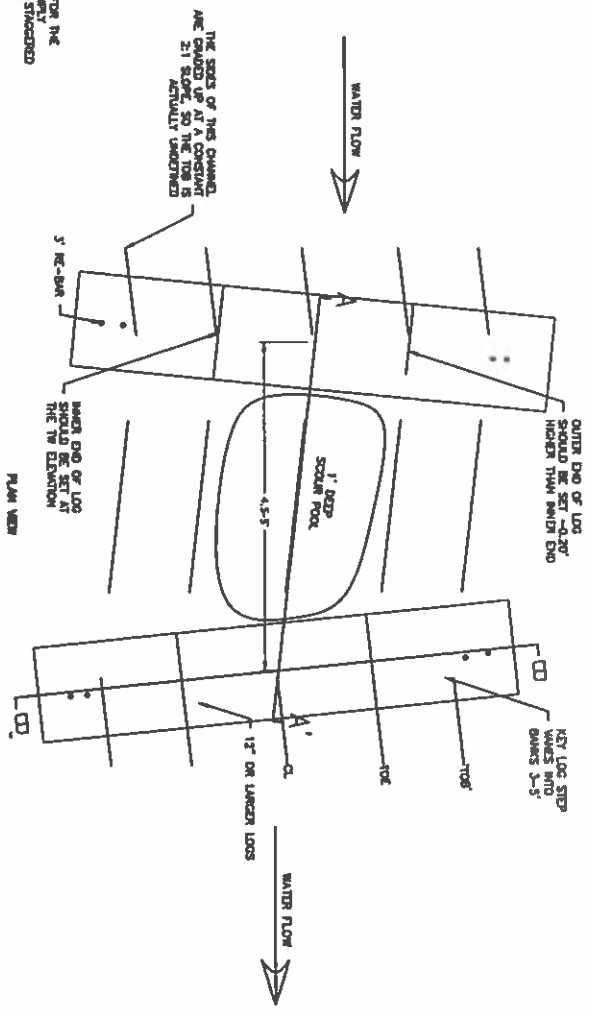
LOG STEP VANE

NOT TO SCALE



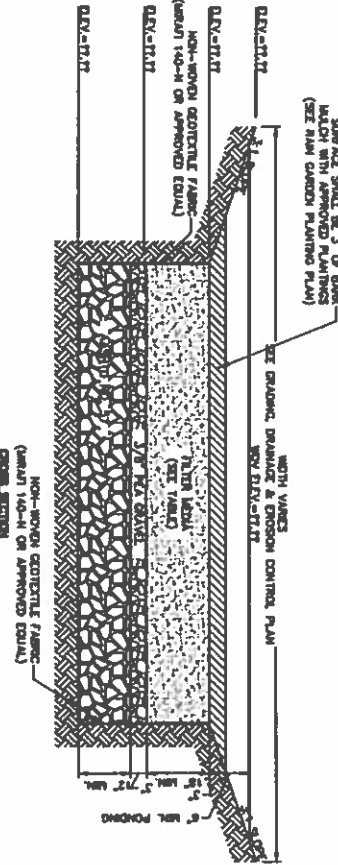
NOTE: THIS DETAIL SHOULD SERVE AS A GUIDELINE FOR CONSTRUCTION OF THE STRUCTURE. THIS DETAIL IS SHOWN FOR THE MOST COMMON SITUATION OF AN INTERSECTION WITH ONE STREET BEING STOPPED AT A SIGNAL. OTHER SITUATIONS MAY BE ENCOUNTERED AS SHOWN IN THE FOLLOWING SECTION, OR SHORTESTED TO SIMILAR AS INDICATED BY THE DETAIL.

FROM APPROVED STATION 8+20 TO 8+71, THE TYPE C CHANNEL SHOULD DROP 0.4' WITH A LOS STEP WALK EVERY 5' FOR AN ADJACENT CHANNEL, SIDE OF CUTS FROM STATION 6+79 TO +4+08 THE CHANNEL SHOULD DROP 0.3' WITH A LOS STEP WALK EVERY 5' FOR AN ADJACENT CHANNEL, SIDE OF CUTS FROM STATION 4+08 TO 3+11.52.

