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## **Project Narrative**

### **Norway Plains Road Subdivision – Ekimbor, LLC**

**Date: August 12, 2016**

#### **Existing Conditions:**

Fifteen Norway Plains Road is a 5.39 acre lot in the northern part of Rochester, NH. The lot contains a single family home, a cabinet shop and three small sheds. The lot is bounded by the Northcoast Corporation Rail Road property to the east, a residential apartment complex to the north, and Norway Plains Road to the west. The lot slopes from north to south and is primarily wooded.

The site does contain two small wetland areas. However, the wetlands total less than one half acre and thus do not fall under the conservation overlay district.

#### **Project Description:**

Since the Applicant last appeared before the Planning Board on August 1<sup>st</sup>, the Applicant appeared before the Rochester Zoning Board of Adjustment seeking a variance for increase lot density. The requested variance was granted allowing 5,452 sf of lot area per dwelling unit on Lot 1 of the proposed subdivision in lieu of the required 7,500 sf per dwelling unit.

Based on the Zoning Board's decision, the Applicant has significantly revised the proposed design to incorporate suggestions from the Planning Department, Planning Board and the Zoning Board.

A major change from the previously submitted design is that the proposed subdivision of 15 Norway Plains Road now consists of the creation of just two (2) individual residential lots instead of the previously proposed 12. In addition, the Interior Loop Road is now proposed to be a privately owned and maintained street. This means that snow removal, refuse and recycling pick up and maintenance will be the responsibility of the property owner or development's association.

As was previously proposed, the existing cabinet shop and three sheds would be removed while the single family home would be saved. The project does propose to convert the single family home to a duplex at this time.

The lot for the single family home would be approximately 16,660 sf in area which is greater than the 9,000 sf required for a duplex. The remaining land would be subdivided into a single lot approximately 218,112 sf in area. This larger lot would be developed into a multifamily development as allowed in the R-2 district.

The proposed multifamily development will be comprised of ten (10) four (4) unit townhouses for a total of forty (40) units. Including the forty (40) units of the multifamily development and the two (2) units in the proposed duplex, the proposed project would have a total of forty-two (42) units.

Each unit in the townhouses will be restricted to two (2) bedrooms per the Zoning Board's August 10, 2016 decision. Including the four (4) bedrooms in the existing single family home, the proposed project would have a total of 84 bedrooms. The preliminary layout of the development and a dimensional breakdown for each lot has been provided on the enclosed Site Plan (Sheet C-101).

The parking for the development will consist of individual driveways and a garage for each unit. These spaces have been shown and noted on the enclosed Site Plan (Sheet C-101).

The proposed townhouses will be serviced by a network of underground utilities (sewer, water, electric, and communication). In addition, the townhouses will be provided with underground propane tanks. The preliminary layout for the underground utilities has been shown on the enclosed Utilities Plan (Sheet C-103).

Since the project will disturb greater than 100,000 sf of contiguous area, the project will require Alteration of Terrain approval from the NHDES. Thus the stormwater treatment practices that will be designed will be done so in accordance with NHDES regulations. A preliminary stormwater layout has been provided in the enclosed Grading Plan (Sheet C-102).

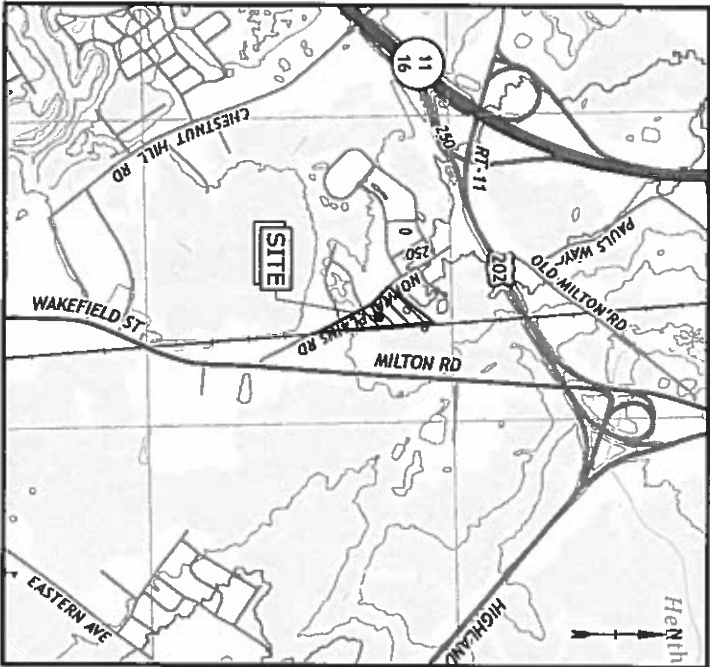
The proposed development will have a landscape designed by a NH Licensed Landscape Architect familiar with the City's regulations and native NH species. A preliminary layout that shows locations of deciduous street trees, evergreen trees, shrubs and plantings used for screening has been provided on the enclosed Landscape Plan (Sheet L-101).

The Applicant has provided a preliminary Photometrics Plan (Sheet E-101) that shows the layout for proposed street lighting as well as a fire truck turning plan to show the maneuverability of a Rochester Fire Truck around the development (Sheet F-101).

The project does not propose any impacts to the wetland areas.

PROPOSED SUBDIVISION  
PRELIMINARY DESIGN REVIEW  
15 NORWAY PLAINS ROAD  
ROCHESTER, NH  
(TAX MAP 215 LOT 17)  
AUGUST 12, 2016

LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
	COVER
G-001	GENERAL NOTES, LEGEND AND ABBREVIATIONS
G-002	EROSION CONTROL NOTES SHEET
1 OF 1	EXISTING CONDITIONS
V-101	EXISTING CONDITIONS AND DEMOLITION PLAN
C-101	SITE PLAN
C-102	GRADING PLAN
C-103	UTILITIES PLAN
L-101	LANDSCAPE PLAN
C-501	DETAILS SHEET
C-502	DETAILS SHEET
C-503	DETAILS SHEET
C-504	DETAILS SHEET
F-101	FIRE TRUCK TURNING PLAN
E-101	PHOTOMETRICS PLAN



PREPARED BY:  
**Tighe&Bond**  
www.tighebond.com

SURVEYOR:  
North Easterly Surveying, Inc.  
191 State Road, Suite 1  
Kittery, ME 03904

PREPARED FOR:  
Ekimbor, LLC  
2637 East Atlantic Blvd.  
Pompano Beach, FL 33062

OWNER:  
The Estate of Bruce J. Roberts  
15 Norway Plains Road  
Rochester, NH 03868

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COMPLETE SET 15 SHEETS  
FOR MORE INFORMATION CONTACT:  
THE CITY OF ROCHESTER PLANNING DEPARTMENT AT (603) 335-1338

- GENERAL NOTES:**
1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE SURVEYOR OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
  2. COORDINATE ALL WORK WITHIN NORWAY PLAINS ROAD WITH THE CITY OF ROCHESTER.
  3. CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
  4. CONTRACTOR TO SUBMIT AS BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE CITY OF ROCHESTER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CONFORM TO THE CITY OF ROCHESTER STANDARDS.
  5. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISHED GRADE.
  6. SEWAGE MAINS, SANITARY SEWERS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEWERAGE DEPARTMENT SHALL BE RELOCATED TO THE CITY OF ROCHESTER.
  7. SEE NORTH EASTERLY SURVEYING, INC. "EXISTING CONDTION'S PLAN" - PREPARED BY NORTH EASTERLY SURVEYING, INC. ON JUNE, 22, 2016 FOR BENCHMARK INFORMATION.
  8. CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON-SITE AT ALL TIMES.
  9. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER, AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
  10. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF ROCHESTER STANDARDS.
  11. APPROXIMATE TREELINE DETERMINED BY AERIAL PHOTOGRAPH FROM JANUARY 2010.

