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SEP 06 2016  
Planning Dept.

**RESIDENTIAL SITE PLAN APPLICATION** (townhouses, apts., etc.)  
**City of Rochester, New Hampshire**

Date: 9/2/16 [office use only. fee paid \_\_\_\_\_ amount \$ \_\_\_\_\_ date paid \_\_\_\_\_]

**Property information**

Tax map #: 215; Lot #'s: 17; Zoning district: R-2

Property address/location: 15 Norway Plains Road

Name of project (if applicable): Proposed Subdivision

Size of site: 5.39 acres; overlay zoning district(s)? N/A

**Property owner**

Name (include name of individual): The Estate of Bruce Roberts

Mailing address: 15 Norway Plains Road, Rochester, NH 03868

Telephone #: \_\_\_\_\_ Fax #: \_\_\_\_\_

**Applicant/developer** (if different from property owner)

Name (include name of individual): Ekimbor, LLC (Robert Graham)

Mailing address: 2637 East Atlantic Boulevard, Pompano Beach, FL 33062

Telephone #: 603-778-7521 Fax #: Rob@graham-consult.com

**Engineer/designer**

Name (include name of individual): Tighe & Bond, Inc. (Kenneth A. Mavrogeorge, PE)

Mailing address: 177 Corporate Drive, Portsmouth, NH 03801

Telephone #: 603-433-8818 Fax #: 603-433-8988

Email address: kamavrogeorge@tighebond.com Professional license #: 13326

**Proposed use**

The applicant is not bound by information on bedrooms and ownership arrangement unless that is a condition of approval.

Total number of proposed dwelling units: 42; number of existing dwelling units: 1

Proposed bedrooms/unit: 2; total number of proposed bedrooms: 84

(continued Residential Site Plan application Tax Map: 215 Lot: 17 )

New building(s)? Yes addition(s)/modifications to existing building(s)? Yes

Townhouses/rowhouses: X flats: \_\_\_\_\_ duplexes: \_\_\_\_\_ freestanding detached units: \_\_\_\_\_

Proposed ownership - leasehold: \_\_\_\_\_ fee simple conveyance: \_\_\_\_\_ condominiums: X

### Utility information

City water? yes X no \_\_\_\_\_; How far is City water from the site? 0 ft (along frontage)

City sewer? yes X no \_\_\_\_\_; How far is City sewer from the site? 0 ft (along frontage)

If City water, what are the estimated total daily needs? 12,600 gallons per day

Where will stormwater be discharged? yes

### Other information

# parking spaces: existing: 5 total proposed: 124; Are there pertinent covenants? Yes

Describe existing conditions/use (vacant land?): The existing property contains a single family home and a wood working shop. There are also multiple sheds on the property.

Check any that are proposed: variance X; special exception \_\_\_\_\_; conditional use \_\_\_\_\_

Wetlands: Is any fill proposed? No; area to be filled: \_\_\_\_\_; buffer impact? N/A

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	10 Townhouses: 3,520 sf /bldg, Duplex: 1,776 sf	15.7
Parking and vehicle circulation	43,459 sf	18.5
Planted/landscaped areas (excluding drainage)	81,945	34.9
Natural/undisturbed areas (excluding wetlands)	50,663sf	21.6
Wetlands	3,066	1.4
Other – drainage structures, outside storage, etc.	18,633	7.9

### Comments

Please feel free to add any comments, additional information, or requests for waivers here:  
See Waiver Request Letter.

(continued Residential Site Plan application Tax Map: 215 Lot: 17 )

### Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

*I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.*

Signature of property owner: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of applicant/developer: \_\_\_\_\_

Date: 8-29-16

Signature of agent: \_\_\_\_\_

Date: 8-29-16

### Authorization to enter subject property

*I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.*

Signature of property owner: \_\_\_\_\_

Date: 8-29-16

## **Project Narrative**

### **Norway Plains Road Subdivision – Ekimbor, LLC**

**Date: September 6, 2016**

#### **Existing Conditions:**

Fifteen Norway Plains Road is a 5.39 acre lot in the northern part of Rochester, NH. The lot contains a single family home, a cabinet shop and three small sheds. The lot is bounded by the Northcoast Corporation Rail Road property to the east, a residential apartment complex to the north, and Norway Plains Road to the west. The lot slopes from north to south and is primarily wooded.

The site does contain two small wetland areas. However, the wetlands total less than one half acre and thus do not fall under the conservation overlay district.

#### **Project Description:**

##### **Zoning Board of Adjustment Approval:**

Since the Applicant last appeared before the Planning Board on August 1<sup>st</sup>, the Applicant appeared before the Rochester Zoning Board of Adjustment seeking a variance for increase lot density. The requested variance was granted allowing 5,452 sf of lot area per dwelling unit on Lot 1 of the proposed subdivision in lieu of the required 7,500 sf per dwelling unit.

Based on the Zoning Board's decision, the Applicant has significantly revised the proposed design to incorporate suggestions from the Planning Department, Planning Board and the Zoning Board.

##### **Subdivision:**

A major change from the previously submitted design is that the proposed subdivision of 15 Norway Plains Road now consists of the creation of just two (2) individual residential lots instead of the previously proposed 12. In addition, the Interior Loop Road is now proposed to be a privately owned and maintained street. This means that snow removal, refuse and recycling pick up and maintenance will be the responsibility of the property owner or development's association.

As was previously proposed, the existing cabinet shop and three sheds would be removed while the single family home would be saved. The project does propose to convert the single family home to a duplex at this time.

The lot for the single family home would be approximately 16,660 sf in area which is greater than the 9,000 sf required for a duplex. The remaining land would be subdivided into a single lot approximately 218,112 sf in area. This larger lot would be developed into a multifamily development as allowed in the R-2 district.

##### **Site Layout:**

The proposed multifamily development will be comprised of ten (10) four (4) unit townhouses for a total of forty (40) units. Including the forty (40) units of the multifamily development and the two (2) units in the proposed duplex, the proposed project would have a total of forty-two (42) units.

Each unit in the townhouses will be restricted to two (2) bedrooms per the Zoning Board's August 10, 2016 decision. Including the four (4) bedrooms in the existing single family home, the proposed project would have a total of 84 bedrooms. The preliminary layout of the development and a dimensional breakdown for each lot has been provided on the enclosed Site Plan (Sheet C-101).

**WAIVER REQUEST LETTER  
PROPOSED SUBDIVISION  
Ekimbor, LLC  
15 NORWAY PLAINS ROAD  
ROCHESTER, NEW HAMPSHIRE  
September 2, 2016**

We respectfully request waivers from the following Site Plan Regulations:

**Site Plan Regulations**

**Article III: Section 2- Architecture  
(I) Process**

***(1) Applicants should submit elevation drawings drawn to scale of each pertinent facade. A color board containing actual color samples of exterior finishes, keyed to the elevations and indicating the manufacturers name and color designation should also be submitted. Applicants should also submit a material sample if appropriate, such as the type of brick proposed.***

A waiver is requested from the above noted regulation requiring the submission of a color board which is representative of the proposed building's architecture because at this time, colors and materials of proposed Townhouses is unknown. A black and white elevation drawing of the proposed buildings has been provided for discussion purposes with the Planning Board.

**Article III: Section 9- Operational Issues  
(D) Solid Waste**

***(1) The applicant shall include adequate provisions for solid waste disposal. All waste materials shall be contained in dumpsters or other acceptable receptacles. Disposal areas shall be fully enclosed and screened from the street and from abutting properties by a fence, a wall, vegetation, or another method to a height of 6 feet or, where a dumpster is used, 6 feet or 1 foot above the height of the dumpster, whichever is greater.***

A waiver is requested from the above regulation requiring a fully enclosed disposal area because it is the intent of the Applicant to have a private trash pickup for the proposed subdivision. Units would be responsible for storing their own trash and recycling bins.

**SECTION 11 - PEDESTRIAN, BICYCLE, AND TRANSIT FACILITIES**

**(A) Sidewalks**

***1) Parking lots shall be designed to provide safe and convenient pedestrian access, including, as appropriate, sidewalks and footpaths, crosswalks, and pedestrian-oriented lighting.***

A waiver is requested from the above regulation requiring sidewalks between the Townhouse because there are sidewalks within Norway Plains Road that sidewalks could lead to.

**Article III: Section 12 – Public Health and Safety**

**(A) Fire Protection**

**(5) In cases where buildings are to be sprinkled, a fire hydrant shall be placed within 100 feet of the fire department connection (pipe situated on the outside of the building which connects to the interior sprinkler system). The hydrant may be placed either on the subject lot (a private hydrant) or within the street right of way (a municipal hydrant). If City water is not available to the site, and will not be extended as part of the site plan, then other arrangements may be made if approved by the Fire Department.**

A waiver is requested from the above regulation requiring a hydrant within 100 ft of a sprinkled building because all of the proposed sprinkled buildings are within 105 ft of a hydrant.

The Applicant is proposing two new hydrants and the relocation of an existing hydrant within Norway Plains Road. Both of the new hydrants and the relocated hydrant have been located so all but two of the proposed townhouse structures are well within 100 feet of a hydrant. The waiver is required because two of the proposed townhouses are located at 104 ft and 105 feet from a hydrant.

**Article III: Section 13 – Stormwater Management**

**(B) Miscellaneous Provisions**

**(3) In order to create a smooth and safe transition between newly graded areas and adjoining properties, there shall be no significant grading within 5 feet of any side or rear property line.**

A waiver is requested from the above regulation because grading within 5 feet of the adjacent properties is required to construct stormwater management systems, landscape screening, and a private road for the multifamily development.

**Rochester General Ordinance**

**Section 50 – Stormwater Management and Erosion Control**

**Section 50.8 - Design Standards**

**(a) Temporary/Construction Stormwater Management Design**

**(4)(C) Measures shall be taken to control the post-development peak rate and volume of runoff so that it does not exceed pre-development runoff rates or volumes for the 2-, 10- and 25-year, 24-hour storm events and for additional storm event frequencies as specified in the design criteria of the Stormwater Management and Erosion and Sediment Control Handbook for Urban and Developing Areas in New Hampshire.**

The reduction of stormwater volume in the post-development condition is not achievable on-site because the conditions for infiltration are not present. Due to the presence of ledge, poorly draining soils and high groundwater infiltration is not an option the development of a site which is currently mostly woods.

We have designed a gravel wetland at the southern corner of the property to reduce the peak runoff rates of the post-development 2-year storm event to one-half the runoff rate of the pre-development 2-year storm event. This is consistent with the standards set forth by the NHDES Alteration of Terrain Bureau (The proposed multifamily development will disturb greater than 100,000 sf of area, NHDES approval is required).

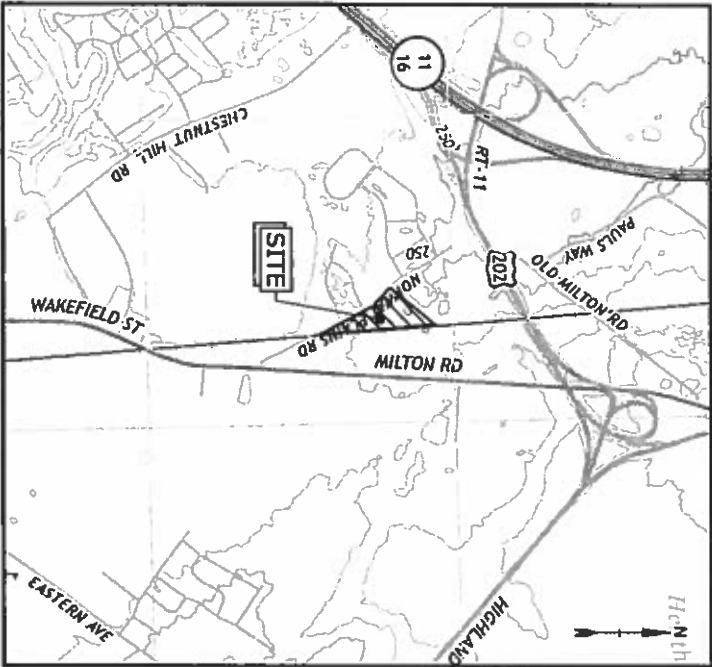
PROPOSED SUBDIVISION  
SITE PLANS  
15 NORWAY PLAINS ROAD  
ROCHESTER, NH  
(TAX MAP 215 LOT 17)  
SEPTEMBER 6, 2016

LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
	COVER
G-001	GENERAL NOTES, LEGEND AND ABBREVIATIONS
G-002	EROSION CONTROL NOTES SHEET
1 OF 1	EXISTING CONDITIONS
V-101	EXISTING CONDITIONS/DEMOLITION PLAN
C-101	SITE PLAN
C-102	GRADING PLAN
C-103	UTILITIES PLAN
L-101	LANDSCAPE PLAN
C-501	DETAILS SHEET
C-502	DETAILS SHEET
C-503	DETAILS SHEET
C-504	DETAILS SHEET
C-505	DETAILS SHEET
C-506	DETAILS SHEET
F-101	FIRE TRUCK TURNING PLAN
E-101	PHOTOMETRICS PLAN

NOTE:  
1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFRDED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.