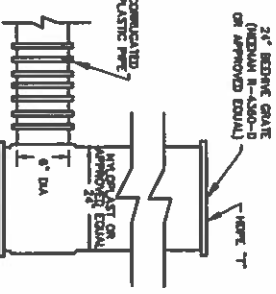


RAIN GARDEN DETAIL

NO SCALE

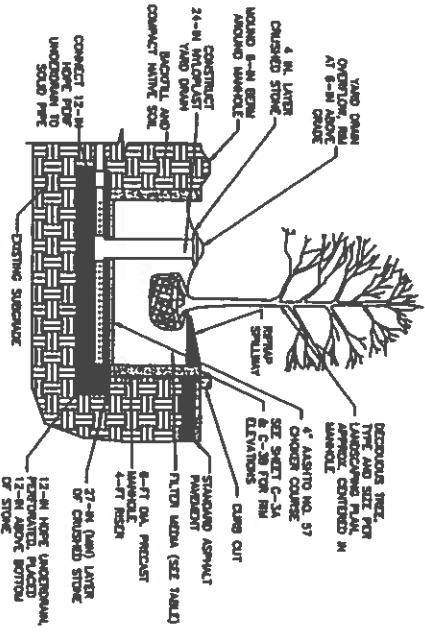


DIEZEL FUEL CONCENTRATIONS	
COMPONENT MATERIAL	PERCENT BY WEIGHT
ASTM D-25 COCKBOLT SAND	50-55
ASTM D-25 COCKBOLT SAND	20-30
LOOSLY SAND TOPSOIL	20-30
WATER	10-15
WAX OR FOOD COLOR MATCH	5 WAX

[illegible]

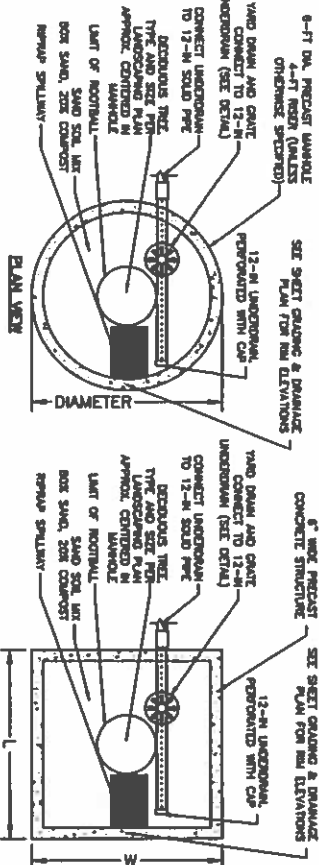
NOTE:
SEE SITE GRADING, DRAINAGE, AND EROSION
CONTROL PLAN FOR LOCATIONS AND ELEVATIONS.

YARD DRAIN
NOT TO SCALE



NOTES:

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RAVINE, WATER FROM EXCAVATIONS) TO THE TRILL BOX FILTER DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TREAT OR COLLECT DEPOSED SOIL, SURFACE WITHIN THE AREA OF THE FILTER WITH CONSTRUCTION EQUIPMENT, PERFORM EXCAVATION FOR THE CONSTRUCTION OF THIS DRAIN WITH COMPONENT POSITIONED OUTSIDE THE LIMITS OF THE SITE/LOT.

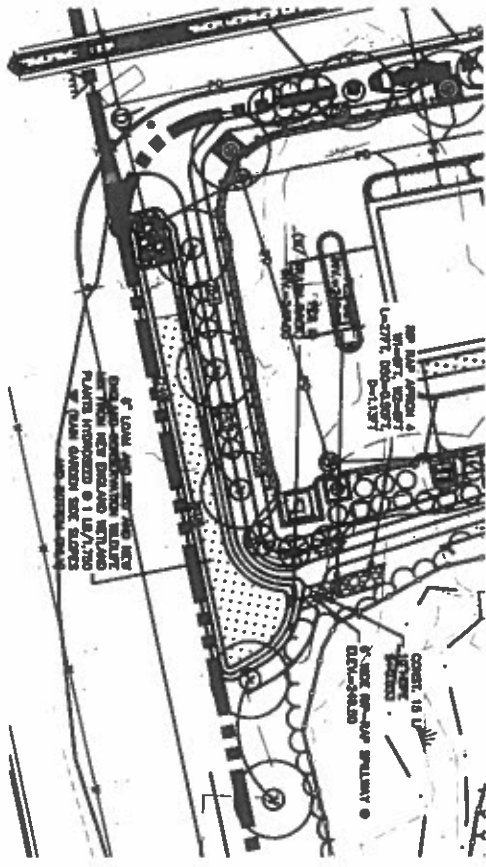


TREE BOX FILTER MEDIA		
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	REQUIRED MATERIAL CHARACTERISTICS
SAND	80	ASTM C-33 CONCRETE SAND
ORGANIC MATERIAL, COMPOSTED BARK MULCH RECOMMENDED	20	< 36 PASSING #200 SIEVE