- DEMOLITION NOTES:**
1. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
  2. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
  3. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ARE ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE. ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE. ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE. ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE.
  4. ALL DEMOLITION WORK SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. DEMOLITION ACTIVITIES SHALL BE REFINISHED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  5. SAWCUT AND REMOVE PAVEMENT ONE FOOT OF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ADJUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
  6. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
  7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES WITHIN THE WORK LIMITS SHOWN AND CALLED OUT TO BE REMOVED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO: PAVEMENT, PROCESSED ROCK FILL, CATCH BASINS, UNDERGROUND PIPING, SIGNS, TREES, AND SHRUBS. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE EXISTING FEATURES THAT MUST BE REMOVED TO COMPLETE THE WORK BUT ARE NOT CALLED OUT TO BE REMOVED ON THE DEMOLITION PLANS. EXISTING FEATURES CALLED OUT TO BE REMOVED BUT NOT ARE LOCATED OUTSIDE THE LIMIT OF WORK SHALL BE DEMOLISHED BY THE DEVELOPER'S SITE CONTRACTOR. ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE. ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES WITH PERMANENT SOLUTIONS IN ITS PLACE.
  8. ALL DEMOLITION WORK SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. DEMOLITION ACTIVITIES SHALL BE REFINISHED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  9. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.
  10. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
  11. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

- SITE NOTES:**
1. STOP BARS SHALL BE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
  2. STOP BARS SHOWN ON PAVEMENT MARKINGS, SIGNS, AND SIGN POSTS.
  3. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH BS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  4. ALL WORK SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
  6. ALL SIGNS SHALL CONFORM WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS, AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
  7. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

**GRADING AND DRAINAGE NOTES:**

1. COMPACTION REQUIREMENTS	95%
BELOW PAVED OR CONCRETE AREAS	
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM 2922.

2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL) OR MCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
  3. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING THE BUILT. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH 4" SLINGS.
  4. ALL DRAINAGE PIPE WITH LESS THAN 4" OF COVER SHALL BE INSULATED WITH 2" INCH RIGID FOAM INSULATION.
  5. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4' FT IN DIAMETER UNLESS OTHERWISE NOTED.
  7. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (HDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- UTILITY NOTES:**
1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
  - SEWER/WATER/DRAINAGE: CITY OF ROCHESTER
  - ELECTRIC: EVERSOURCE ENERGY (FORMERLY PSMH)
  - TELEPHONE/DATA: METROCAST AND/OR FAIRPOINT
  2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CENTER LINE DUCTILE IRON PIPE
  3. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CENTER LINE DUCTILE IRON PIPE
  4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
  5. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF ROCHESTER STANDARDS.
  6. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
  7. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

8. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, UTILITIES COMPLETE AND OPERATIONAL.
9. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES, AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
10. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER.
11. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF ROCHESTER.
12. ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN UNPAVED AREAS AND LESS THAN 6' OF COVER IN PAVED AREAS SHALL BE INSULATED.
13. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH EVERSOURCE AND FAIRPOINT COMMUNICATIONS.

**LANDSCAPE NOTES:**

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP. PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED DRIVE OR THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PLANTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRAFTS, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

**EXISTING DRAINAGE AND SEWER STRUCTURE TABLE**

	S.M.N. #1	S.M.N. #2	S.M.N. #3	S.M.N. #4	S.M.N. #5	C.B. #1	C.B. #2	C.B. #3	C.B. #4	C.B. #5
SIZE	36" DIA.	36" DIA.	36" DIA.	36" DIA.	36" DIA.	24" DIA.	24" DIA.	24" DIA.	24" DIA.	24" DIA.
RUM ELEVATION	248.95	244.20	240.80	238.60	239.85	240.45	239.55	239.15	238.05	237.25
SOUP	239.75	237.40	233.95	232.00	230.95	227.90	233.50	233.00	234.00	233.45
PIPE "A"	TYPE	10" P.V.C.	10" P.V.C.	10" P.V.C.	10" P.V.C.	12" C.P.P.	12" C.P.P.	12" C.P.P.	12" C.P.P.	14" R.C.P.
PIPE "B"	TYPE	10" P.V.C.	10" P.V.C.	10" P.V.C.	10" P.V.C.	12" C.P.P.	12" C.P.P.	12" C.P.P.	12" C.P.P.	12" C.P.P.
PIPE "C"	TYPE	10" P.V.C.	10" P.V.C.	10" P.V.C.	10" P.V.C.	12" C.P.P.	12" C.P.P.	12" C.P.P.	12" C.P.P.	12" C.P.P.

**SOIL DELINEATION NOTES:**

A SITE SPECIFIC SOIL SURVEY WAS PREPARED ON JUNE 29, 2016, BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE #10, JANUARY 2011.

THE SOIL DELINEATION WAS CONDUCTED WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFORMATION REQUIREMENTS BY THE HOUSE (ALTERATION OF DEEDS) BUREAU, CONSERVATION SERVICE. A REPORT HAS BEEN PREPARED THAT ACCOMPANIES THIS SOILS DELINEATION.

**SOIL LEGEND**

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
89	CHATFIELD, FINE SANDY LOAM	B
89	CHATFIELD, FINE SANDY LOAM	B
500	NEWFIELDS, FINE SANDY LOAM	B (ESTIMATED)
546/P	WADSWORTH, FINE SANDY LOAM	D (ESTIMATED)
600/P	WADSWORTH, FINE SANDY LOAM	D (ESTIMATED)

**TEST PNT DATA**  
TEST PNTS CONDUCTED BY GOVE ENVIRONMENTAL SERVICES ON 5/17/16. TEST PNTS WERE LOGGED BY JIM GOVE AND VIEWED BY ROBERT GRAHAM OF EKHOROL, LLC.

#1	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-12"	10YR3/2	LS	GR	FR	
	12-24"	10YR5/4	LS	GR	FR	
	24-50"	2.5Y5/3	S	SG	L	7.5Y5/6 C/P
	REFUSAL AT 50"	ESHWAT AT 24"	OBSERVED WATER	42"		
#2	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-6"	10YR3/2	FSL	GR	FR	
	6-24"	10YR4/6	FSL	GR	FR	
	22-55"	2.5Y5/3	LS	OM	FR	7.5Y5/6 C/P
	REFUSAL AT 55"	ESHWAT AT 22"	OBSERVED WATER	50"		
#3	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-9"	10YR3/2	LS	GR	FR	
	9-23"	10YR5/4	LS	GR	FR	
	23-67"	2.5Y5/3	FSL	OM	FR	5Y5/6 C/P
	REFUSAL AT 67"	ESHWAT AT 23"	OBSERVED WATER	60"		
#4	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-12"	10YR3/2	FSL	GR	FR	
	12-19"	2.5Y5/3	FSL	GR	FR	
	19-23"	10YR4/6	FSL	GR	FR	
	23-68"	2.5Y5/3	FSL	OM	FR	
	REFUSAL AT 68"	ESHWAT AT 23"	OBSERVED WATER	60"		
#5	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-9"	10YR3/2	FSL	GR	FR	
	9-23"	10YR4/6	FSL	GR	FR	
	23-68"	2.5Y5/3	FSL	OM	FR	
	REFUSAL AT 33"	ESHWAT AT 33"	OBSERVED WATER	33"		
#6	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-4"	10YR3/2	FSL	GR	FR	
	4-28"	10YR4/6	FSL	GR	FR	
	28-53"	2.5Y5/3	LS	OM	FR	
	REFUSAL AT 53"	ESHWAT AT 33"	OBSERVED WATER	33"		
#7	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCE	REDOX FEATURES
	0-4"	10YR3/2	FSL	GR	FR	
	4-28"	10YR4/6	FSL	GR	FR	
	28-53"	2.5Y5/3	LS	OM	FR	
	REFUSAL AT 53"	ESHWAT AT 28"	OBSERVED WATER	28"		

**LEGEND**

EXISTING PROPERTY LINE	PROPOSED PROPERTY LINE
WETLAND LINE	TREE LINE
EXISTING STONEWALL	EXISTING WATER LINE
PROPOSED WATER LINE	EXISTING SEWER LINE
PROPOSED SANITARY SEWER LINE	EXISTING OVERHEAD ELECTRIC
PROPOSED OVERHEAD ELECTRIC	PROPOSED UNDERGROUND ELECTRIC
PROPOSED TRANSFORMER	1 FT CONTOUR
5 FT CONTOUR	PROPOSED GRADE
EXISTING UTILITY POLE	PROPOSED UTILITY POLE
EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT
EXISTING WATER VALVE	PROPOSED WATER VALVE
TEST PNT (SEE ABOVE)	EXISTING SANITARY SEWER MANHOLE
PROPOSED SANITARY SEWER MANHOLE	PROPOSED FINISHED FLOOD ELEVATION
EXISTING CATCH BASIN	EXISTING DRAIN MANHOLE
EXISTING DRAIN MANHOLE	EXISTING DRAIN LINE
PROPOSED DRAIN LINE	PROPOSED UNDERGROUND PROPANE TANK
PROPOSED SIGN	PERIMETER CONTROL BARRIER
INLET PROTECTION BARRIER	PROPOSED GAS LINE
PROPOSED STABILIZED CONSTRUCTION LOCATION	LIMIT OF CLEARING AND GRUBBING
PROPOSED LIGHT	