3. TIGHE AND BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE AND BOND.



LOCATION MAP  
SCALE: 1" = 1000'

FINAL APPROVAL BY ROCHESTER PLANNING BOARD  
CERTIFIED BY \_\_\_\_\_ DATE \_\_\_\_\_

PREPARED BY:  
**Tighe&Bond**  
www.tighebond.com

SURVEYOR:  
North Easterly Surveying, Inc.  
191 State Road, Suite 1  
Kittery, ME 03904

PREPARED FOR:  
Ekimbor, LLC  
2637 East Atlantic Blvd.  
Pompano Beach, FL 33062

OWNER:  
The Estate of Bruce J. Roberts  
15 Norway Plains Road  
Rochester, NH 03868

RECEIVED  
SEP 06 2016  
Planning



COMPLETE SET 17 SHEETS  
FOR MORE INFORMATION CONTACT:  
THE CITY OF ROCHESTER PLANNING DEPARTMENT AT (603) 335-1338



- GENERAL NOTES:**
1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE SURVEYOR OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION. REMAIN EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED OR COVERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
  2. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE ANALOG AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE CITY OF ROCHESTER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CONFORM TO THE CITY OF ROCHESTER STANDARDS.
  3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISHED GRADE.
  4. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
  5. SEE NORTH EASTERLY SURVEYING, INC. EXISTING CONDITIONS PLAN, PREPARED BY NORTH EASTERLY SURVEYING, INC. ON JUNE 22, 2016 FOR BENCHMARK INFORMATION.
  6. CONTRACTOR SHALL CONTRACT DIG-SAFE 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL HAVE THE DIG-SAFE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
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- DEMOLITION NOTES:**
1. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
  2. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES WITHIN THE WORK LIMITS SHOWN AND CALLED OUT TO BE REMOVED. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO: PAVEMENT, PROCESSED ROCK FILL, CATCH BASINS, UNDERGROUND PIPING, SIGNS, TREES, AND SHRUBS. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE EXISTING FEATURES THAT MUST BE REMOVED TO COMPLETE THE WORK BUT ARE NOT CALLED OUT TO BE REMOVED ON THE DEMOLITION PLANS. EXISTING FEATURES CALLED OUT TO BE REMOVED BUT THAT ARE LOCATED OUTSIDE THE LIMIT OF WORK SHALL BE REMOVED BY THE DEVELOPER'S SITE CONTRACTOR. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
  3. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO RE-ESTABLISH THE MONUMENTATION.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
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- SITE NOTES:**
1. STOP SIGNS SHALL BE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
  2. SEE DETAILS SHEETS FOR PAVEMENT MARKINGS, SIGNS, AND SIGN POSTS.
  3. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE WHITE LINES.
  4. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  5. ALL WORK SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
  6. ALL SIGNS SHALL CONFORM WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", STANDARD PLATES FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS, AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITION.
  7. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- GRADING AND DRAINAGE NOTES:**
1. COMPACTION REQUIREMENTS
  2. BELOW PAVED OR CONCRETE AREAS
  3. 95%
  4. TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
  5. 95%
  6. BELOW LOAM AND SEED AREAS
  7. 90%
- \*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED AS SHOWN ON THE STANDARD SPECIFICATIONS WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1558 OR ASTM D-2922.
1. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) 11-12 OR 12-12 OR APPROVED EQUAL.
  2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) 11-12 OR 12-12 OR APPROVED EQUAL.
  3. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
  4. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH 4" SUMP.
  5. ALL DRAINAGE PIPE WITH LESS THAN 4" OF COVER SHALL BE INSULATED WITH 2 INCH RIGID FOAM INSULATION.
  6. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4 FT IN DIAMETER UNLESS OTHERWISE NOTED.
  7. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (HDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- UTILITY NOTES:**
1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
  2. TELEPHONE/DATA: METROCAST AND /OR FAIRPOINT
  3. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, GEMENT LINED DUCTILE IRON PIPE.
  4. ACTIVATING THE SYSTEM, CONTRACTOR SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ROCHES-TER, NEW HAMPSHIRE PUBLICS WORKS DEPARTMENT.
  5. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
  6. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF ROCHESTER STANDARDS.
  7. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
  8. ALL APPLICABLE STATE AND LOCAL CODES.
  9. ALL UNDERGROUND CONDUITS SHALL HAVE TENSION PULL ROPES TO FACILITATE PULLING CABLES.
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- LANDSCAPE NOTES:**
1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN, ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
  2. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, LATEST REVISION.
  3. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
  4. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
  5. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  6. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
  7. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
  8. THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A COVERED LOCATION, MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.
  9. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTENSION ROSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
  10. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  11. THE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
  12. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
  13. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
  14. TREES SHALL BE PLANTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
  15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO BE REMAINED UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4'-0" SHOWN FENCE PLACED TO THE TOP OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY DISTURBED TREE SHALL BE REPLACED TO REMAIN. TREES REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL PLANTS, TREES AND SHRUBS THAT IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
  16. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FINAL ACCEPTANCE OF ALL THE PLANTINGS.
  18. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-ORDER CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
  19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
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- SOIL DELINEATION NOTES:**
- A SITE SPECIFIC SOIL SURVEY WAS PREPARED ON JUNE 29, 2016, BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC.
- SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, 1559E #10, JANUARY 2011.
- THE SOIL DELINEATION WAS CONDUCTED WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR LIMITATION REQUIREMENTS BY THE NHDES ALLOCATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. A REPORT HAS BEEN PREPARED THAT ACCOMPANIES THIS SOILS DELINEATION.
- SOIL LEGEND**
- | MAP UNIT SYMBOL | MAP UNIT NAME                 | HYDROLOGIC SOIL GROUP |
|-----------------|-------------------------------|-----------------------|
| 444             | CHATEAUFIELD, FINE SANDY LOAM | B                     |
| 500             | NEWFIELDS, FINE SANDY LOAM    | B                     |
| 546/P           | UPDITCHES, LOAMY              | B (ESTIMATED)         |
| 600/P           | WALPOLE, FINE SANDY LOAM      | D (ESTIMATED)         |
|                 | ENDOCQUENTS, LOAMY            | D (ESTIMATED)         |
- SLOPES: 0-8% = B  
DRAINAGE: POORLY DRAINED = P

- TEST PIT DATA**
- TEST PITS CONDUCTED BY GOVE ENVIRONMENTAL SERVICES ON 5/17/16. TEST PITS WERE LOGGED BY JIM GOVE AND VIEWED BY ROBERT GRAHAM OF EKIMBOR, LLC.
- TEST PIT #1**
- | DEPTH          | COLOR       | TEXTURE                                                               | STRUCTURE                                             | CONSISTENCE                         | REDOX FEATURES |
|----------------|-------------|-----------------------------------------------------------------------|-------------------------------------------------------|-------------------------------------|----------------|
| 0-12"          | 10R3/2      | LS                                                                    | GR                                                    | FR                                  |                |
| 12-24"         | 10R5/4      | LS                                                                    | GR                                                    | FR                                  |                |
| 24-30"         | 2.5Y5/3     | S                                                                     | SG                                                    | L                                   | 7.5Y5/6 C/P    |
| REFUSAL AT 50" | EHMT AT 24" | OBSERVED WATER 42"                                                    |                                                       |                                     |                |
| TEST PIT #2    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-6"           | 10R3/2      | FSL                                                                   | GR                                                    | FR                                  |                |
| 6-22"          | 10R4/6      | FSL                                                                   | GR                                                    | FR                                  |                |
| 22-25"         | 2.5Y5/3     | LS                                                                    | OM                                                    | FR                                  | 7.5Y5/6 C/P    |
| REFUSAL AT 55" | EHMT AT 22" | OBSERVED WATER 50"                                                    |                                                       |                                     |                |
| TEST PIT #3    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-9"           | 10R3/2      | LS                                                                    | GR                                                    | FR                                  |                |
| 9-23"          | 10R4/6      | LS                                                                    | GR                                                    | FR                                  |                |
| 23-27"         | 2.5Y5/3     | FSL                                                                   | OM                                                    | FR                                  | 5Y5/6 C/P      |
| REFUSAL AT 60" | EHMT AT 23" | OBSERVED WATER 60"                                                    |                                                       |                                     |                |
| TEST PIT #4    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-12"          | 10R3/2      | FSL                                                                   | GR                                                    | FR                                  |                |
| 12-19"         | 2.5Y5/3     | FSL                                                                   | GR                                                    | FR                                  |                |
| 19-23"         | 10R4/6      | FSL                                                                   | GR                                                    | FR                                  |                |
| 23-48"         | 2.5Y5/3     | FSL                                                                   | OM                                                    | FR                                  |                |
| REFUSAL AT 50" | EHMT AT 23" | OBSERVED WATER 60"                                                    |                                                       |                                     |                |
| TEST PIT #5    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-8"           | 10R3/2      | FSL                                                                   | GR                                                    | FR                                  |                |
| 8-33"          | 10R4/6      | FSL                                                                   | GR                                                    | FR                                  |                |
| 33             | BEADOCK     |                                                                       |                                                       |                                     |                |
| REFUSAL AT 33" | EHMT AT 33" |                                                                       |                                                       |                                     |                |
| TEST PIT #6    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-6"           | 10R3/2      | FSL                                                                   | GR                                                    | FR                                  |                |
| 6-35"          | 10R4/6      | FSL                                                                   | GR                                                    | FR                                  |                |
| 35             | BEADOCK     |                                                                       |                                                       |                                     |                |
| REFUSAL AT 35" | EHMT AT 35" |                                                                       |                                                       |                                     |                |
| TEST PIT #7    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-4"           | 10R3/2      | FSL                                                                   | GR                                                    | FR                                  |                |
| 4-28"          | 10R4/6      | FSL                                                                   | OM                                                    | FR                                  | 7.5Y5/6 C/P    |
| 28-52"         | 2.5Y5/3     | LS                                                                    | OM                                                    | FR                                  |                |
| REFUSAL AT 52" | EHMT AT 28" | OBSERVED WATER - NONE, RESTRICTIVE LAYER AT 28"                       |                                                       |                                     |                |
| TEST PIT #8    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-14"          | 10R4/4      | SAND                                                                  | MASSIVE                                               | FRILABLE                            | NONE           |
| 14-25"         | 10R4/6      | L SAND                                                                | MASSIVE                                               | FRILABLE                            | NONE           |
| 26-30"         | 2.5Y5/3     | L SAND                                                                | MASSIVE                                               | FRILABLE                            | 7.5Y5/6, 5%    |
| 30-4"          | REFUSAL     |                                                                       |                                                       |                                     |                |
| REFUSAL AT 30" | EHMT AT 26" |                                                                       |                                                       |                                     |                |
| TEST PIT #9    |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-20"          | 10R3/3      | GR. SAND                                                              | MASSIVE                                               | FRILABLE                            | NONE           |
| 20-24"         | 10R3/2      | F.S. LOAM                                                             | MASSIVE                                               | FRILABLE                            | NONE           |
| 24-30"         | 10R5/6      | F.S. LOAM                                                             | MASSIVE                                               | FRILABLE                            | NONE           |
| 30-43"         | 2.5Y5/3     | L SAND                                                                | MASSIVE                                               | FRILABLE                            | 7.5Y5/6, 10%   |
| 63-4"          | REFUSAL     |                                                                       |                                                       |                                     |                |
| REFUSAL AT 63" | EHMT AT 30" |                                                                       |                                                       |                                     |                |
| TEST PIT #10   |             |                                                                       |                                                       |                                     |                |
| DEPTH          | COLOR       | TEXTURE <td>STRUCTURE<td>CONSISTENCE<td>REDOX FEATURES</td></td></td> | STRUCTURE <td>CONSISTENCE<td>REDOX FEATURES</td></td> | CONSISTENCE <td>REDOX FEATURES</td> | REDOX FEATURES |
| 0-12"          | 10R4/4      | GR. SAND                                                              | MASSIVE                                               | FRILABLE                            | NONE           |
| 12-27"         | 10R5/6      | L SAND                                                                | MASSIVE                                               | FRILABLE                            | NONE           |
| 27-32"         | 10R6/2      | L SAND                                                                | MASSIVE                                               | FRILABLE                            | 7.5Y5/6, 10%   |
| 32-37"         | 10R6/2      | L SAND                                                                | MASSIVE                                               | FRILABLE                            | 7.5Y5/6, 10%   |
| 37-39"         | 10R6/2      | SAND                                                                  | MASSIVE                                               | FRILABLE                            | 7.5Y5/6, 10%   |
| 39-4"          | REFUSAL     |                                                                       |                                                       |                                     |                |
| REFUSAL AT 87" | EHMT AT 27" |                                                                       |                                                       |                                     |                |
- LEGEND**
- | SYMBOL | DESCRIPTION                               |
|--------|-------------------------------------------|
| ---    | EXISTING PROPERTY LINE                    |
| ---    | PROPOSED PROPERTY LINE                    |
| ---    | WETLAND LINE                              |
| ---    | EXISTING STONEWALL                        |
| ---    | EXISTING WATER LINE                       |
| ---    | PROPOSED WATER LINE                       |
| ---    | EXISTING SEWER LINE                       |
| ---    | PROPOSED SEWER LINE                       |
| ---    | EXISTING OVERHEAD ELECTRIC                |
| ---    | PROPOSED OVERHEAD ELECTRIC                |
| ---    | EXISTING UNDERGROUND ELECTRIC             |
| ---    | PROPOSED UNDERGROUND ELECTRIC             |
| ---    | 1 FT CONTOUR                              |
| ---    | 5 FT CONTOUR                              |
| ---    | EXISTING GRADE                            |
| ---    | PROPOSED DRAIN LINE                       |
| ---    | PERIMETER CONTROL BARRIER                 |
| ---    | PROPOSED GAS LINE                         |
| ---    | PROPOSED STABILIZED CONSTRUCTION LOCATION |
| ---    | UNIT OF CLEARING AND GRUBBING             |
| ---    | FENCE                                     |
| ---    | PROPOSED RIP RAP                          |
- TEST PIT (SEE ABOVE)**
- | SYMBOL | DESCRIPTION                     |
|--------|---------------------------------|
| ---    | EXISTING SANITARY SEWER MANHOLE |
| ---    | PROPOSED SANITARY SEWER MANHOLE |
| ---    | EXISTING CATCH BASIN            |
| ---    | PROPOSED CATCH BASIN            |
| ---    | EXISTING DRAIN MANHOLE          |
| ---    | PROPOSED DRAIN MANHOLE          |
| ---    | EXISTING UNDERGROUND            |
| ---    | PROPOSED UNDERGROUND            |
| ---    | PROPOSED SIGN                   |
| ---    | PROPOSED LIGHT                  |
| ---    | INLET PROTECTION BARRIER        |
| ---    | EXISTING UTILITY POLE           |
| ---    | PROPOSED UTILITY POLE           |
| ---    | EXISTING FIRE HYDRANT           |
| ---    | PROPOSED FIRE HYDRANT           |
| ---    | EXISTING WATER VALVE            |
| ---    | PROPOSED WATER VALVE            |



**Norway Plains Rd Subdivision**

**Ekimbor, LLC**



PROJECT NAME AND LOCATION	43°-19'-28"N
NORWAY PLAINS ROAD SUBDIVISION	
13 NORWAY PLAINS ROAD	70°-58'-40"W
ROCHESTER, NH 03868	
<b>DESCRIPTION</b>	
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH ASSOCIATED PARKING, ROAD, DRAINAGE, UTILITIES, AND LANDSCAPING CONSISTENT WITH THE CITY OF ROCHESTER'S MASTER PLAN.	
<b>DISTURBED AREA</b>	
THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 4.53 ACRES.	
<b>SOIL CHARACTERISTICS</b>	
BASED ON SITE SPECIFIC SOIL SURVEY CONDUCTED BY MHSC, INC., THE SITE CONSISTS OF WELL TO POORLY DRAINED SOILS WITH HYDROLOGIC SOIL GROUPS B, C, AND D.	
<b>NAME OF RECEIVING WATERS</b>	
THE STORM WATER RUNOFF WILL BE DISCHARGED VIA OVERLAND FLOW TO UNNAMED WETLAND WHICH ULTIMATELY FLOWS TO THE COCHICHEO RIVER.	
<b>SEQUENCE OF MAJOR ACTIVITIES</b>	
1. CUT AND CLEAR TREES.	
2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES, EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL IMPLICATE STORMWATER RUNOFF SUCH AS:	
- DEVELOPMENT OF BORROW PIT AREAS	
- DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE	
- FLOOD PLAIN EXCAVATION WORK	
- STEEP CHANNEL MODIFICATIONS	
- CONTROL OF DUST	
- CONSTRUCTION OF ACCESS AND HAUL ROAD	
- NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS	
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING	
3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.	
4. CLEAR AND DISPOSE OF DEBRIS.	
5. CONSTRUCT TEMPORARY CURBENTS AND DIVERSION CHANNELS AS REQUIRED.	
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.	
7. DESIGN AND CONSTRUCT EROSION CONTROL, SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDS AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.	
8. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERRNS, DRAIN, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., WHICH AND SEED AS REQUIRED.	
9. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.	
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.	
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.	
12. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.	