1. SOIL LAYER SHOULD BE UNWASHED, FREE OF STONES, STUMPS, ROOTS, OR SILTAR
 2. MULCH SHOULD BE FINELY CHIPPED, MAXIMUM SIZE 1/2 INCH, 4.75

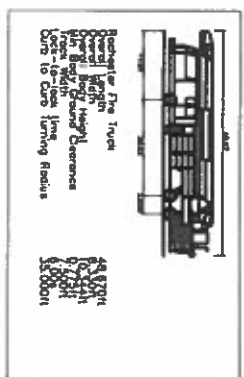
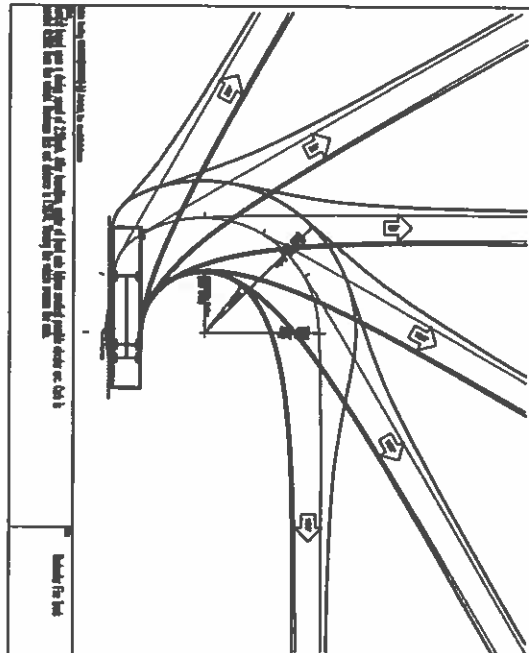
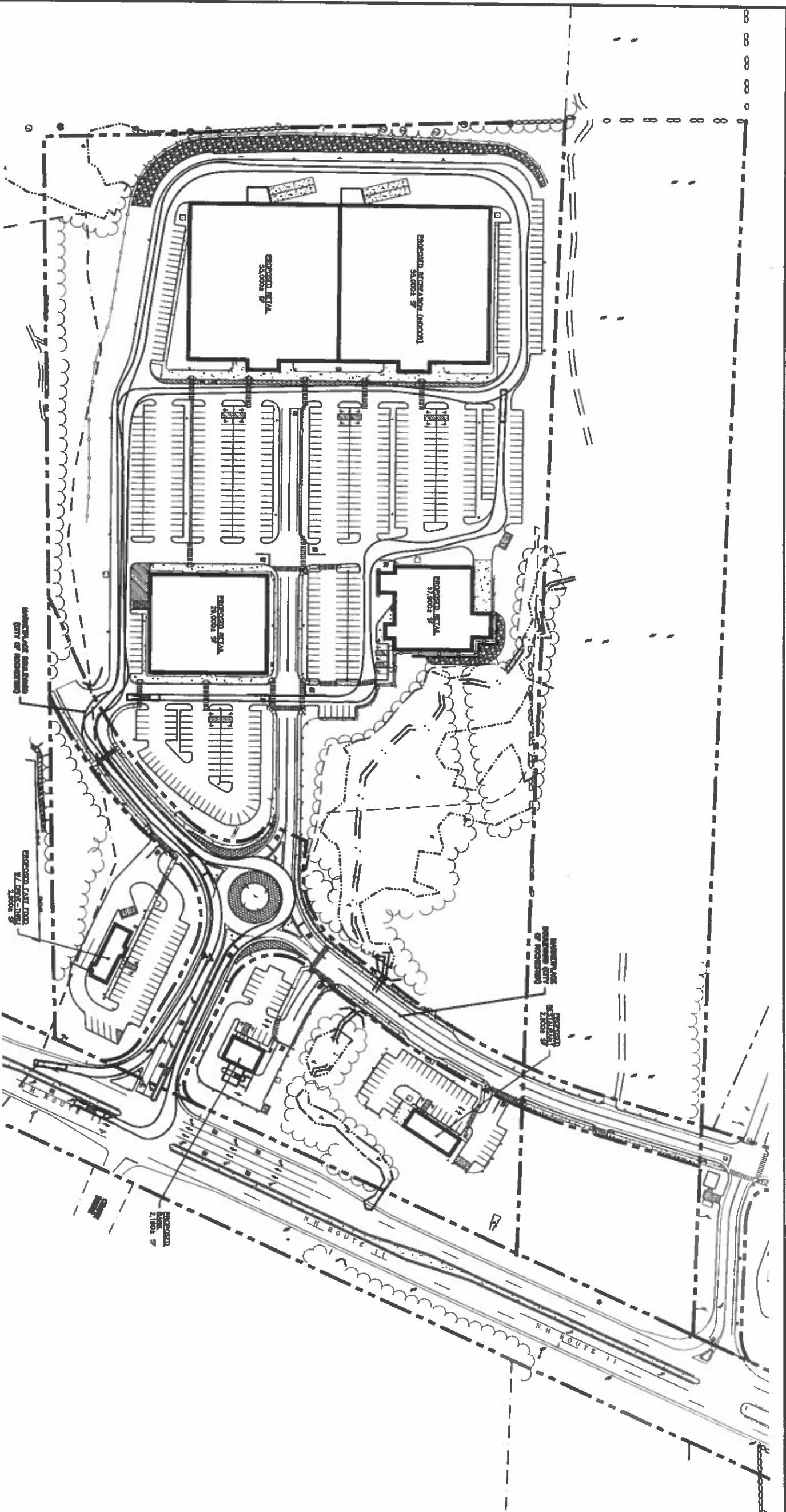
TREE BOX FILTER