**Norway Plains Rd Subdivision**

Ekimbor, LLC

Rochester, New Hampshire

GENERAL NOTES, LEGEND, AND ABBREVIATIONS

G-001

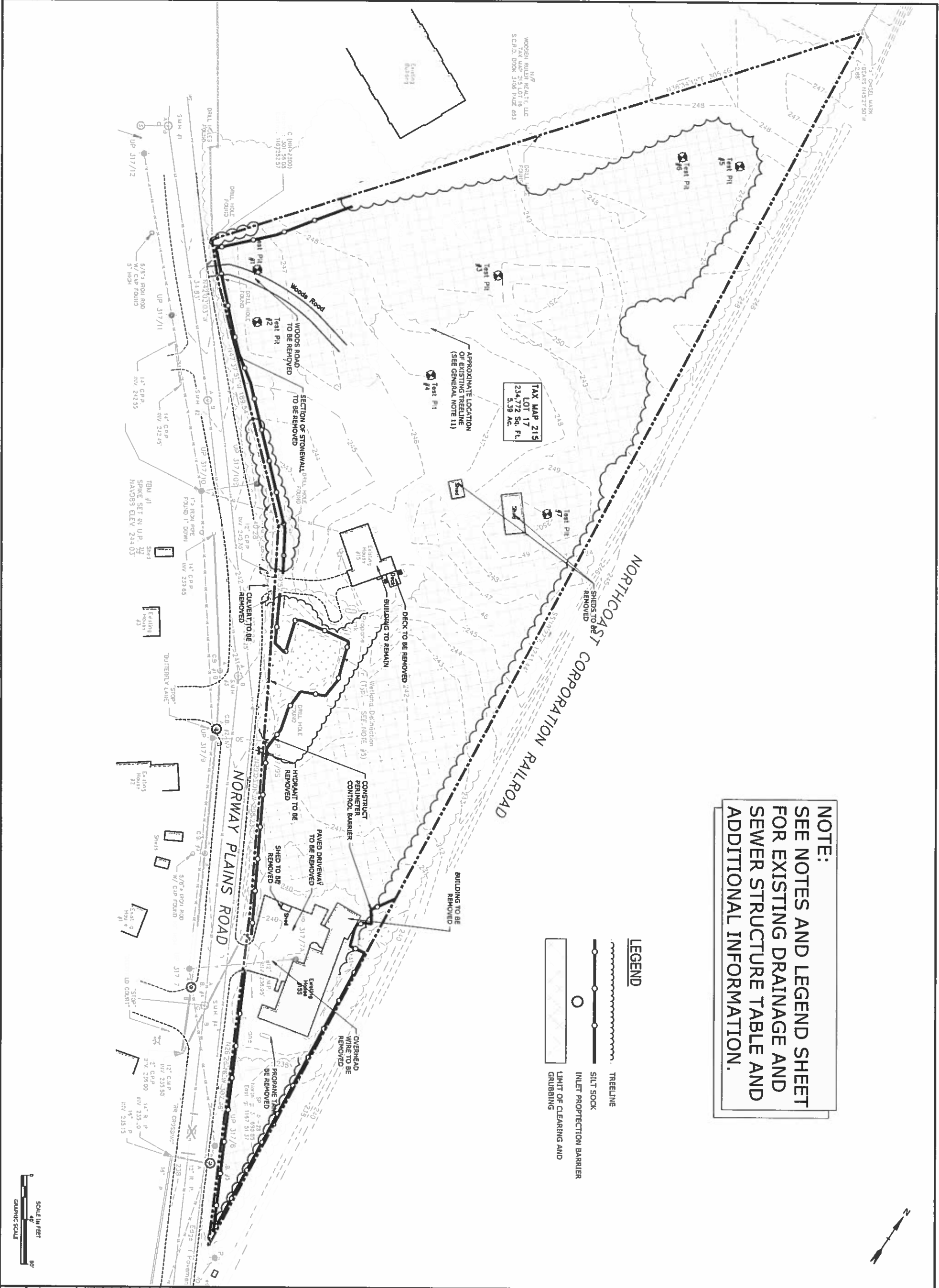
AS SHOWN

**Tygh&Bond**  
www.tyghbond.com









DATE	8/17/16
PROJECT NO.	G-0693
FILE	G0693-V-101.dwg
DRAWN BY:	ERCARON
CHECKED:	WAM
APPROVED:	RLI
EXISTING CONDITIONS/DEMOLITION PLAN	
SCALE:	AS SHOWN
V-101	

NOTE:  
SEE NOTES AND LEGEND SHEET FOR  
MORE INFORMATION

- SPECIAL NOTES:
1. OWNER SHALL BE RESPONSIBLE FOR REMOVING AND PROPERLY DISPOSING OF SNOW IF IT EXCEEDS DESIGNATED SNOW STORAGE AREAS.
  2. REFUSE AND RECYCLING PICK UP SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/ASSOCIATION. RECYCLING AND REFUSE BINS WILL BE PICKED UP AT EACH BUILDING BY A PRIVATE CONTRACTOR.

DIMENSIONAL REQUIREMENTS						
BUILDING TYPE	LOT AREA SQ. FT.	FRONTAGE	SETBACKS			BUILDING HEIGHT
			FRONT	SIDE	REAR	
REQUIRED TOWNHOUSE	7,500 /UNIT MIN.	80' MIN.	15.0'	10.0'	25.0'	FOOTPRINT (%)
LOT 1 TOWNHOUSE	218,112**	775'	215.0'	210.0'	225.0'	COVERAGE
REQUIRED TWO FAMILY	9,000	80' MIN.	10.0'	8.0'	20.0'	30% MAX.
LOT 2 TWO FAMILY	16,660	142'	210.0'	28.0'	220.0'	45% MAX.
						35' MAX.
						35' MAX.
						2
						2

\*\* ASSUMES 40' x 88' BUILDING FOOTPRINT  
\*\* 218,112 sf / 40 UNITS = 5452 sf/UNIT  
VARIANCE GRANTED FOR REDUCED LOT DENSITY ON AUGUST 10, 2016

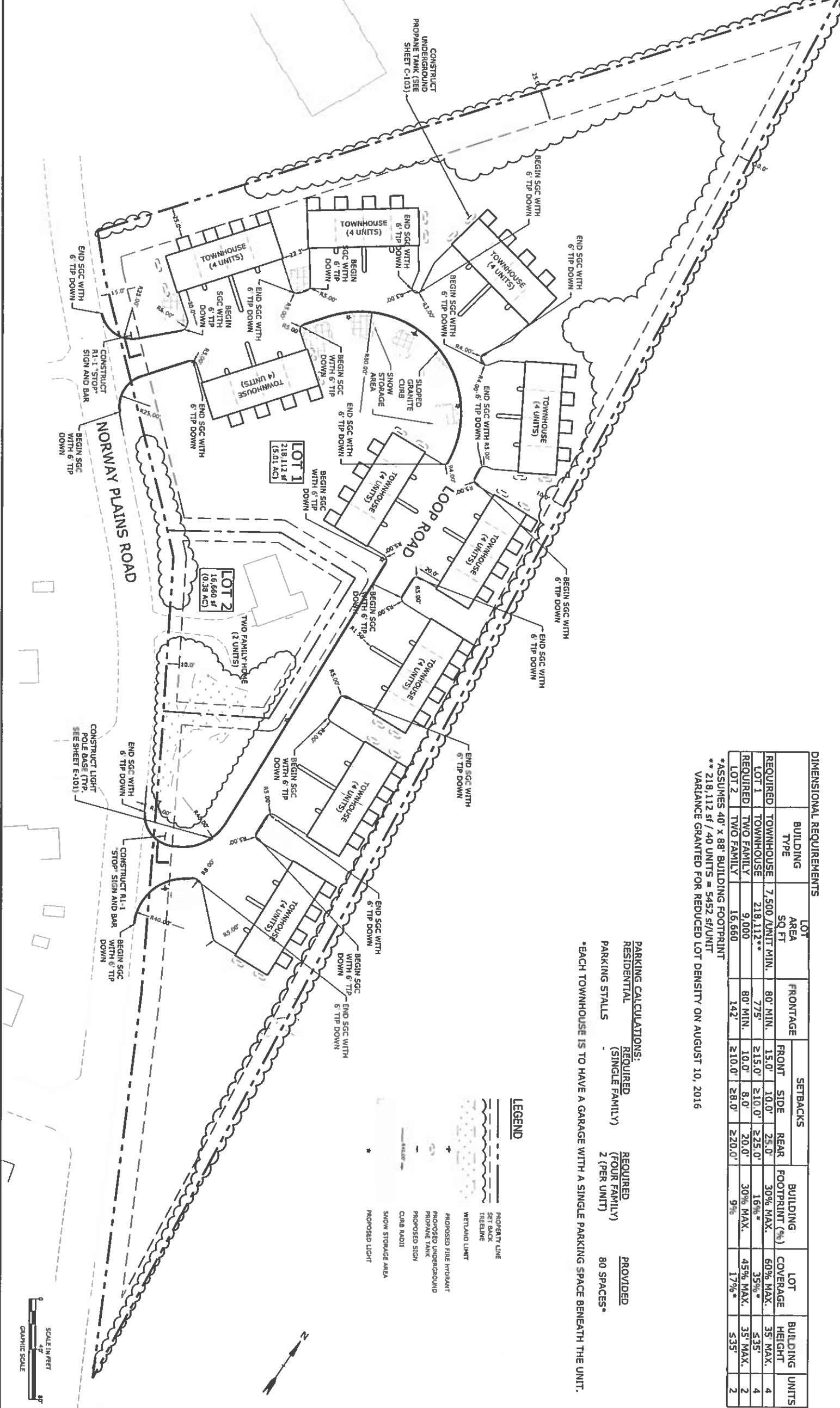
PARKING CALCULATIONS:

RESIDENTIAL	REQUIRED	REQUIRED	PROVIDED
	(SINGLE FAMILY)	(FOUR FAMILY)	
PARKING STALLS		2 (PER UNIT)	80 SPACES*

\* EACH TOWNHOUSE IS TO HAVE A GARAGE WITH A SINGLE PARKING SPACE BENEATH THE UNIT.

LEGEND

- PROPERTY LINE
- SET BACK
- TREELINE
- WETLAND LIMIT
- PROPOSED FIRE HYDRANT
- PROPOSED UNDERGROUND
- PROPOSED TANK
- PROPOSED SIGN
- CUBS (RADII)
- SNOW STORAGE AREA
- PROPOSED LIGHT



Norway Plains  
Rd Subdivision

Ekimbor, LLC

Rochester, New  
Hampshire

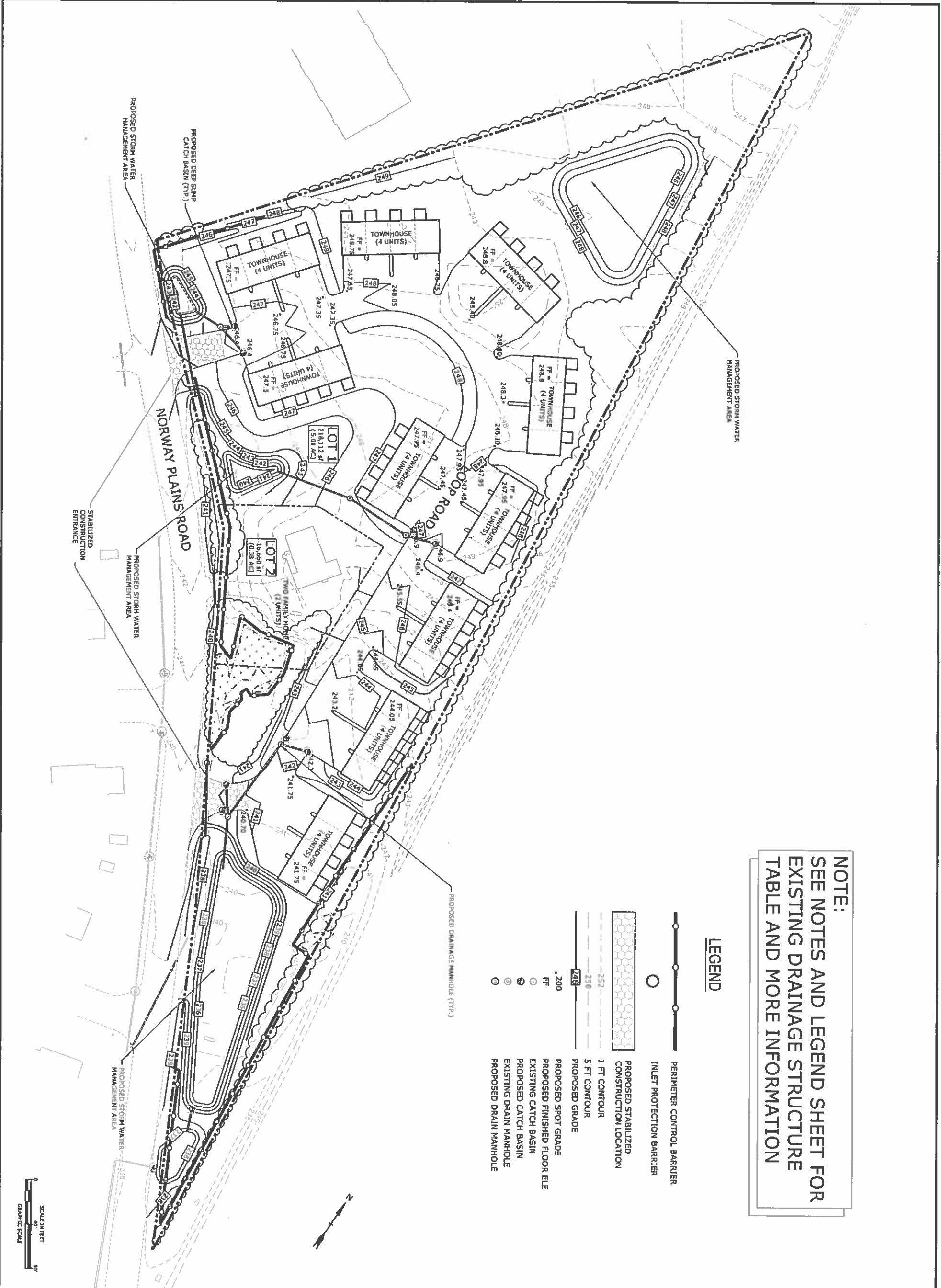
MARK	DATE	DESCRIPTION
PROJECT NO:	C-0983	
DATE:	8/12/16	
FILE:	0983-C-101.dwg	
DRAWN BY:	ECJ/KAM	
CHECKED:	KAM	
APPROVED:	BLM	