[illegible]

4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

5. ACTIVITIES.

6. OWNER, AND THE CONTRACTOR.

7. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR

8. THIS PROJECT.

9. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT.

10. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.

11. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.

12. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR

13. ACTIVITIES.

14. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

15. SPECIFICATIONS.

16. ONCE APPLIED FERTILIZER SHALL BE MOVED INTO THE SOIL, TO LIMIT EXPOSURE TO STORMWATER.

17. USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

18. PAINTS:

19. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.

20. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM.

21. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

22. SPILL CONTROL PRACTICES

23. IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

24. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

25. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DISTURBANS, HOOPS, PADS, GLOVES, GOGGLES, APRONS, RAIN COATS, SHOES, SANDWICHES AND PLASTIC OR METAL TRASH CANS.

26. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

27. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

28. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED.

29. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

30. VEHICLE FUELING AND MAINTENANCE PRACTICE:

31. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.

32. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED.

33. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.

34. CONTRACTOR SHALL KEEP VEHICLES SHALL BE INSPECTED REGULARLY FOR OIL LEAKS AND DAMAGE.

35. CONTRACTOR SHALL USE DUMP PANS, DUMP CLOSERS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

36. POSITION CONTROL, OBSERVATIONS AND MAINTENANCE PRACTICES

37. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THIS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON-SITE AT ALL TIMES.

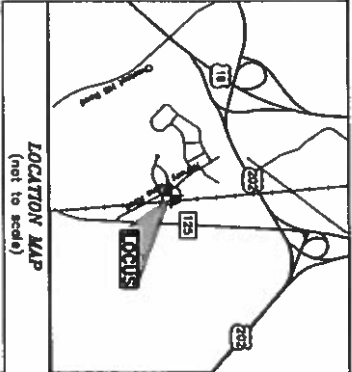
**Tighte&Bond**  
www.tightebond.com

ZONING DATA:

ZONE: Residential 2 (R2)

REQUIREMENTS: PER TABLE 19-A

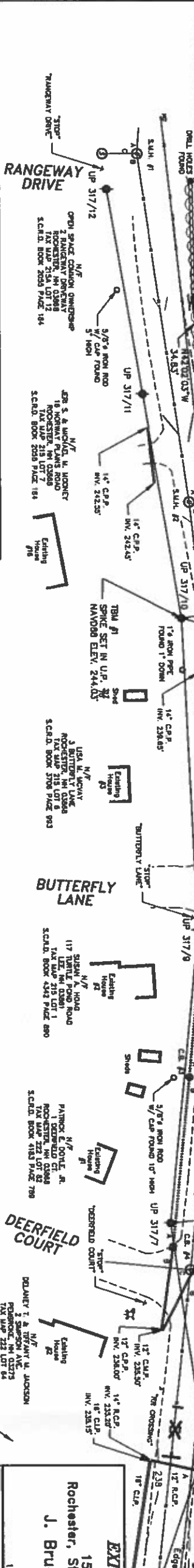
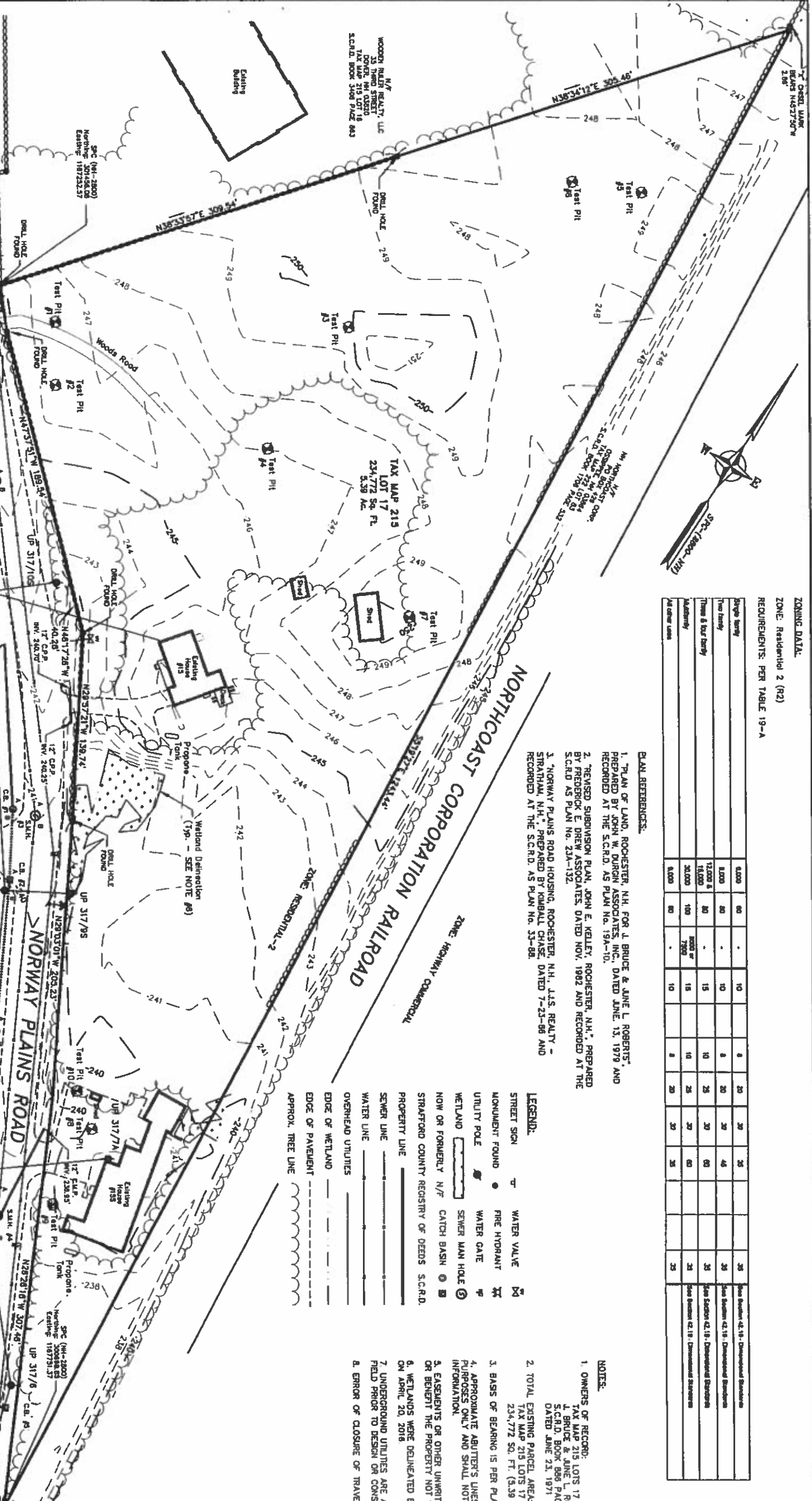
Single family	6,000	60	10		8	20	20	20	20			25	Open Section 42.18 - Dispersed Structures
Two family	1,000	80	10		8	20	20	20	20			25	Open Section 42.18 - Dispersed Structures
Three & four family	12,000 & 18,000	40	-	15		25	20	40				25	Open Section 42.18 - Dispersed Structures
Medium density	20,000	100	8500 or 7500	15	10	25	20	60				25	Open Section 42.18 - Dispersed Structures
High density	6,000	80	-	10		20	20	25				25	



- PLAN REFERENCES:
1. PLAN OF LAND, ROCHESTER, N.H. FOR J. BRUCE & JUNE L. ROBERTS, PREPARED BY JOHN W. DURON ASSOCIATES, INC., DATED JUNE 13, 1979 AND RECORDED AT THE S.C.R.D. AS PLAN NO. 19A-10.
  2. REVISED SUBDIVISION PLAN, JOHN E. KELLEY, ROCHESTER, N.H., PREPARED BY FREDERICK E. DREW ASSOCIATES, DATED NOV. 1982 AND RECORDED AT THE S.C.R.D. AS PLAN NO. 24A-132.
  3. NORWAY PLAINS ROAD HOUSING, ROCHESTER, N.H., J.L.S. REALTY - STRATHAM, N.H., PREPARED BY KIMBALL CHASE, DATED 7-23-86 AND RECORDED AT THE S.C.R.D. AS PLAN NO. 33-88.

- LEGEND:
- STREET SIGN
  - MONUMENT FOUND
  - UTILITY POLE
  - WETLAND
  - NOW OR FORMERLY N/F
  - PROPERTY LINE
  - SEWER LINE
  - WATER LINE
  - OVERHEAD UTILITIES
  - EDGE OF WETLAND
  - EDGE OF PAVEMENT
  - APPROX. TREE LINE

- NOTES:
1. OWNERS OF RECORD: TAX MAP 215 LOTS 17, J. BRUCE & JUNE L. ROBERTS, S.C.R.D. BOOK 886 PAGE 419, DATED JUNE 23, 1971.
  2. TOTAL EXISTING PARCEL AREA: 234,772 SQ. FT. (5.39 AC.)
  3. BASIS OF BEARING IS PER PLAN REFERENCE #1.
  4. APPROXIMATE ADJUTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
  5. EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
  6. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON APRIL 20, 2016.
  7. UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS. VERIFY IN FIELD PRIOR TO DESIGN OR CONSTRUCTION.
  8. ERROR OF CLOSURE OF TRAVERSE IS 1:10,000.



GRAPHIC SCALE



REV.	DATE	ADD. TESTS / COMMENTS	STATUS	BY	CHKD.	APPD.
A	9/1/16					

**EXISTING CONDITIONS**

FOR PROPERTY AT  
15 Norway Plains Road  
Rochester, Stratford County, New Hampshire  
OWNED BY  
J. Bruce & June L. Roberts

2637 East Atlantic Blvd.  
Durham, NC 27803  
PREPARED FOR  
KITTERY, MAINE 03904

**EASTERLY**

**SURVEYING, Inc.**

SURVEYORS IN N.H. & MAINE  
(207) 439-6333  
191 STATE ROAD, SUITE #1  
KITTERY, MAINE 03904



Norway Plains  
Rd Subdivision

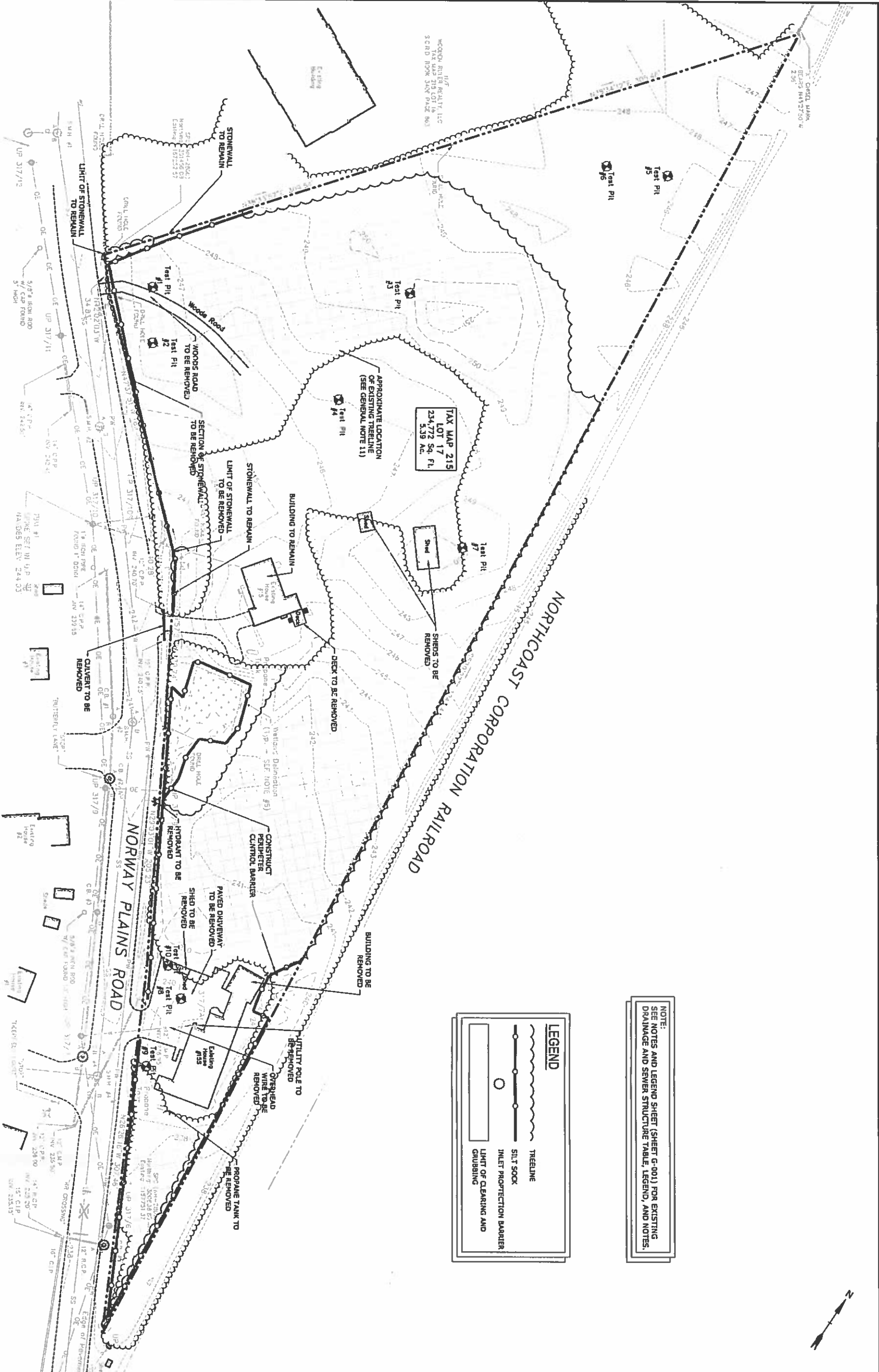
Ekimbor, LLC

Rochester, New  
Hampshire

NAME	DATE	DESCRIPTION
PROJECT NO.	9/20/18	G-0043
DATE	09/23/18	ENC/AM
DRAWN BY:	RAM	
CHECKED	RAM	
APPROVED	RAM	

EXISTING  
CONDITIONS/DEMOLITION  
PLAN

SCALE:  
AS SHOWN



NOTE:  
SEE NOTES AND LEGEND SHEET (SHEET G-001) FOR EXISTING  
DRAINAGE AND SEWER STRUCTURE TABLE, LEGEND, AND NOTES.