NOT TO SCALE

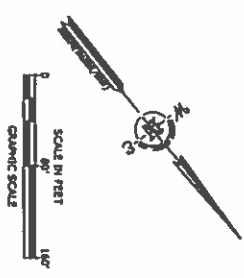


LOG STEP VANE

NOT TO SCALE



FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____



Tighe & Bond
www.tighebond.com

2/9/16

Proposed Commercial Development

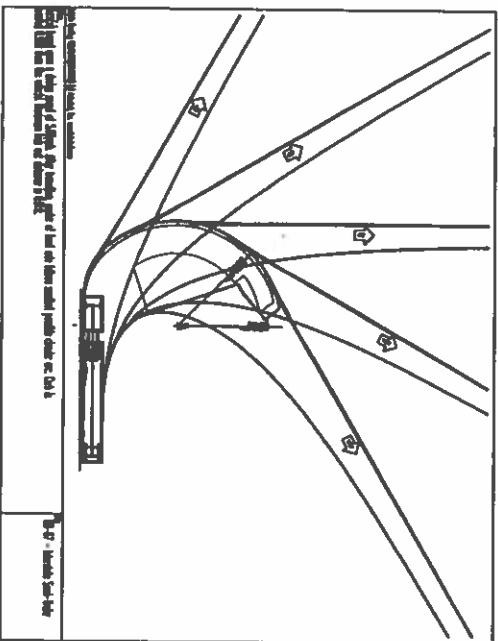
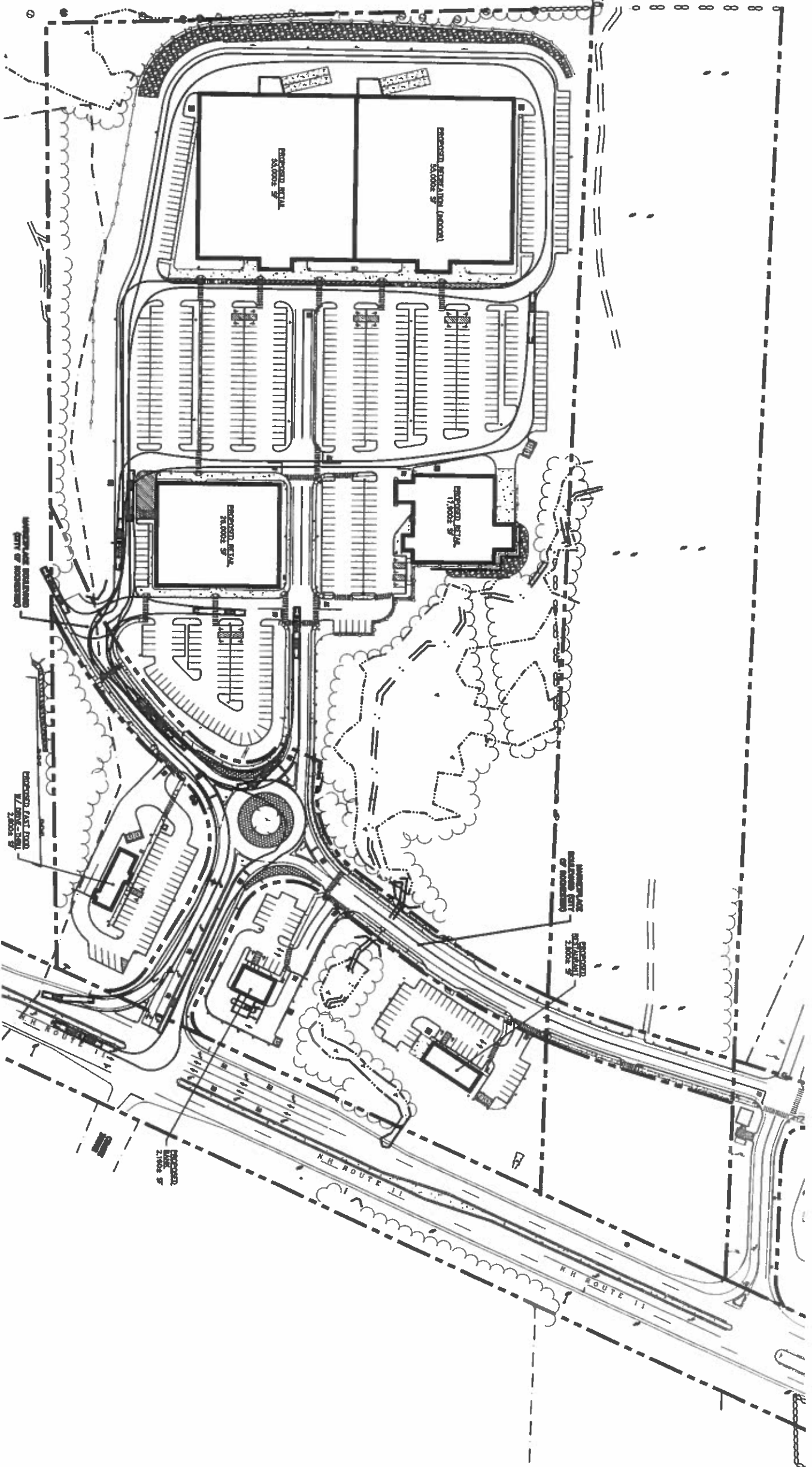
**Farmington
Associates, LLC**
60 Farmington Road
(Route 11)
Rochester, NH

1.	02/09/2018	Internal Per Peg Comments
NAME	DATE	DESCRIPTION
PROJECT NO:	W2157	W2157
FILE:	W2157_A-RTG-2018	
DATE:	1/29/2018	
DRAWN BY:	REYDOL	
CHECKED:	KAM	
APPROVED BY:	GMAH	

FIRE TRUCK TURNING

SCALE: AS SHOWN

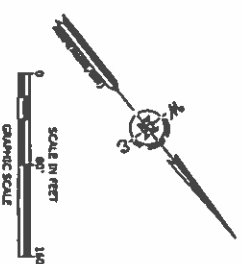
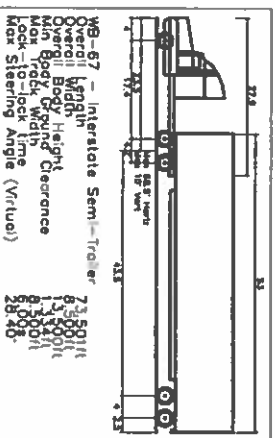
C-16



FINAL APPROVAL BY ROCHESTER PLANNING BOARD

By

DATE _____



Tighe & Bond
www.tighebond.com

www.tighthead.com

Proposed Commercial Development

**Farmington
Associates, LLC**

60 Farmington Road
(Route 11)
Rochester, NH

2-9-16

TRUCK TURNING PLAN

SCALE: AS SHOWN

C-17