SITE PLAN

SCALE: AS SHOWN

C-101





NOTE:  
SEE NOTES AND LEGEND SHEET FOR  
EXISTING DRAINAGE STRUCTURE  
TABLE AND MORE INFORMATION

LEGEND

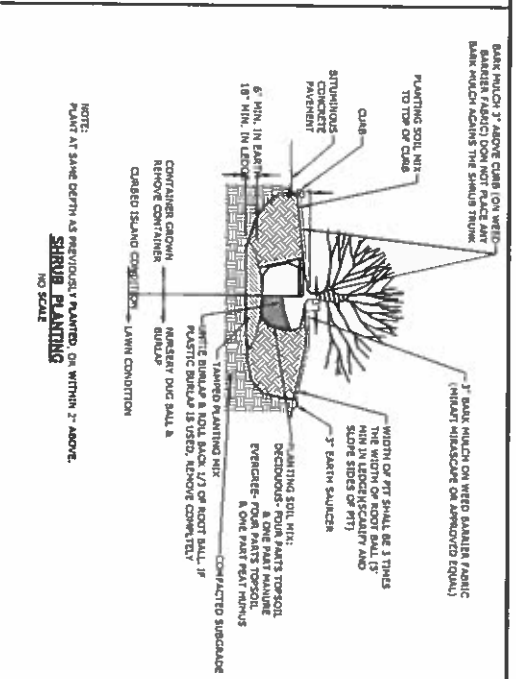
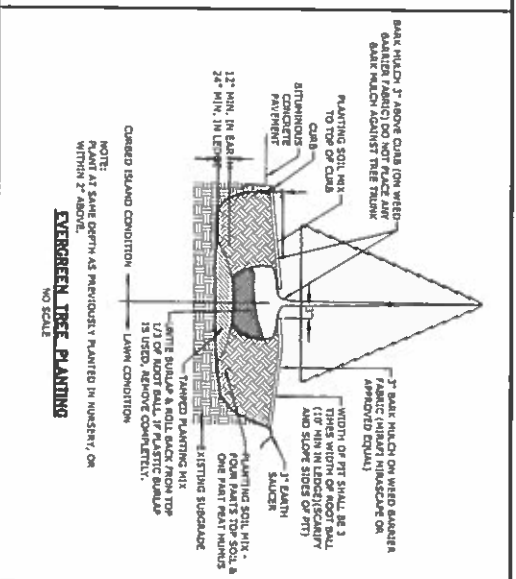
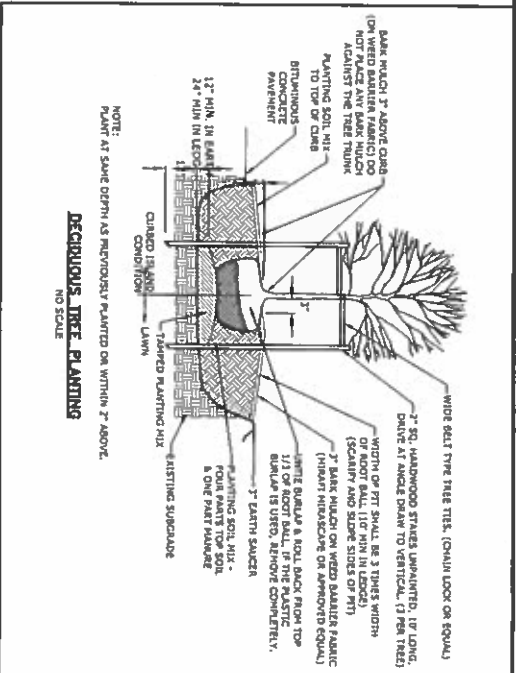
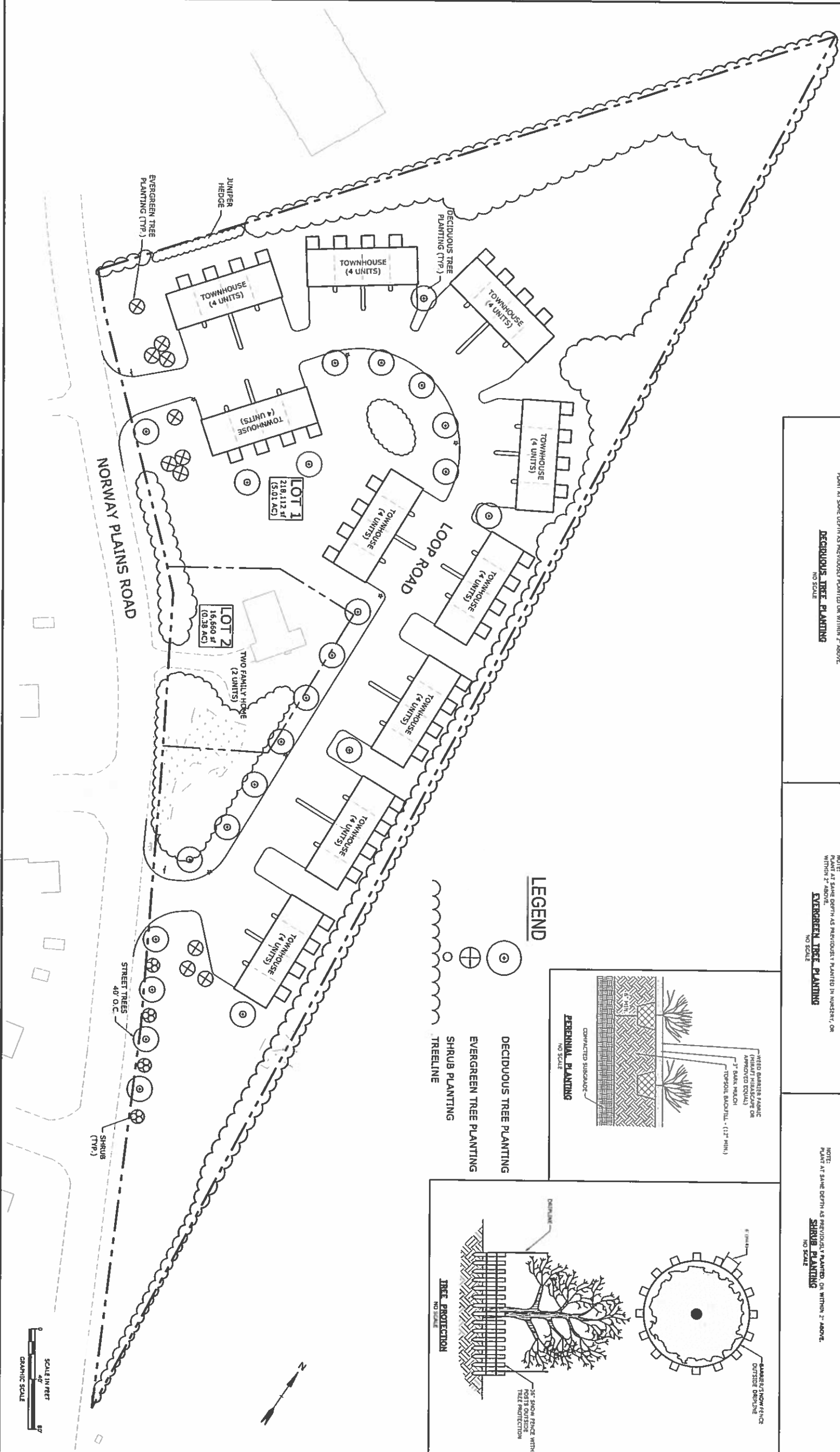
- PERIMETER CONTROL BARRIER
- INLET PROTECTION BARRIER
- PROPOSED STABILIZED CONSTRUCTION LOCATION
- 1 FT CONTOUR
- 5 FT CONTOUR
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- PROPOSED FINISHED FLOOR ELE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING DRAIN MANHOLE
- PROPOSED DRAIN MANHOLE

Norway Plains  
Rd Subdivision

Ekimbor, LLC

Rochester, New  
Hampshire

GRADING PLAN  
SCALE: AS SHOWN  
C-102



**Tighe & Bond**  
www.tighebond.com

Norway Plains  
Rd Subdivision

**Ekimbor, LLC**

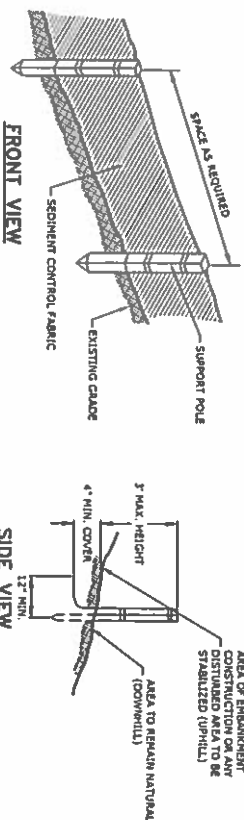
**Rochester, New Hampshire**

	MARK	DATE	DESCRIPTION
PROJECT NO:			G-0693
FILE:		D/17216	
DATE:			
DRIVEN BY:			BACIKIAN
CHECKED:			BAH
APPROVED:			BLA

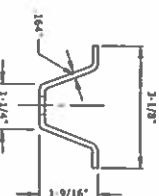
## LANDSCAPE PLAN

SCALE: AS SHOWN

L-101



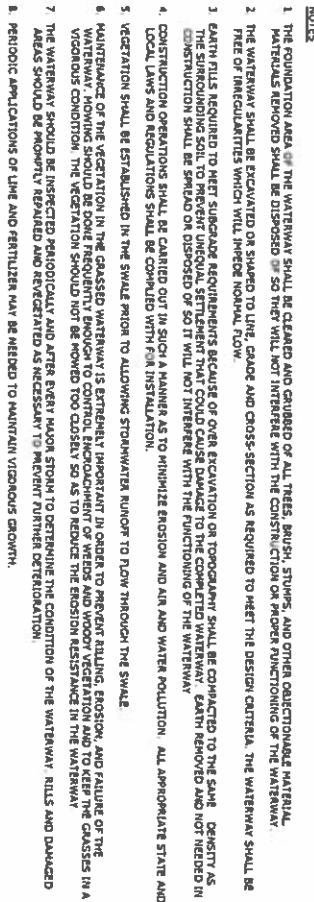
**SILT FENCE**



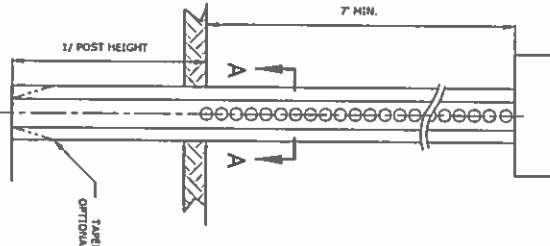
The image contains two technical drawings of a sign structure:

- PLAN:** A top-down view of the sign. It shows a central rectangular area labeled "10 MIL POLYETHYLENE SHEETING". This is surrounded by a border labeled "AGGREGATE". The overall dimensions are "10 MIN." on both the horizontal and vertical axes.
- TYPICAL SECTION:** A side-view cross-section of the sign. It shows the "10 MIL POLYETHYLENE SHEETING" on top of a "CONTAINMENT" layer. Below this is a "7'-0\" MIN. GOR EMBEMENT". The sign is supported by a "WASHOUT SIGN" structure. The sign face is labeled "SIGN SHALL BE PLACED IN A PROMINENT LOCATION AT WASHOUT AREA". The sign face has a "FINISH GRADE" and "GALVANIZED 'U' CHANNEL POST". The sign face is labeled "BLACK LETTERS ON WHITE BACKGROUND". The sign face is labeled "ALL COVERGE THICKS SHALL WASHOUT HERE". The sign face is labeled "15\"". The sign face is labeled "12\"". The sign face is labeled "7'-0\" TO BOTTOM OF SIGN". The sign face is labeled "3'-0\" MIN. GOR EMBEMENT". The sign face is labeled "18\"". The sign face is labeled "EXISTING GRADE". The sign face is labeled "12\" MAX.". The sign face is labeled "14\" MIN.". The sign face is labeled "SEASONAL HIGH GROUNDWATER TABLE". The sign face is labeled "6\" MIN DEPTH AGGREGATE ALL AROUND". The sign face is labeled "2:1 SLOPE (MAX.)". The sign face is labeled "18\"".