LEGEND

- TREELINE
- SILT SOCK
- INLET PROTECTION BARRIER
- LIMIT OF CLEARING AND GRUBBING

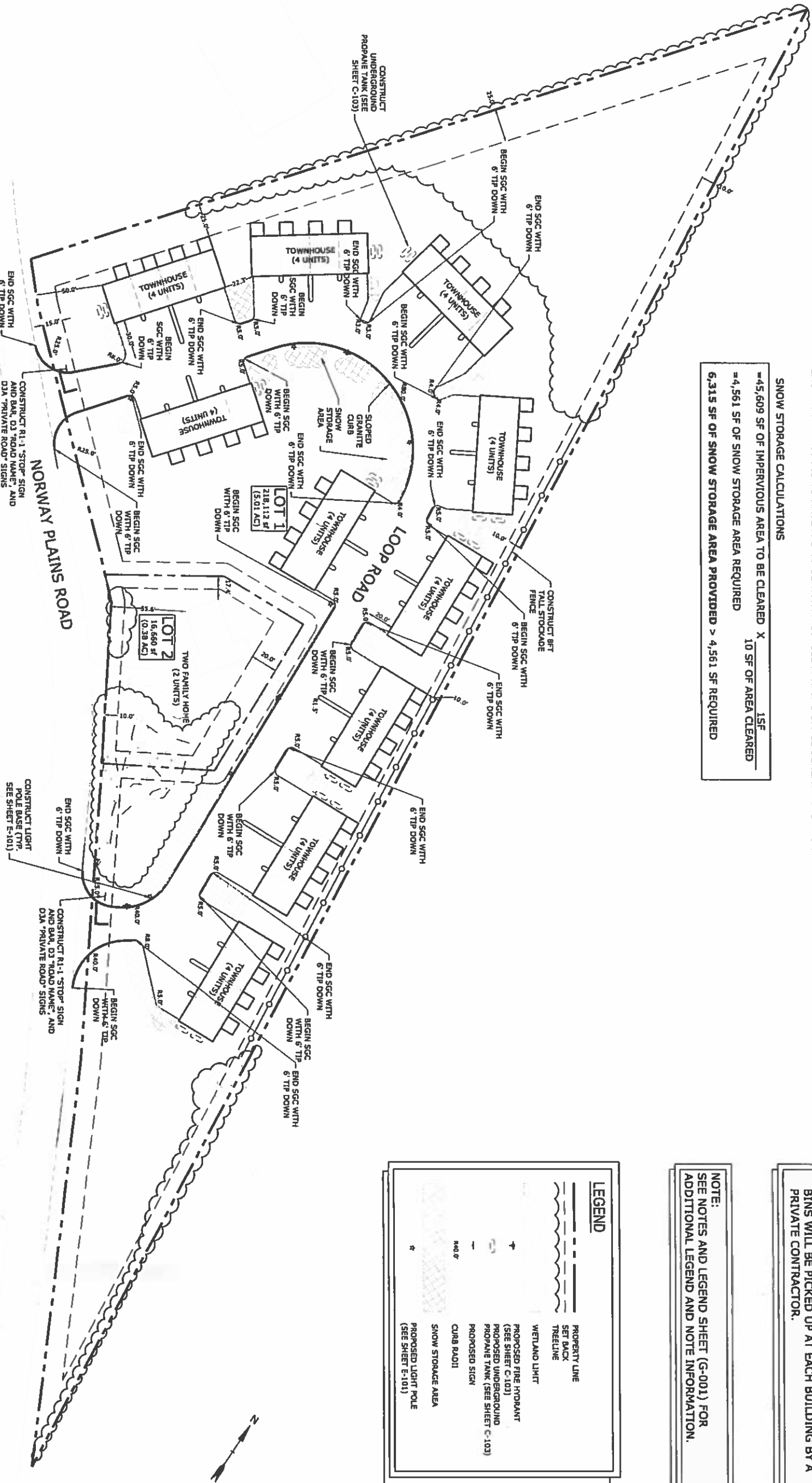
DIMENSIONAL REQUIREMENTS									
BUILDING TYPE	LOT AREA SQ. FT.	FRONTAGE	SETBACKS			BUILDING FOOTPRINT (%)	LOT COVERAGE	BUILDING HEIGHT	UNITS
			FRONT	SIDE	REAR				
REQUIRED TOWNHOUSE	7,500 /UNIT MIN.	80' MIN.	15.0'	10.0'	25.0'	30% MAX.	60% MAX.	35' MAX.	4
LOT 1 TOWNHOUSE	218,112**	725'	50.0'	10.0'	25.0'	16%*	35%*	535'	4
REQUIRED LOT 1	9,000	80' MIN.	10.0'	8.0'	20.0'	30% MAX.	45% MAX.	35' MAX.	2
LOT 2 TWO FAMILY	16,660	142'	56.6'	17.4'	20.0'	9%	17%*	535'	2

\*ASSUMES 40' x 88' BUILDING FOOTPRINT  
\*\* 218,112 sq' / 40 UNITS = 5452 sq'/UNIT  
VARIANCE GRANTED FOR REDUCED LOT DENSITY ON AUGUST 10, 2016

PARKING CALCULATIONS:  
RESIDENTIAL REQUIRED (SINGLE FAMILY) PROVIDED (FOUR FAMILY)  
PARKING STALLS 2 (PER UNIT) 80 SPACES\*

\*EACH TOWNHOUSE IS TO HAVE A GARAGE WITH A SINGLE PARKING SPACE BENEATH THE UNIT.

SNOW STORAGE CALCULATIONS  
=45,609 SF OF IMPERVIOUS AREA TO BE CLEARED X 15%  
=4,561 SF OF SNOW STORAGE AREA REQUIRED  
10 SF OF AREA CLEARED  
6,315 SF OF SNOW STORAGE AREA PROVIDED > 4,561 SF REQUIRED



FINAL APPROVAL BY ROCHESTER PLANNING BOARD  
CERTIFIED BY \_\_\_\_\_ DATE \_\_\_\_\_

SPECIAL NOTES:  
1. OWNER SHALL BE RESPONSIBLE FOR REMOVING AND PROPERLY DISPOSING OF SNOW IF IT EXCEEDS DESIGNATED SNOW STORAGE AREAS.  
2. REFUSE AND RECYCLING PICK UP SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/ASSOCIATION. RECYCLING AND REFUSE BINS WILL BE PICKED UP AT EACH BUILDING BY A PRIVATE CONTRACTOR.

NOTE:  
SEE NOTES AND LEGEND SHEET (G-001) FOR ADDITIONAL LEGEND AND NOTE INFORMATION.

LEGEND

PROPERTY LINE

SET BACK

TREELINE

WETLAND LIMIT

PROPOSED FIRE HYDRANT (SEE SHEET C-103)

PROPOSED UNDERGROUND PROPANE TANK (SEE SHEET C-103)

PROPOSED SIGN

CURB RADI1

SNOW STORAGE AREA

PROPOSED LIGHT POLE (SEE SHEET E-101)

+

-

+

+

+

+

+

+

+

+



Norway Plains Rd Subdivision

Ekimbor, LLC

Rochester, New Hampshire

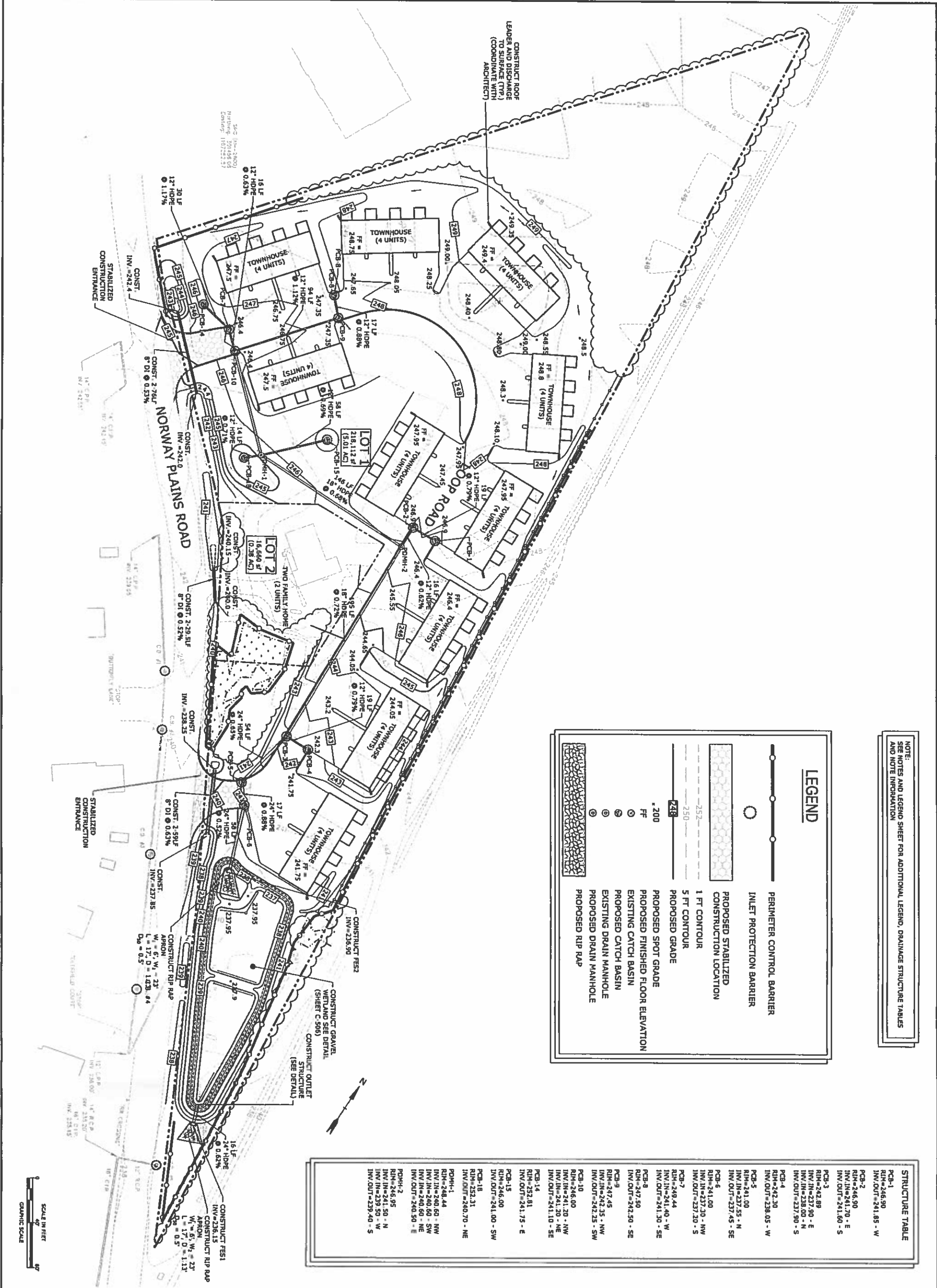
MARK	DATE	DISCUSSION
PROJECT NO.		G-0093
DATE:	08/05/16	
FILE:	08093-C-101.dwg	END/PLAN
DRAWN BY:	KAN	
CHECKED:		
APPROVED:		