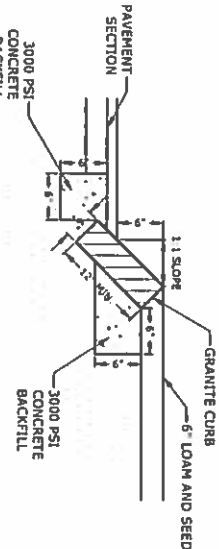
**CONCRETE WASHOUT AREA**



**JUTE MATTING DETAIL**



DETAILS SHEET	
SCALE:	AS SHOWN
C-501	

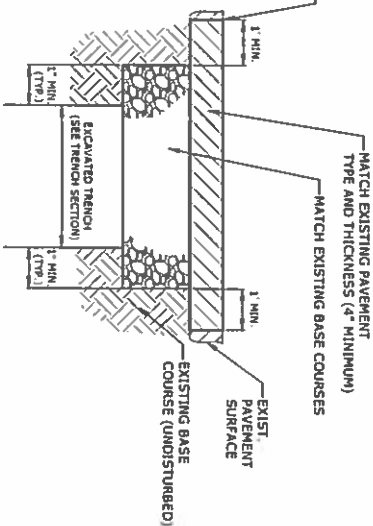


NOTES:

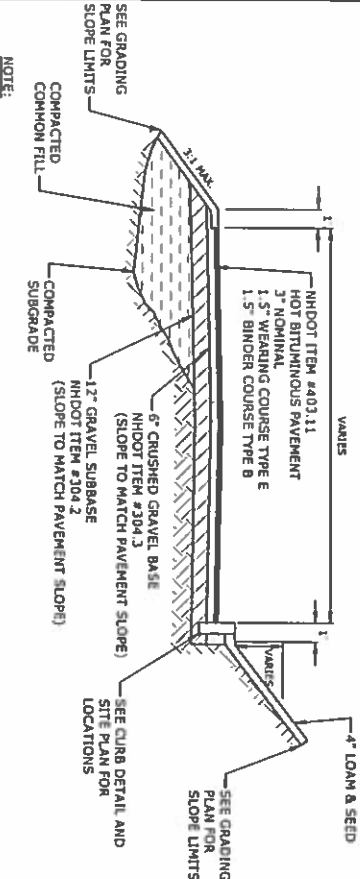
- SEE SITE PLAN FOR LIMITS OF CURBING.
- CONJOINING STONES OF STRAIGHT CURB AND CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
- MINIMUM LENGTH OF STRAIGHT CURB STONES = 18 INCHES.
- MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8 FEET.
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
- JOINTS BETWEEN STONES SHALL BE MORTARED.

RADIUS	MAXIMUM LENGTH
<2'	2'-15"
2'-15" - 29'-41"	USE CURVED CURB
29'-41" - 42'-55"	USE RADIAL JOINTS
42'-55" - 58'-85"	1' - 6"
58'-85" - 83'-96"	2'
83'-96" - 97'-110"	3'
97'-110" OVER 110'	4'
	5'
	6'
	7'
	8'

**SLOPED GRANITE CURB**  
NO SCALE



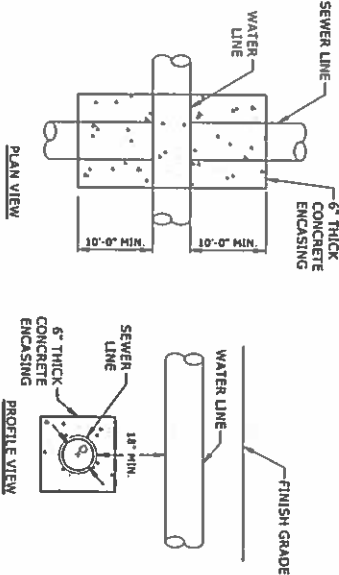
**PAYMENT REPAIR OVER TRENCH**  
NO SCALE



**STANDARD DUTY PAYMENT SECTION**  
NO SCALE

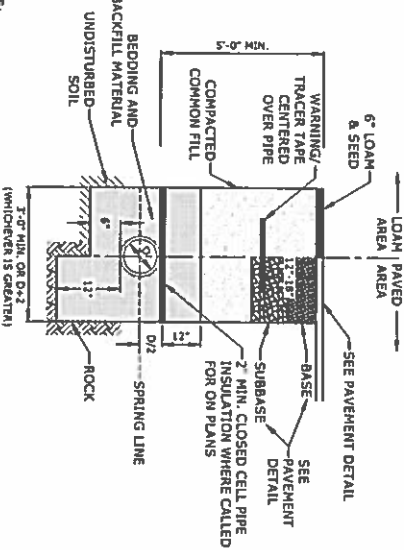
SIGN ID NUMBER	SIGN SIZE WIDTH x HEIGHT	SIGN	TEXT	NO. OF SIGNS	BACK-GROUND	LEGEND	BORDER	POST SIZE & QUANTITY	UNIT AREA (SQ. FT.)
RL-1	30" x 30"	STOP	SEE STANDARD HIGHWAY SIGNS EDITION 100.4 (SUPPLEMENT) PUBLISHED BY USDOT - FHWA	2	RED	WHITE	WHITE	U-CHANNEL	6.25
D3	36" x 9"	ROAD SIGN		2	GREEN	WHITE	WHITE	U-CHANNEL	2.25
D3	30" x 9"	PRIVATE ROAD		2	WHITE	BLACK	WHITE	U-CHANNEL	1.75

**SIGN LEGEND**  
NO SCALE



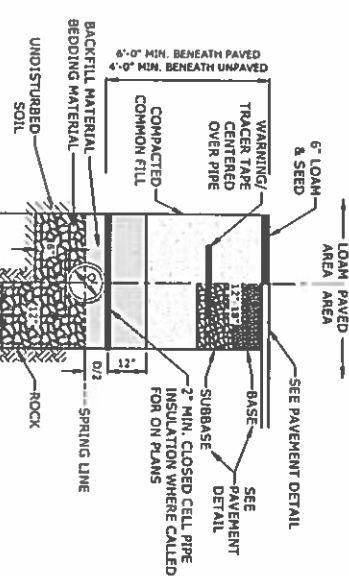
NOTE:  
A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS, WHERE SEWER AND WATER CROSS. ENCASE SEWER IN CONCRETE 6" THICK OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE WITH JOINTS FOR A MINIMUM DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING. CROSSING SHALL CONFORM TO CITY OF ROCHESTER WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.

**WATER & SEWER CROSSING**  
NO SCALE



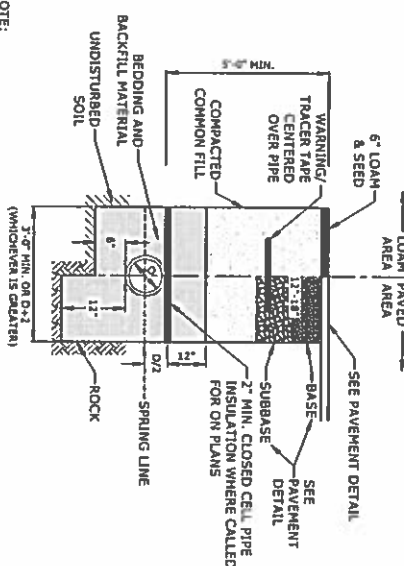
NOTE:  
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.  
2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS, COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF ROCHESTER.

**WATER TRENCH**  
NO SCALE



NOTE:  
1. CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO SPRING LINE.  
2. SAND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM SPRING LINE UP TO 12" ABOVE TOP OF PIPE.  
3. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS, COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF ROCHESTER.

**SEWER TRENCH**  
NO SCALE



NOTE:  
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.  
2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS, COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF ROCHESTER.

**GAS TRENCH**  
NO SCALE

**Norway Plains  
Rd Subdivision**

Ekimbor, LLC

Rochester, New  
Hampshire

DATE:	08/13/2016
PROJECT NO:	C-502
FILE:	08/13/2016
DRAWN BY:	BRUNN
CHECKED:	KLM
APPROVED:	RLH

**DETAILS SHEET**

SCALE: AS SHOWN

C-502





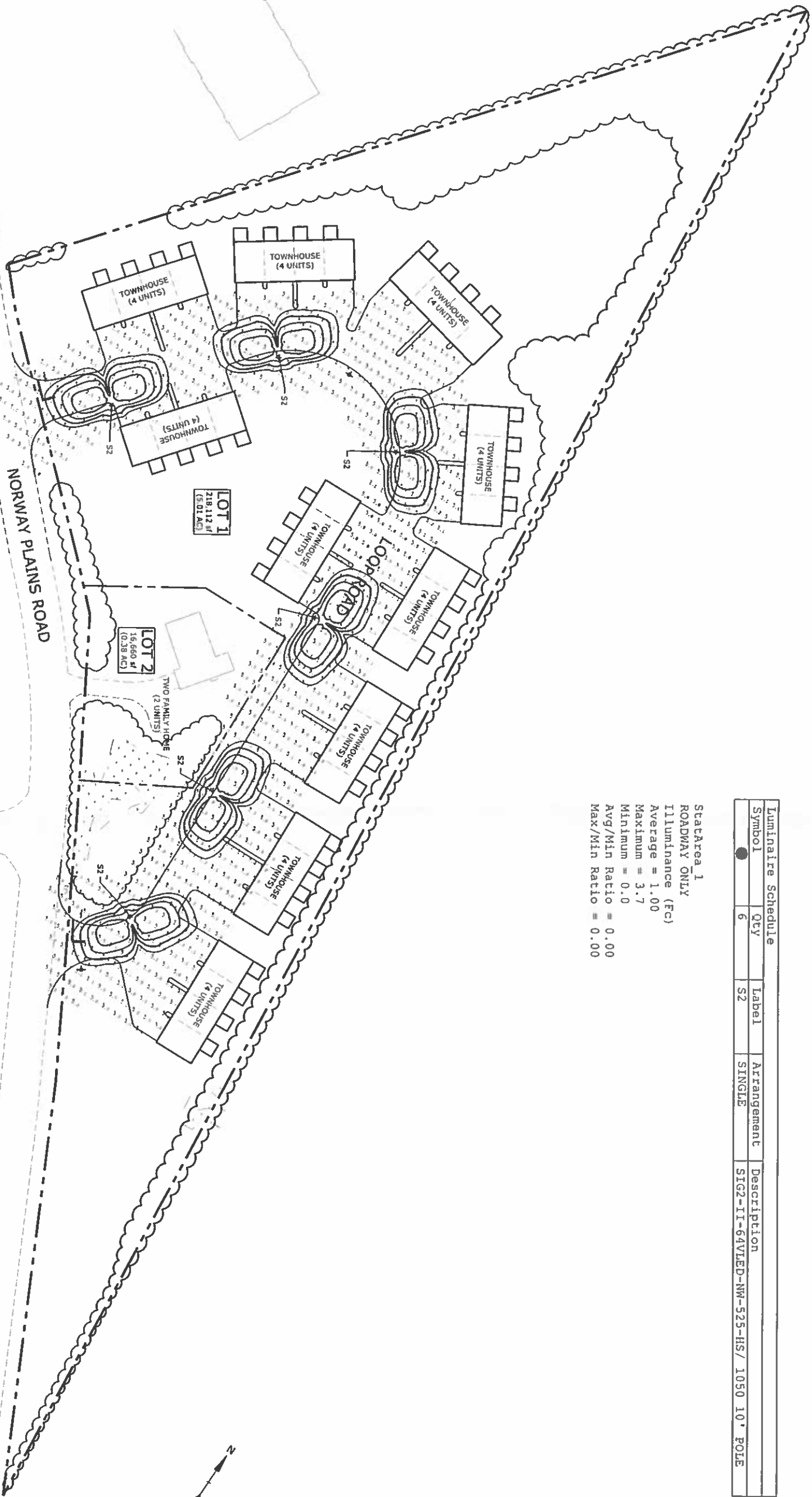
**NOTE:  
SEE NOTES AND LEGEND SHEET FOR  
MORE INFORMATION**

Luminaire Schedule			
Symbol	Qty	Label	Arrangement Description
●	6	S2	SIG2-II-64VLED-NW-525-HS/ 1050 10' POLE

```

StatArea_1
ROADWAY_ONLY
Illuminance (Fc)
Average = 1.00
Maximum = 3.7
Minimum = 0.0
Avg/Min Ratio = 0.00
Max/Min Ratio = 0.00

```



## Norway Plains Rd Subdivision

**Ekimbor, LLC**

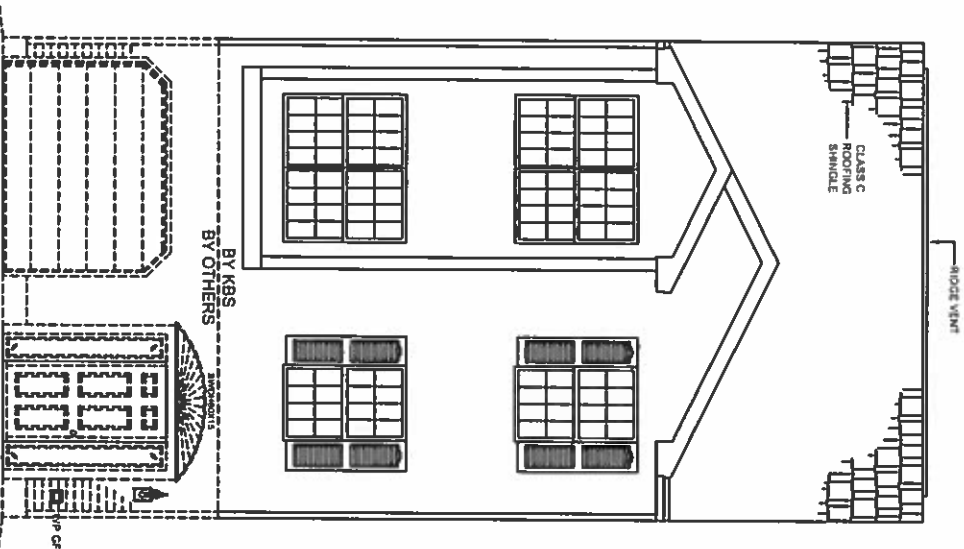
**Rochester, New  
Hampshire**

MASK	DATE	DESCRIPTION
		G-6693
PROJECT NO:	8/12/16	
DATE:		
FILE: C:\07\G-101.dwg		
DRAWN BY:	FACILAH	
CHECKED:	KRM	
APPROVED:	RJA	