SITE PLAN

SCALE: AS SHOWN

C-101





STRUCTURE TABLE	
PCB-1	RIM-246.50 INV./OUT.=241.85 -W
PCB-2	RIM-246.50 RIM-246.10 -E INV./OUT.=241.60 -S
PCB-3	RIM-242.89 INV./IN-237.50 -E INV./IN-238.00 -N INV./OUT.=237.90 -S
PCB-4	RIM-242.30 INV./OUT.=238.05 -W
PCB-5	RIM-241.00 INV./IN-241.00 INV./OUT.=237.45 -SE
PCB-6	RIM-241.00 INV./IN-241.00 INV./OUT.=237.20 -S
PCB-7	RIM-249.44 INV./IN-241.00 -W INV./OUT.=241.30 -SE
PCB-8	RIM-247.50 INV./OUT.=242.50 -SE
PCB-9	RIM-247.45 INV./IN-242.35 -NW INV./OUT.=242.25 -SW
PCB-10	RIM-252.81 INV./OUT.=241.75 -E
PCB-11	RIM-246.60 INV./IN-241.30 -NW INV./IN-241.30 -NE INV./OUT.=241.10 -SE
PCB-12	RIM-246.60 INV./OUT.=241.00 -SW
PCB-13	RIM-246.60 INV./OUT.=240.50 -E
PCB-14	RIM-246.60 INV./OUT.=240.50 -E
PCB-15	RIM-246.60 INV./OUT.=240.50 -E
PCB-16	RIM-246.60 INV./OUT.=240.50 -E
PCB-17	RIM-246.60 INV./OUT.=240.50 -E
PCB-18	RIM-246.60 INV./OUT.=240.50 -E
PCB-19	RIM-246.60 INV./OUT.=240.50 -E
PCB-20	RIM-246.60 INV./OUT.=240.50 -E
PCB-21	RIM-246.60 INV./OUT.=240.50 -E
PCB-22	RIM-246.60 INV./OUT.=240.50 -E
PCB-23	RIM-246.60 INV./OUT.=240.50 -E
PCB-24	RIM-246.60 INV./OUT.=240.50 -E
PCB-25	RIM-246.60 INV./OUT.=240.50 -E
PCB-26	RIM-246.60 INV./OUT.=240.50 -E
PCB-27	RIM-246.60 INV./OUT.=240.50 -E
PCB-28	RIM-246.60 INV./OUT.=240.50 -E
PCB-29	RIM-246.60 INV./OUT.=240.50 -E
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PCB-34	RIM-246.60 INV./OUT.=240.50 -E
PCB-35	RIM-246.60 INV./OUT.=240.50 -E
PCB-36	RIM-246.60 INV./OUT.=240.50 -E
PCB-37	RIM-246.60 INV./OUT.=240.50 -E
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PCB-40	RIM-246.60 INV./OUT.=240.50 -E
PCB-41	RIM-246.60 INV./OUT.=240.50 -E
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PCB-71	RIM-246.60 INV./OUT.=240.50 -E
PCB-72	RIM-246.60 INV./OUT.=240.50 -E
PCB-73	RIM-246.60 INV./OUT.=240.50 -E
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PCB-80	RIM-246.60 INV./OUT.=240.50 -E
PCB-81	RIM-246.60 INV./OUT.=240.50 -E
PCB-82	RIM-246.60 INV./OUT.=240.50 -E
PCB-83	RIM-246.60 INV./OUT.=240.50 -E
PCB-84	RIM-246.60 INV./OUT.=240.50 -E
PCB-85	RIM-246.60 INV./OUT.=240.50 -E
PCB-86	RIM-246.60 INV./OUT.=240.50 -E</

**Tighe & Bond**  
www.tighebond.com

## Norway Plains Rd Subdivision

**Ekimbor, LLC**

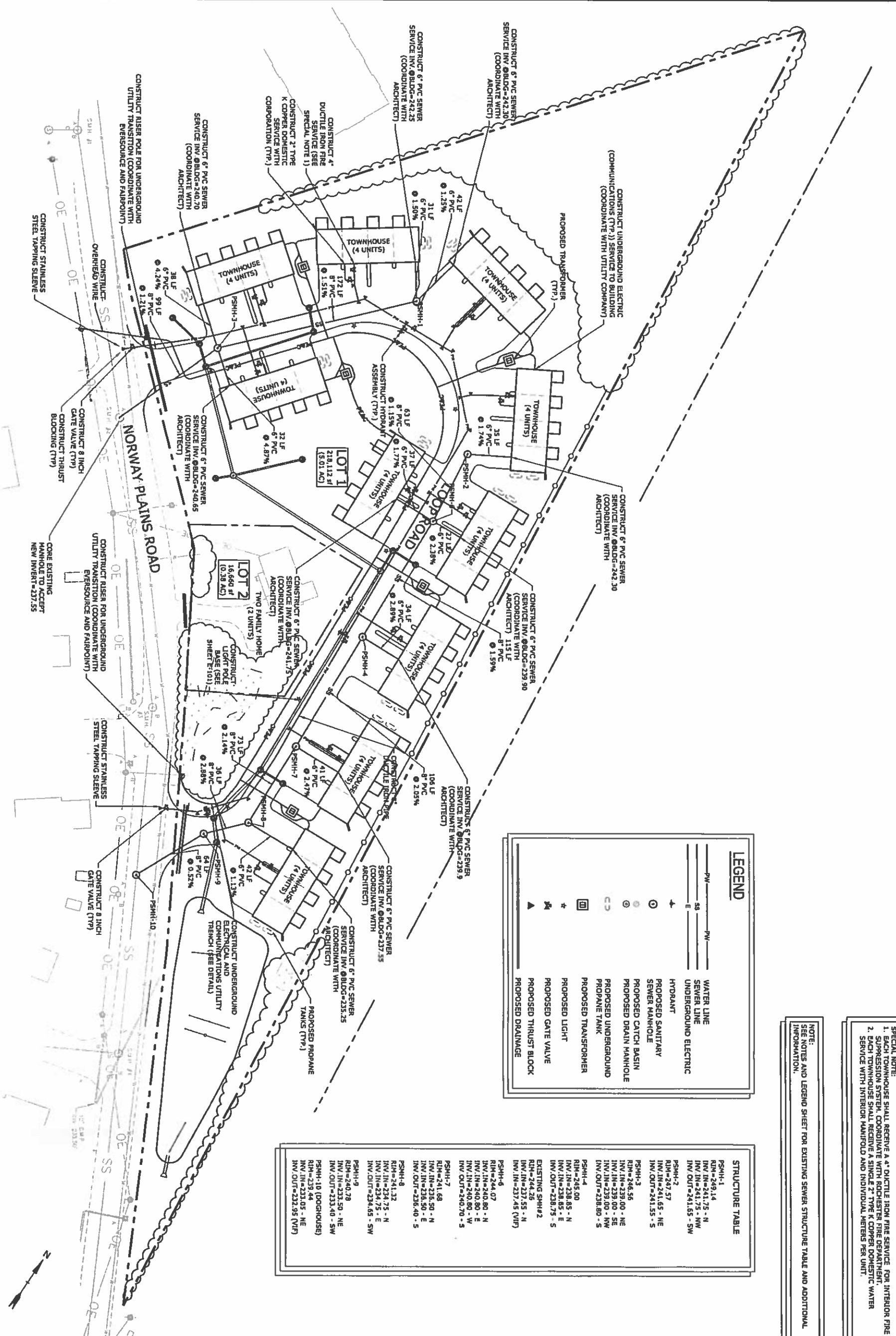
**Rochester, New  
Hampshire**

NAME	DATE	DESCRIPTION
PROJECT NO:		C-6493
DATE:		9/06/18
TITLE: 00093-C-102.dwg		
DRAWN BY:		ERICAH
CHECKED:		MAN
APPROVED:		BLM

## GRADING PLAN

**SCALE: AS SHOWN**

C-102



# LEGEND

—PW—	WATER LINE
—SA—	SEWER LINE
—E—	UNDERGROUND ELECTRIC
+	HYDRANT
⊙	PROPOSED SANITARY SEWER MANHOLE
⊗	PROPOSED CATCH BASIN
⊙	PROPOSED DRAIN MANHOLE
⋈	PROPOSED UNDERGROUND PROPANE TANK
⊞	PROPOSED TRANSFORMER
+	PROPOSED LIGHT
⊞	PROPOSED GATE VALVE
▲	PROPOSED THRUST BLOCK
—	PROPOSED DRAINAGE

### STRUCTURE TABLE

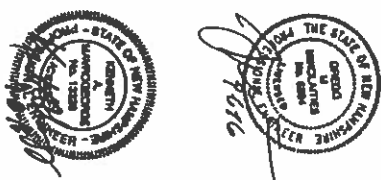
PSMH-1	RM-249,14	INV,IN-241,75 - N	INV,OUT-241,75 - NW
PSMH-2	RM-247,57	INV,IN-241,65 - NE	INV,OUT-241,55 - SW
PSMH-3	RM-246,56	INV,IN-239,00 - NE	INV,IN-239,00 - NW
PSMH-4	RM-245,00	INV,IN-238,65 - N	INV,OUT-238,75 - S
EXISTING SHH#2	RM-244,26	INV,IN-237,55 - N	
PSMH-5	RM-243,47	INV,IN-237,45 (VWF)	
PSMH-6	RM-242,07	INV,IN-240,80 - N	
PSMH-7	RM-240,80	INV,IN-240,80 - E	
PSMH-8	RM-239,44	INV,OUT-234,65 - SW	
PSMH-9	RM-240,78	INV,OUT-233,50 - NE	
PSMH-10 (DOGHOUSE)	RM-239,44	INV,OUT-232,95 - NE	

**SPECIAL NOTE:**

1. EACH TOWNHOUSE SHALL RECEIVE A 4" DUCTILE IRON FIRE SERVICE FOR INTERIOR FIRE SUPPRESSION SYSTEM. COORDINATE WITH ROCHESTER FIRE DEPARTMENT.
2. EACH TOWNHOUSE SHALL RECEIVE A SINGLE 2" TYPE K COPPER DOMESTIC WATER SERVICE WITH INTERIOR MANIFOLD AND INDIVIDUAL METERS PER UNIT.

NOTE:  
SEE NOTES AND LEGEND SHEET FOR EXISTING SEWER STRUCTURE TABLE AND ADDITIONAL INFORMATION.

**Tighe & Bond**  
www.tighebond.com



## Norway Plains Rd Subdivision

**Ekimbor, LLC**

**Rochester, New  
Hampshire**

BOOK	DATE	DESCRIPTION
		G-0093
PAYMENT NO.	DATE	8706/15
TITLE: G-0093-E-100.dmg		
ORIGINATING BY:		ERIC/JAM
CHECKED:		KLM
APPROVED:		BLM

## UTILITIES PLAN

SCALE: AS SHOWN

C-103



**Ekimbar, LLC**

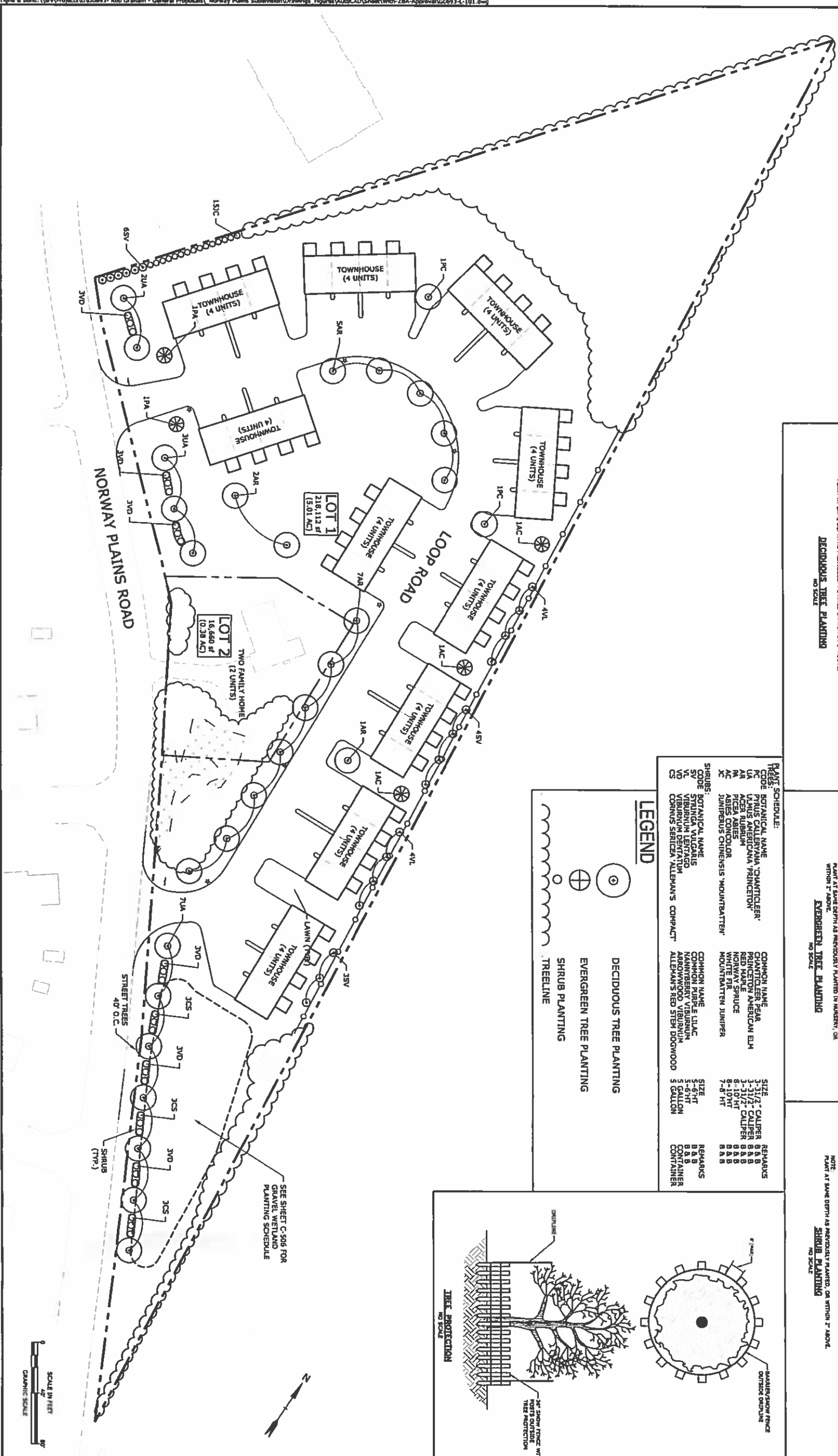
**Rochester, New Hampshire**

NAME	DATE	DESCRIPTION
PROJECT NO:		G-0093
DATE:		9/26/16
FILE: 00093-101.dwg		
DRAWN BY:		RCY/CMH
CHECKED:		RAM
APPROVED:		BLM

## LANDSCAPE PLAN

**SCALE: AS SHOWN**

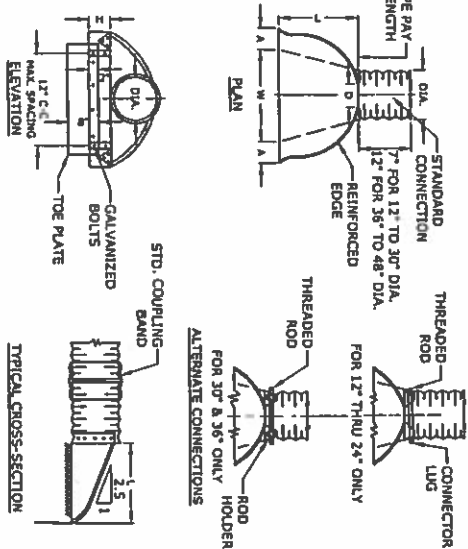
L-101





PIPE DIA.	METAL GAGE	DIMENSIONS			
		A (1" TOL.)	B (1" TOL.)	H (1" TOL.)	W (2" TOL.)
12"	16	6"	6"	6"	24"
15"	16	7"	6"	6"	30"
18"	16	8"	13"	6"	31"
24"	16	10"	16"	6"	41"
30"	14	12"	16"	8"	51"
36"	14	14"	19"	9"	60"
42"	12	16"	22"	11"	69"
48"	12	18"	27"	12"	78"

- NOTES:
- END SECTION FOR 12" TO 30" DIA. PIPE IN ONE PIECE. FOR 36" TO 48" DIA. PIPE TO BE MADE FROM TWO SHEETS JOINED BY RIVETING OR BOLTING ON CENTER LINE.
  - CONNECTOR SECTION, CORNER PLATE AND TOE PLATE TO BE SAME THICKNESS AS END SECTION AND EACH TO BE GALVANIZED.



METAL FLARED END SECTION  
NO SCALE

Ekimbor, LLC  
Rochester, New  
Hampshire

Norway Plains  
Rd Subdivision

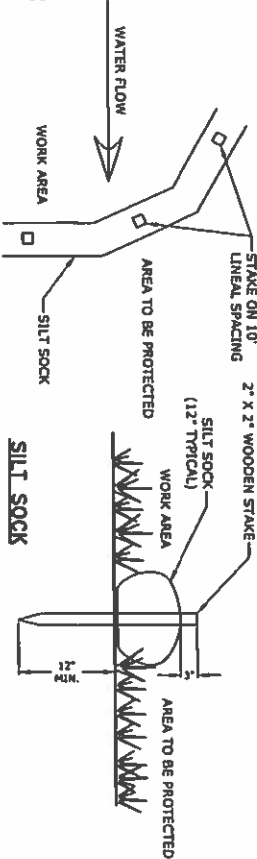
NAME	DATE	DESCRIPTION
PROJECT NO:	6-0003	
DATE:	7/20/16	
FILE:	00003-C-501.dwg	
DRAWN BY:	EMC/AM	
CHECKED:	KAM	
APPROVED:	BLM	

DETAILS SHEET

SCALE: AS SHOWN

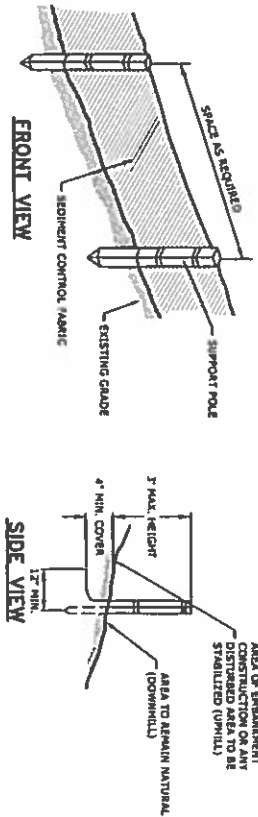
C-501

PERIMETER CONTROL BARRIER  
NO SCALE

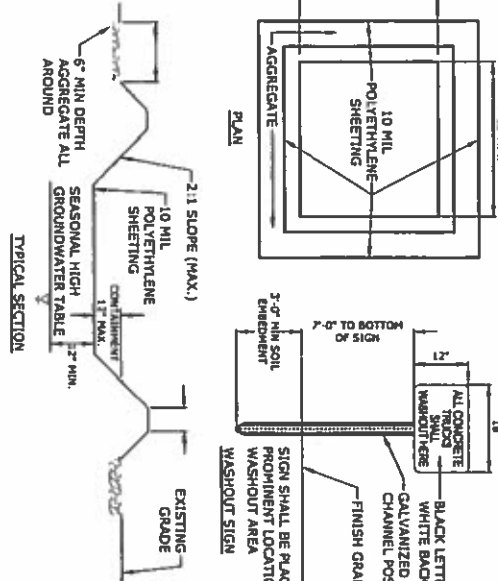


SILT FENCE

NOTE:  
SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.

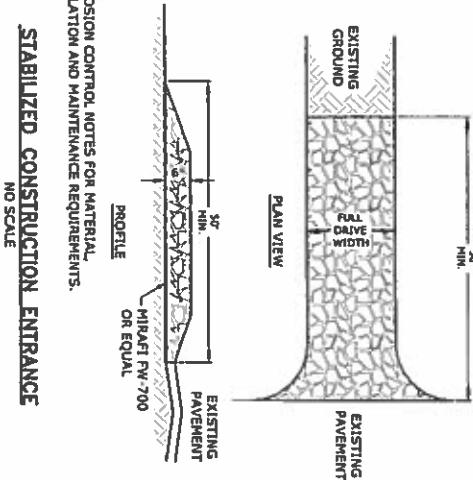


CONCRETE WASHOUT AREA  
NO SCALE



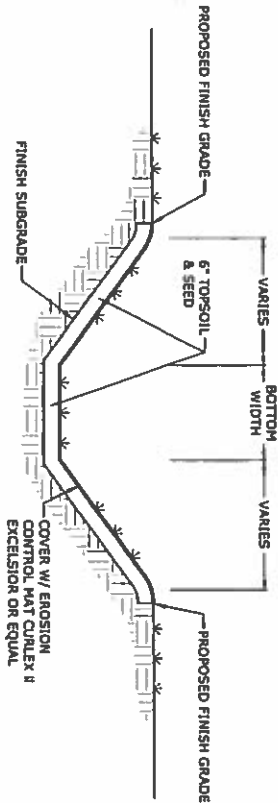
- NOTES:
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND
  - CONTAIN ALL LIQUIDS MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
  - WASHOUT AREAS) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  - AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

STABILIZED CONSTRUCTION ENTRANCE  
NO SCALE

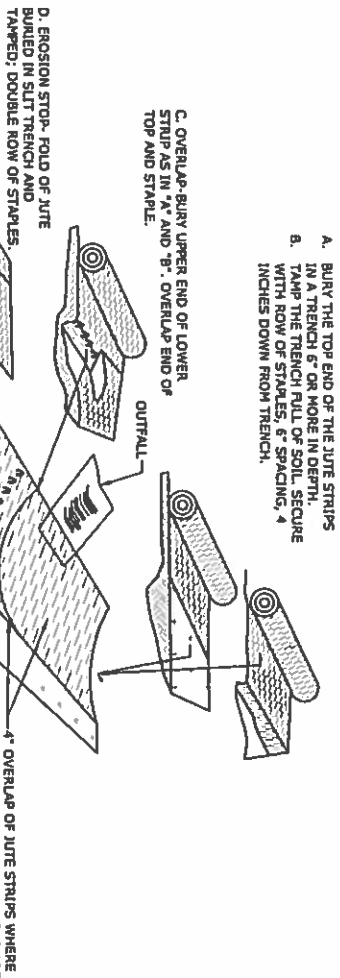


NOTE:  
SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.

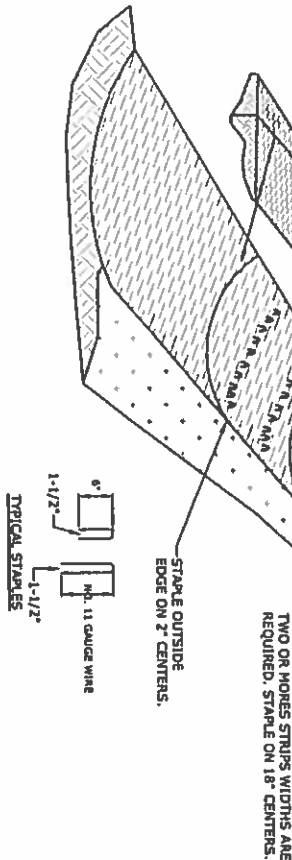
GRASS LINED CHANNEL  
NO SCALE



- NOTES:
- THE FOUNDATION AREA OF THE WATERWAY SHALL BE CLEARED AND GRUBBED OF ALL TREES, BRUSH, STUMPS, AND OTHER OBSTRUCTIONABLE MATERIAL. MATERIALS REMOVED SHALL BE DISPOSED OF SO THEY WILL NOT INTERFERE WITH THE CONSTRUCTION OR PROPER FUNCTIONING OF THE WATERWAY.
  - THE WATERWAY SHALL BE REINFORCED OR SHORED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN CRITERIA. THE WATERWAY SHALL BE FREE OF HAZARDOUS MATERIALS WHICH WILL IMPED NORMAL FLOW.
  - EMPTY FILLS REQUIRED TO MEET SUBGRADE REQUIREMENTS BECAUSE OF OVER EXCAVATION OR TOPOGRAPHY SHALL BE COMPACTED TO THE SAME DENSITY AS THE SUBGRADE. THE FILL SHALL BE PROTECTED FROM EROSION BY A COVER OR OTHER MEANS TO PREVENT FILL FROM BEING REMOVED AND NOT REPOSED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
  - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE EROSION AND AIR AND WATER POLLUTION. ALL APPROPRIATE STATE AND LOCAL LAWS AND REGULATIONS SHALL BE COMPLIED WITH FOR INSTALLATION.
  - VEGETATION SHALL BE ESTABLISHED IN THE SWALE PRIOR TO ALLOWING STORMWATER RUNOFF TO FLOW THROUGH THE SWALE.
  - MAINTENANCE OF THE VEGETATION IN THE CAUSED WATERWAY IS EXTREMELY IMPORTANT IN ORDER TO PREVENT BUILDUP, EROSION, AND FAILURE OF THE WATERWAY. MOWING SHOULD BE DONE FREQUENTLY, ENOUGH TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION IN THE CAUSED AREAS. VIGOROUS CONDITION, THE VEGETATION SHOULD NOT BE MOVED TOO CLOSELY SO AS TO REDUCE THE EROSION RESISTANCE IN THE WATERWAY.
  - THE WATERWAY SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE WATERWAY. BILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND REVEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.
  - PERIODIC APPLICATIONS OF LIME AND FERTILIZERS MAY BE NEEDED TO MAINTAIN VIGOROUS GROWTH.



JUTE MATTING DETAIL  
NO SCALE





Norway Plains  
Rd Subdivision

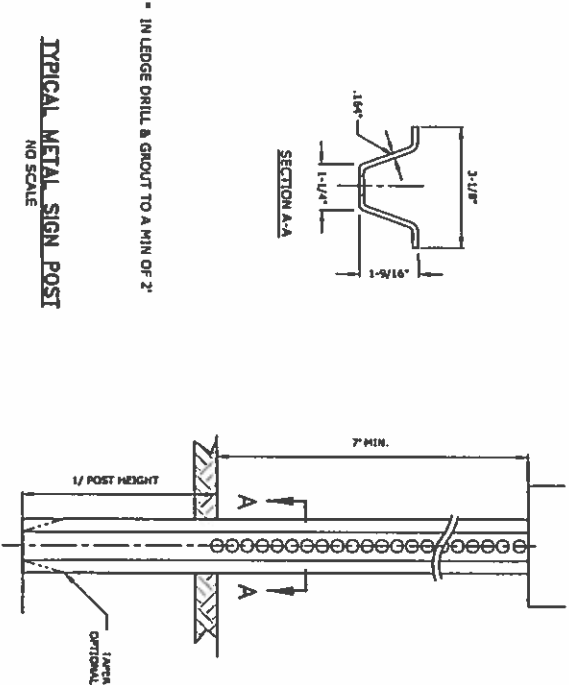
Ekimbor, LLC

Rochester, New  
Hampshire

DETAILS SHEET

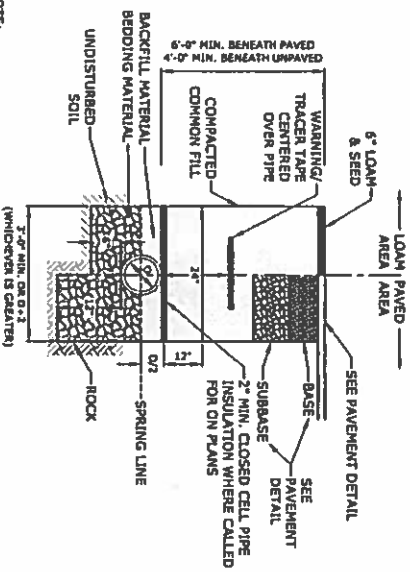
SCALE: AS SHOWN

C-502

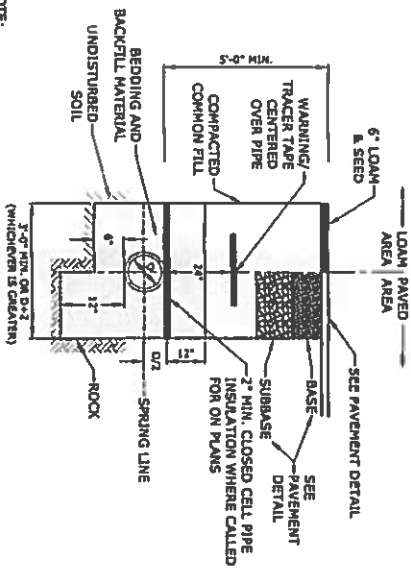


\* IN LEDGE DRILL & GROUT TO A MIN OF 2'

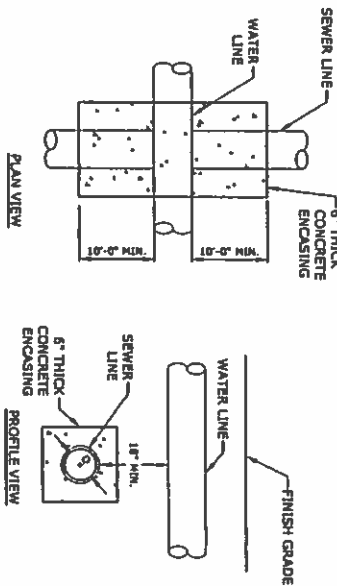
TYPICAL METAL SIGN POST  
NO SCALE



SEWER TRENCH  
NO SCALE

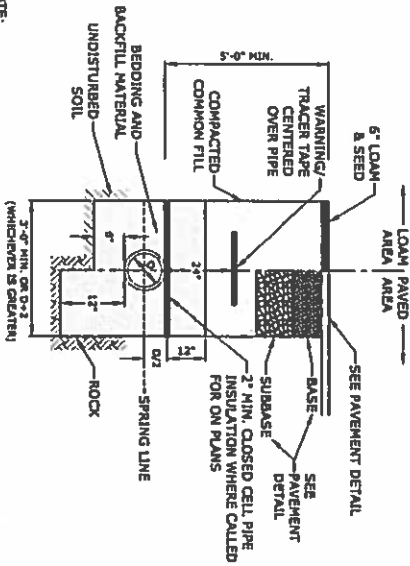


GAS TRENCH  
NO SCALE



NOTE:  
A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS. WHERE SEWER AND WATER CROSS, ENCASE SEWER IN CONCRETE 6" THICK OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE WITH JOINTS FOR A MINIMUM DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING. CROSSING SHALL CONFORM TO CITY OF ROCHESTER WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.