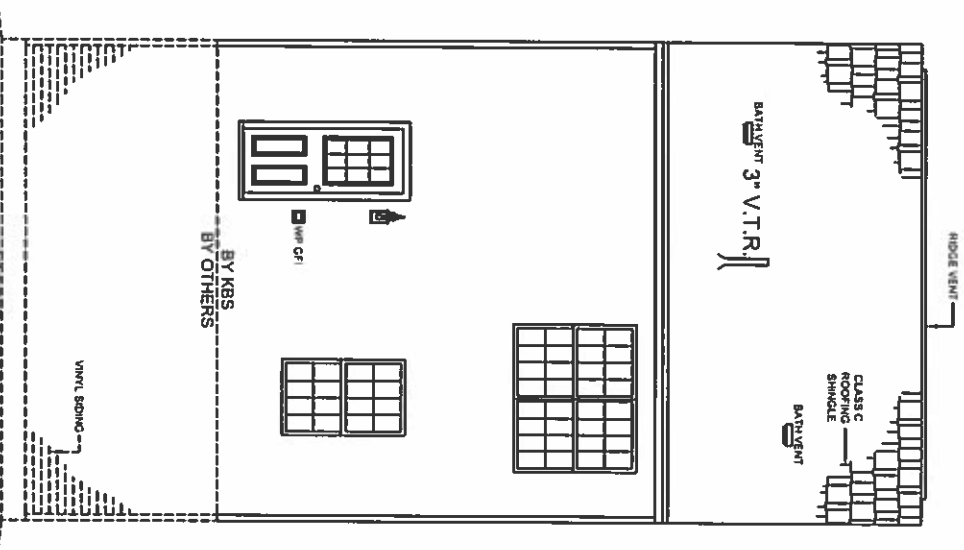
## PHOTOMETRICS PLAN

SCALE: AS SHOWN

E-101



FRONT ELEVATION

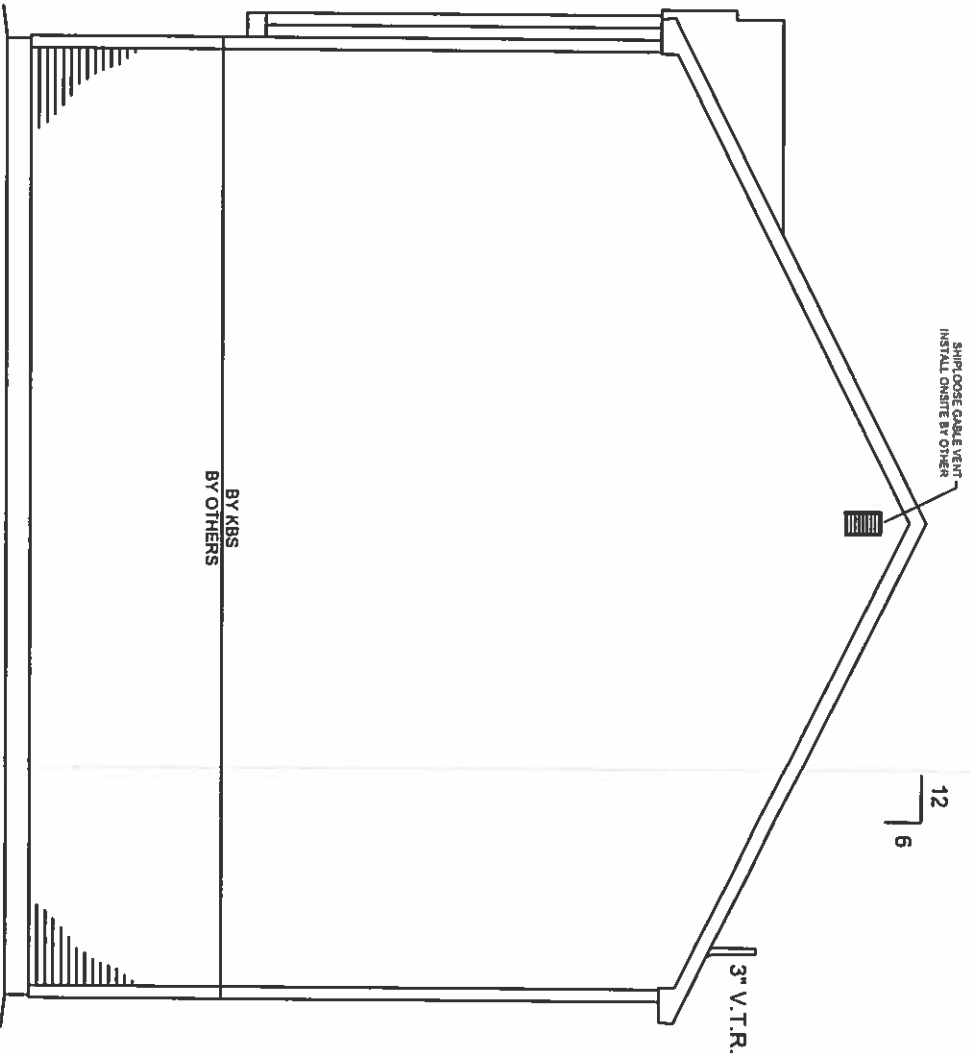
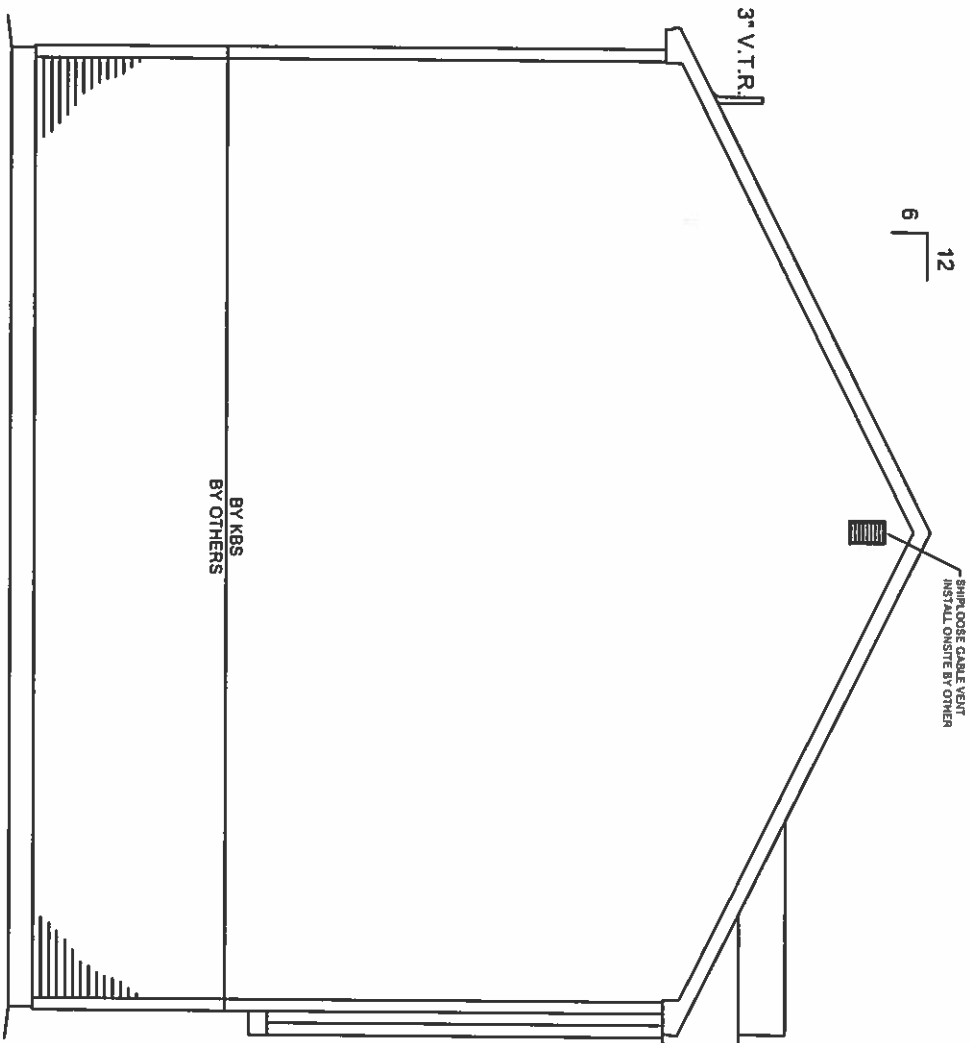


REAR ELEVATION

RECEIVED  
AUG 1 6 2016  
Planning Dept.

NOTE:  
- ELEVATIONS ARE FOR GRAPHIC REPRESENTATION ONLY. REFER TO WORK ORDER FORM FOR DETAILED INFORMATION.  
- EXTERIOR STEPS, RAILINGS & LANDINGS ONSITE BY OTHER.

JOB NAME		BUILDER		HOUSE TYPE		FRONT ELEVATION		REVISIONS		KBS BUILDERS, INC.	
				Brookline		SHEET # P2 SCALE: 1/8" = 1'-0" DWN BY: KBS DATE:				KBS BUILDERS, INC.	
				FILE NAME: SERIAL #:						300 PARK STREET, SOUTH PARIS, ME 04281 PHONE: 207-739-2400 FAX: 207-739-2223	



LEFT ELEVATION

RIGHT ELEVATION

NOTE:  
- ELEVATIONS ARE FOR GRAPHIC REPRESENTATION ONLY. REFER TO WORK ORDER FORM FOR DETAILED INFORMATION.  
- EXTERIOR STEPS, RAILINGS & LANDINGS ONSITE BY OTHER.

PROJECT NAME		PROJECT TYPE		EXTERIOR ELEVATIONS		REVISIONS		KBS BUILDERS, INC.	
RAISED		Brookline		SHEET # P2a SCALE: 1/8" = 1'-0" DWN BY: KBS DATE:				KBS BUILDERS, INC.	
FILE NAME:		SERIAL #:						300 PARK STREET, SOUTH PARIS, ME 04281	
								PHONE: 207-739-2400 FAX: 207-739-2223	