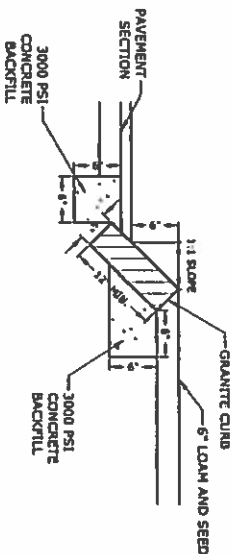
WATER & SEWER CROSSING  
NO SCALE



WATER TRENCH  
NO SCALE

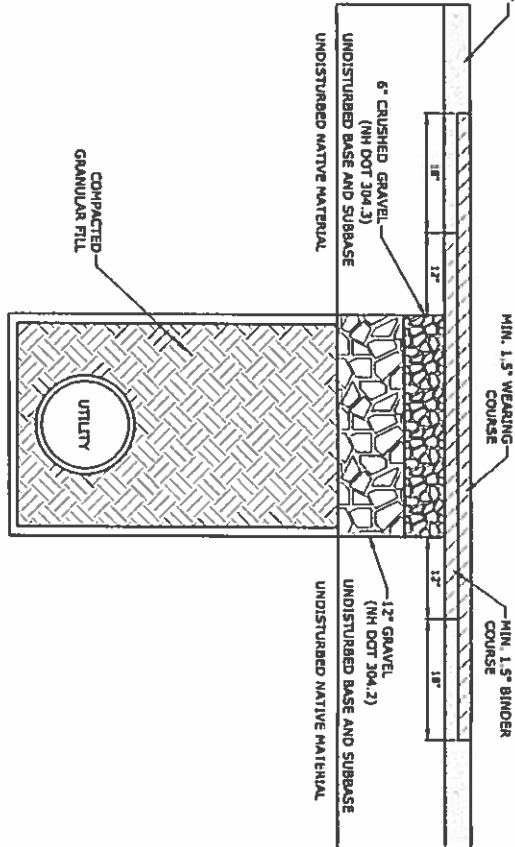
SIGN ID NUMBER	SIGN SIZE WIDTH x HEIGHT	SIGN	TEXT	NO. OF SIGNS	BACK-GROUND	LEGEND	BORDER	POST SIZE & QUANTITY	UNIT AREA (SQ. FT.)
RI-1	30" x 30"	STOP	SEE STANDARD HIGHWAY SIGN 2004 EDITION/2012 SUPPLEMENT PUBLISHED BY USDOT - FHWA	2	RED	WHITE	WHITE	U-CHANNEL 6.25	12.5
D3	36" x 9"	LOOP ROAD		2	GREEN	WHITE	WHITE	U-CHANNEL 2.25	4.50
D3A	30" x 9"	PRIVATE ROAD		2	WHITE	BLACK	WHITE	U-CHANNEL 1.75	3.50

SIGN LEGEND  
NO SCALE



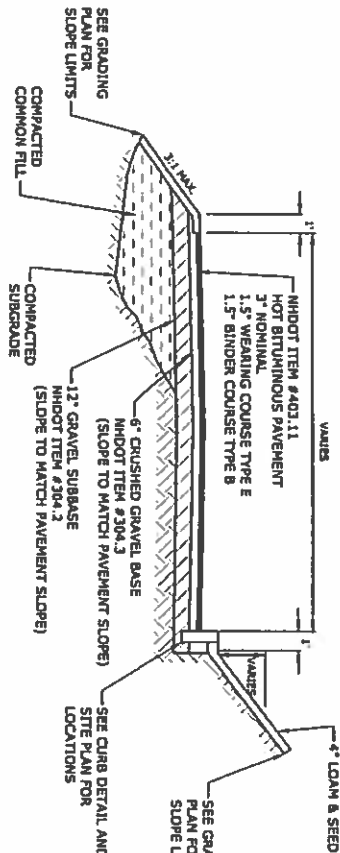
RADIUS	MAXIMUM LENGTH
<2'	USE CURBED CURB
2'-2.5'	USE SUBBASE
2.5'-3'	USE SUBBASE
3'-4'	USE SUBBASE
4'-5'	USE SUBBASE
5'-6'	USE SUBBASE
6'-8'	USE SUBBASE
8'-10'	USE SUBBASE
10'-12'	USE SUBBASE
12'-15'	USE SUBBASE
15'-20'	USE SUBBASE
20'-25'	USE SUBBASE
25'-30'	USE SUBBASE
30'-35'	USE SUBBASE
35'-40'	USE SUBBASE
40'-45'	USE SUBBASE
45'-50'	USE SUBBASE
50'-55'	USE SUBBASE
55'-60'	USE SUBBASE
60'-65'	USE SUBBASE
65'-70'	USE SUBBASE
70'-75'	USE SUBBASE
75'-80'	USE SUBBASE
80'-85'	USE SUBBASE
85'-90'	USE SUBBASE
90'-95'	USE SUBBASE
95'-100'	USE SUBBASE
100'-110'	USE SUBBASE
110'-120'	USE SUBBASE
120'-130'	USE SUBBASE
130'-140'	USE SUBBASE
140'-150'	USE SUBBASE
150'-160'	USE SUBBASE
160'-170'	USE SUBBASE
170'-180'	USE SUBBASE
180'-190'	USE SUBBASE
190'-200'	USE SUBBASE
200'-210'	USE SUBBASE
210'-220'	USE SUBBASE
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350'-360'	USE SUBBASE
360'-370'	USE SUBBASE
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380'-390'	USE SUBBASE
390'-400'	USE SUBBASE
400'-410'	USE SUBBASE
410'-420'	USE SUBBASE
420'-430'	USE SUBBASE
430'-440'	USE SUBBASE
440'-450'	USE SUBBASE
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460'-470'	USE SUBBASE
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500'-510'	USE SUBBASE
510'-520'	USE SUBBASE
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840'-850'	USE SUBBASE
850'-860'	USE SUBBASE
860'-870'	USE SUBBASE
870'-880'	USE SUBBASE
880'-890'	USE SUBBASE
890'-900'	USE SUBBASE
900'-910'	USE SUBBASE
910'-920'	USE SUBBASE
920'-930'	USE SUBBASE
930'-940'	USE SUBBASE
940'-950'	USE SUBBASE
950'-960'	USE SUBBASE
960'-970'	USE SUBBASE
970'-980'	USE SUBBASE
980'-990'	USE SUBBASE
990'-1000'	USE SUBBASE

SLOPED GRANITE CURB  
NO SCALE



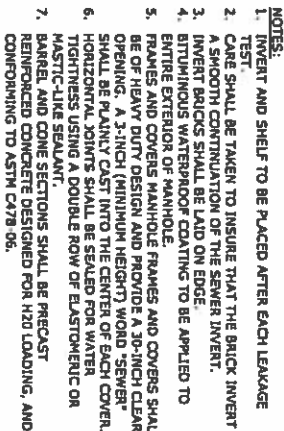
- NOTES:
- PAVEMENT EDGES SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
  - TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH GRANULAR FILL AND COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY.
  - TOP 18" OF BACKFILL SHALL BE 6" IF CRUSHED GRAVEL (NH DOT 304.3) SUPPORTED BY 12" OF COMPACTED GRAVEL (NH DOT 304.2).
  - ALL VERTICAL AND HORIZONTAL JOINTS BETWEEN PAVEMENTS SHALL BE TACK COATED.
  - PAVEMENT THICKNESS SHALL MATCH EXISTING BUT IN NO CASE SHALL BE LESS THAN 3" THICK TOTAL.
  - PAVEMENT SHALL BE PLACED IN TWO PHASES:
    - THE FIRST PHASE SHALL CONSIST OF CUTTING BACK THE FULL DEPTH OF PAVEMENT 12" BEYOND THE EDGES OF THE DISTURBED TRENCH AND PAVING A BINDER COURSE THE FULL DEPTH OF THE PAVEMENT AS TO BRING THE PATCH FLUSH WITH THE EXISTING ROAD SURFACE.
    - THE SECOND PHASE SHALL BE CONDUCTED THE FOLLOWING YEAR AND SHALL CONSIST OF KILLING OVER THE EDGES OF THE PREVIOUS PATCH BY A MINIMUM OF 18" IN ALL DIRECTIONS TO A DEPTH OF 1.5". WEARING COURSE PAVEMENT SHALL BE USED TO CREATE A SMOOTH SURFACE WITH THE ROADWAY OVER THE EXTENTS OF THE FILLED AREA.
  - ANY TRENCH PATCH REQUIRES PRE-APPROVAL BY DPW AND IS SUBJECT TO INSPECTION TO ENSURE COMPLIANCE WITH CITY STANDARDS.

ROCHESTER, NH UTILITY TRENCH PATCH  
NO SCALE



- NOTE:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
  - SEE GRADING, DRAINAGE AND EROSION CONTROL. PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
  - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
  - CONTRACTOR SHALL HAVE THE OPTION OF RECLAIMING THE EXISTING PAVEMENT AND REMOVING THE MATERIAL, THEN REUSING THE RECLAIMED MATERIAL AS A PAVEMENT SUBBASE.

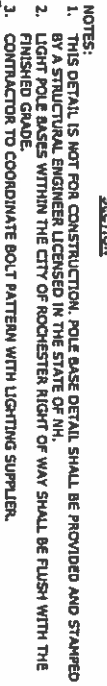
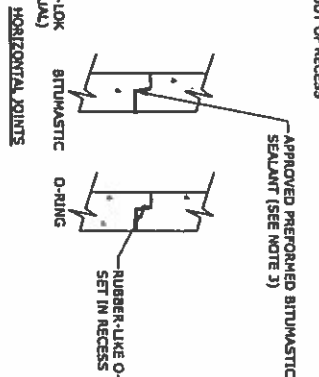
STANDARD DUTY PAVEMENT SECTION  
NO SCALE



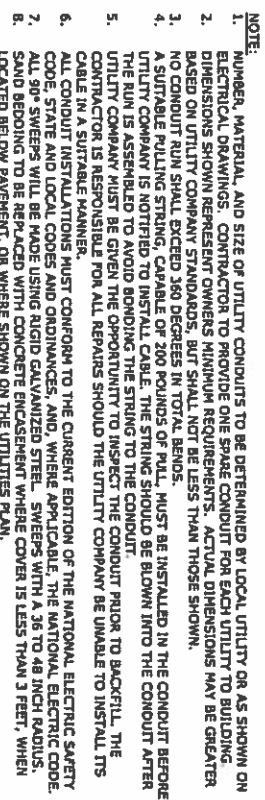
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**NO SC**

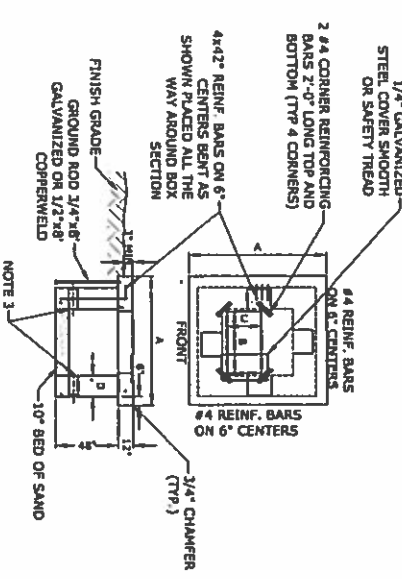


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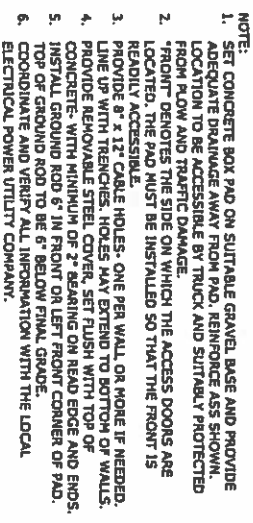


## NO SCALE

KVA	NV	A	B	C	D	STEEL COVER
750-2500	15	9'-0"	5'-8"	3'-6"	12"	24"x24"x1/4"
150-2500	15	9'-0"	5'-8"	1'-6"	12"	24"x24"x1/4"
75-500	35	7'-0"	4'-0"	3'-6"	8"	16"x24"x1/4"
75-150	35	7'-0"	4'-0"	1'-6"	8"	16"x24"x1/4"



1



PLANT	DATE	DESCRIPTION
PROJECT NO:	G-682	
DATE:	9/04/16	
TITLE: G0803-C-303.dwg		
DRAWN BY:	ERC/DAK	
CHECKED:	YAM	
APPROVED:	BJM	



Norway Plains  
Rd Subdivision

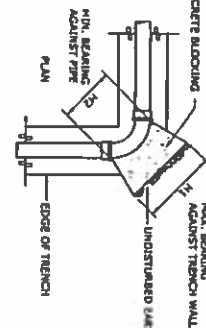
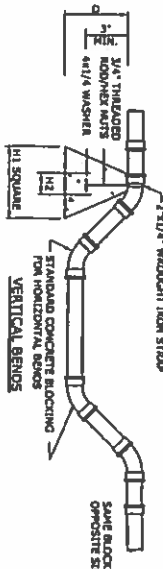
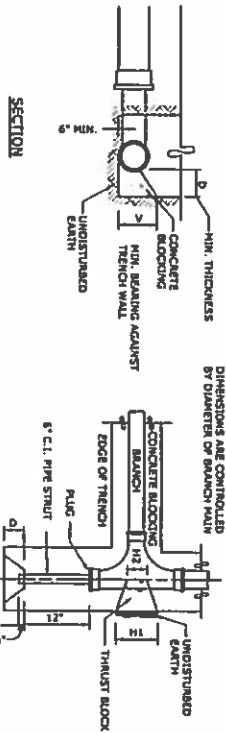
Ekimbor, LLC

Rochester, New  
Hampshire

DATE	DISCUSSION
PROJECT NO.	C-0093
DATE	9/2/2016
TITLE	GD003-C-504-009
DRAWN BY:	ENC/AM
CHECKED:	NOB
APPROVED:	BAV
SCALE:	AS SHOWN

DETAILS SHEET

C-504



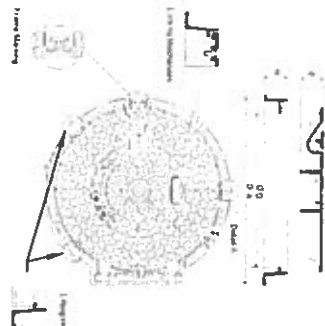
CONCRETE THRUST BLOCKING  
NO SCALE

TABLE OF DIMENSIONS FOR CONCRETE BLOCKING		90° BENDS				22 1/2° BENDS				11 1/4° BENDS			
TYPE	SIZE	TELE. COURSES	90° BENDS	22 1/2° BENDS	11 1/4° BENDS	90° BENDS	22 1/2° BENDS	11 1/4° BENDS	90° BENDS	22 1/2° BENDS	11 1/4° BENDS	90° BENDS	22 1/2° BENDS
(1)	14	14	14	14	14	14	14	14	14	14	14	14	14
(2)	14	14	14	14	14	14	14	14	14	14	14	14	14
(3)	14	14	14	14	14	14	14	14	14	14	14	14	14
(4)	14	14	14	14	14	14	14	14	14	14	14	14	14
(5)	14	14	14	14	14	14	14	14	14	14	14	14	14
(6)	14	14	14	14	14	14	14	14	14	14	14	14	14
(7)	14	14	14	14	14	14	14	14	14	14	14	14	14
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(9)	14	14	14	14	14	14	14	14	14	14	14	14	14
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(11)	14	14	14	14	14	14	14	14	14	14	14	14	14
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(98)	14	14	14	14	14	14	14	14	14	14	14	14	14
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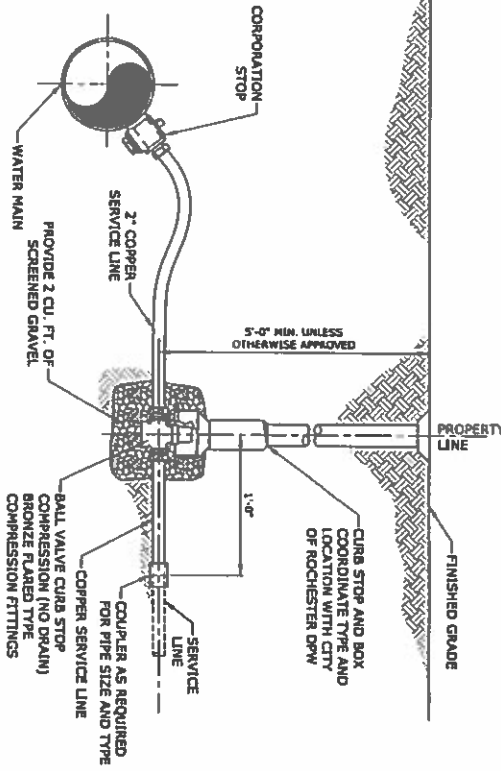
DIAMETER	WALL THICKNESS (MIN.)	FLOOR THICKNESS (MIN.)
4"	5"	6"
5"	6"	8"
6"	7"	8"
8"	9"	10"

CORE HOLE SIZE		PIPE SIZE	
INCHES	FEET	INCHES	FEET
12	1.0	18	1.5
15	1.25	22	1.8
18	1.5	26	2.2
24	2.0	34	2.8
30	2.5	42	3.5
36	3.0	48	4.0
42	3.5	54	4.5
48	4.0	64	5.3
54	4.5	72	6.0
60	5.0	78	6.5

PANREX 32-INCH MANHOLE FRAME & COVER  
NO SCALE



WATER SERVICE CONNECTION  
NO SCALE



NOTE: ALL WATER SERVICE CONNECTIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS.

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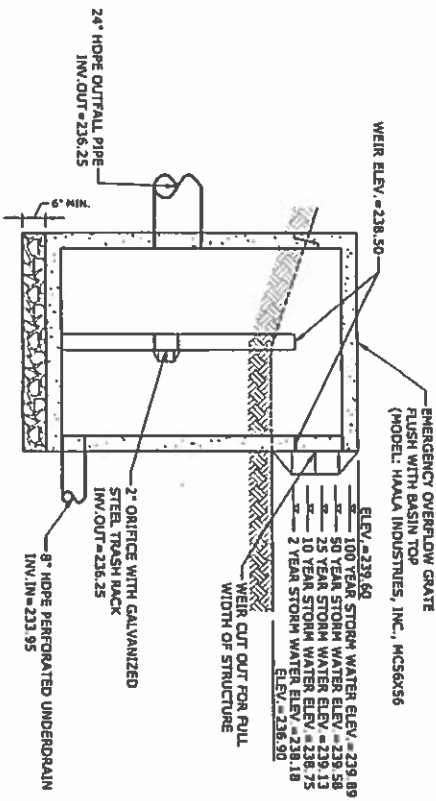




Norway Plains  
Rd Subdivision

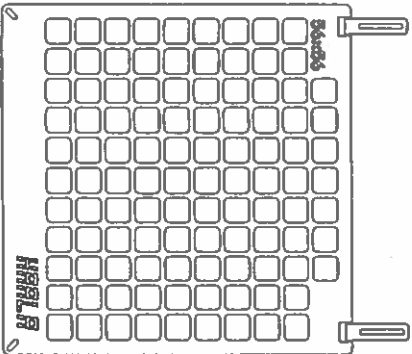
Ekimbor, LLC  
Rochester, New  
Hampshire

MARK	DATE	DESCRIPTION
PROJECT NO.	G-0093	
TITLE	08/13-C-506.dwg	9/10/18
DRAWN BY:	ELC/RAH	
CHECKED:	RAH	
APPROVED:	RAH	
DETAILS SHEET		
SCALE: AS SHOWN		
C-506		



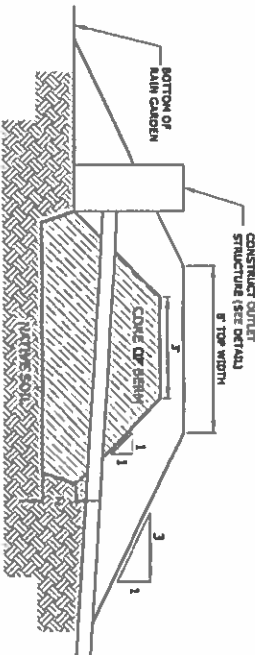
- NOTES:
1. SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE II CEMENT).
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
  3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  4. THE STRUCTURES SHALL BE DESIGNED FOR 140 LBS/SQ. FT. LOADING.
  5. ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

OUTLET STRUCTURE  
NO SCALE



- NOTES:
1. GRADE SHALL BE HAALA INDUSTRIES, INC. MC56X35 TOP MOUNT GRADE OR EQUAL.
  2. GRADE TO BE SECURED TO CONCRETE STRUCTURE.

OVERFLOW GRADE  
NO SCALE

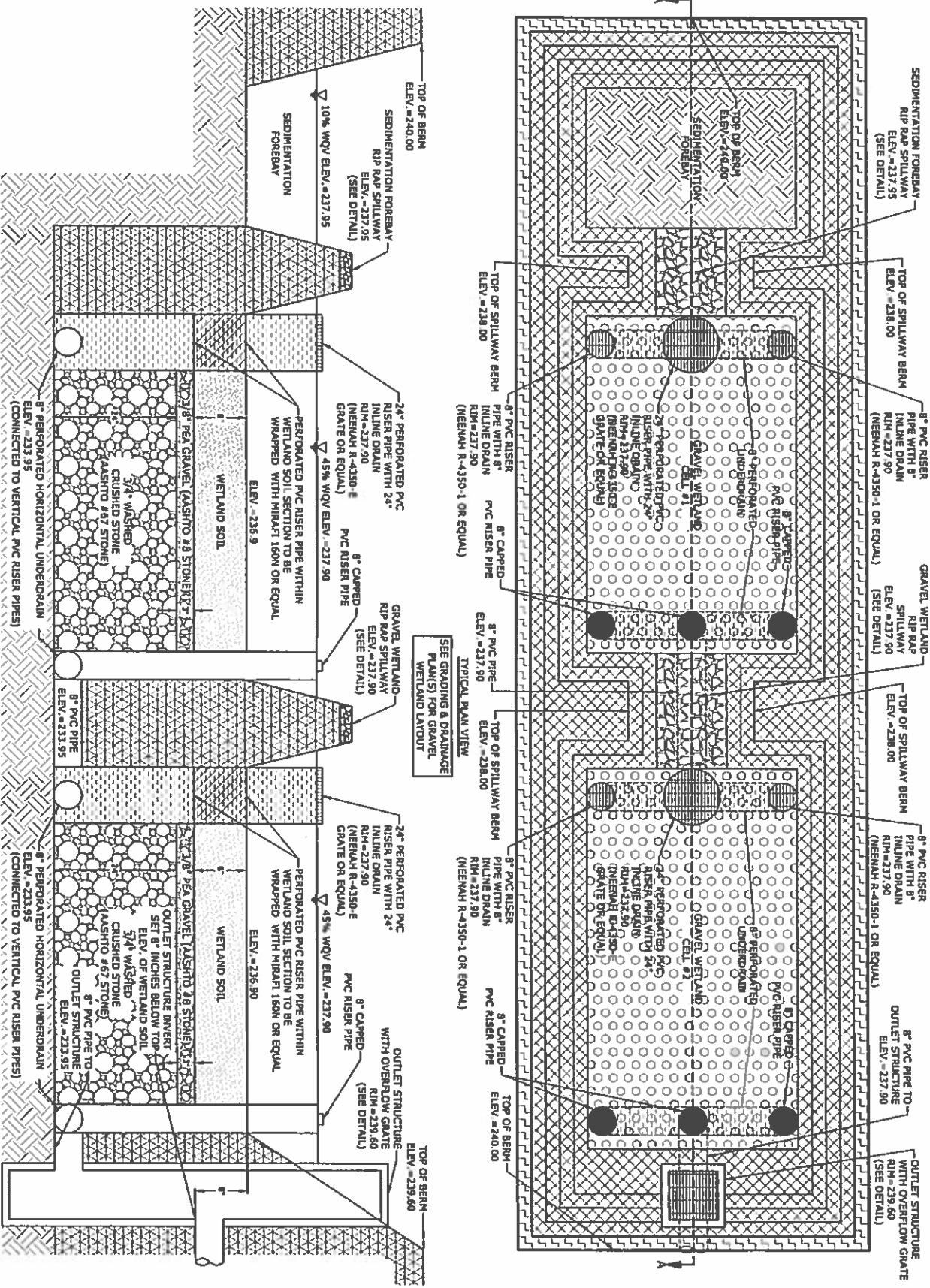


- NOTES:
1. CONE MATERIAL SHALL MEET USGS CLASSIFICATION SC, SH, CL OR ML AND HAVE A MAXIMUM PARTICLE SIZE OF 3\"/>
- SIEVE SIZE PERCENT FINER BY WEIGHT
- |         |           |
|---------|-----------|
| 3\"/>   | 100       |
| 20\"/>  | 100       |
| 10\"/>  | 100       |
| 5\"/>   | 100       |
| 3\"/>   | 100       |
| No. 200 | 50 - 100. |
2. PIPE SHALL BE FULLY EMBEDDED IN CONE TO ELIMINATE SEEPAGE

CLAY CORE BERM  
NO SCALE

GRAVEL WETLAND PLANTING PLAN		
SPECIES	PLANT SIZE	QUANTITY/SPACING
NEW ENGLAND EROSION CONTROL/RESTORATION MIX OR EQUIVALENT		35 LB./ACRE
"RED OSLER DOGWOOD"	2'-3'	8'-10' ON CENTER
CORNUS SERICEA		
"SILKY DOGWOOD"		
CORNUS AMOMIUM		
AND	2'-3'	8'-10' ON CENTER
"HICHLAND BLUEBERRY"		
VACCINIUM CORNIBOSSUM		

GRAVEL WETLAND INSPECTION / MAINTENANCE REQUIREMENTS		
INSPECTION / MAINTENANCE	FREQUENCY	ACTION
MONITOR TO ENSURE THAT GRAVEL WETLAND FUNCTIONS EFFECTIVELY AFTER STORMS EXCEEDING 1.2 IN A 24-HOUR PERIOD	FROM (4) TIMES ANNUALLY (QUARTERLY) AND AFTER EACH MAJOR RAINFALL EVENT EXCEEDING 1.2 IN A 24-HOUR PERIOD	INSPECT AND REPAIR AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED.
INSPECT VEGETATION	ANNUALLY	REMOVE ANY INVASIVE SPECIES. COORDINATE WITH NEW HAMPSHIRE DEPARTMENT OF REVENUE AND TAXES FOR FURTHER VEGETATION MANAGEMENT.
INSPECT DAMAGONS THE STRUCTURE SHALL BE REMOVED OR REPAIR AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED.	ANNUALLY	REPAIR OR REPLACE AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED. MAINTENANCE SHALL BE AS REQUIRED.



- NOTES:
1. WETLAND SOIL SHALL BE A SANDY CLAY LOAM WITH A HYDRAULIC CONDUCTIVITY OF 0.1-0.01 FT/DAY. ORGANIC CONTENT SHALL BE GREATER THAN 15% BY VOLUME. CLAY CONTENT SHALL BE LESS THAN 15% BY VOLUME.
  2. INSTALLATION OF THE GRAVEL WETLAND AND SHALL BE COORDINATED WITH THE ENGINEER. IF THE NATIVE SOILS EXCEED A PERMEABILITY RATE OF 0.01 FT/DAY THE SOILS SHOULD AMENDED OR LIME ADDED AS DETERMINED BY THE ENGINEER.
  3. PERFORATED PVC RISERS SHALL HAVE VERTICAL SLOTS CUT INTO PVC RISERS ABOVE GRADE MEASURING 3"x1/8\"/>

TYPICAL SECTION A-A VIEW

ASHTOS #67 STONE		
SIEVE SIZE	% PASSING	
1\"/>	100	
3\"/>	100	
20\"/>	100	
48	100	
60	100	
75	100	
100	100	
150	100	
200	100	

ASHTOS #41 STONE		
SIEVE SIZE	% PASSING	
1\"/>	100	
3\"/>	100	
20\"/>	100	
48	100	
60	100	
75	100	
100	100	
150	100	
200	100	

GRAVEL WETLAND DETAIL SHEET  
NO SCALE

