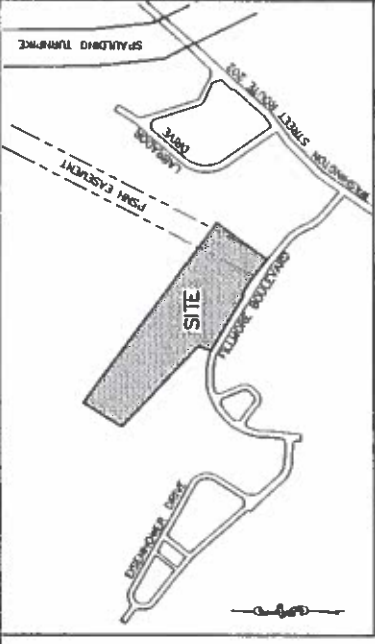
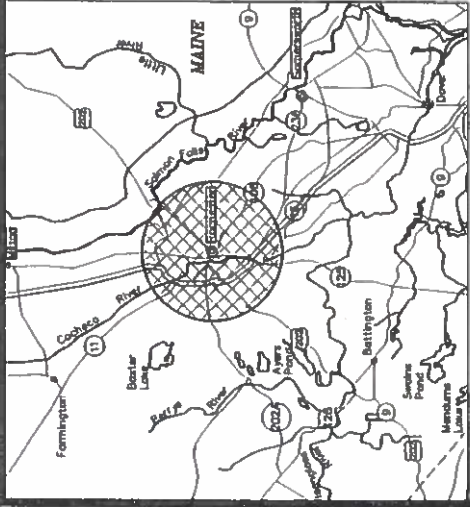




RESIDENTIAL SUBDIVISION & SITE PLAN THE TOWNHOMES AT HIGHFIELD COMMONS - PHASE 2C

MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE

OWNER/APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NEW HAMPSHIRE 03054

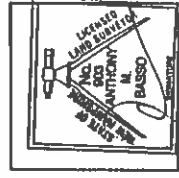
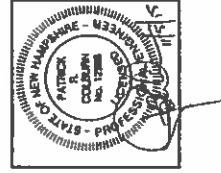
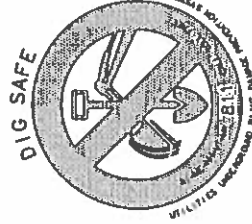
PROJECT MANAGER:
HILLSIDE DESIGN GROUP, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
(603) 424-1132

PREPARED BY: (CIVIL ENGINEER)
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

PROJECT SURVEYOR (BOUNDARY & TOPOGRAPHY):
JOSEPH M. WICHERT, LLS, INC.
802 AMHERST STREET
MANCHESTER, NH 03104-5427
(603) 647-4282

PROJECT SURVEYOR (LIMITED TOPOGRAPHY):
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881

PROJECT ENVIRONMENTAL CONSULTANT:
STONEY RIDGE ENVIRONMENTAL, LLC.
229 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 776-0194



KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3, Bedford, NH 03110 Phone (603) 627-2881

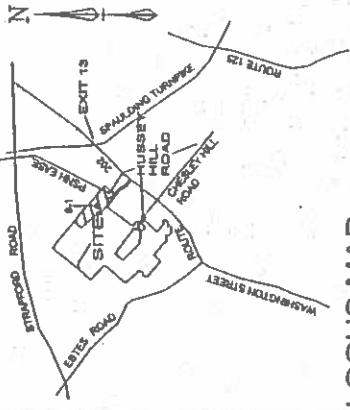
JUNE 16, 2015
LAST REVISED: OCTOBER 12, 2015
PROJECT NO. 12-1212-1

RECEIVED
NOV 07 2015
Planning Dept.

SHEET TITLE	SHEET No.
OVERVIEW SUBDIVISION & SITE PLAN	1
EXISTING CONDITIONS PLAN	2
SUBDIVISION PLAN	3 - 4
TOPOGRAPHIC SUBDIVISION PLAN	5 - 6
RESIDENTIAL SITE LAYOUT PLAN	7
GRADING AND DRAINAGE PLAN	8
EROSION CONTROL PLAN	9
UTILITY PLAN	10
LANDSCAPE PLAN	11
LIGHTING PLAN	12
ROADWAY & SEWER PROFILE (MONROE DRIVE)	13
DRAINAGE PROFILES	14
CONSTRUCTION DETAILS	15 - 22

Certified 11/18/2015 JWG-8 (Seth Gagliardi) Chief Planner

PLAN REFERENCES:
1) REVISED SUBDIVISION PLAN OF HIGHFIELD COMMONS - PHASE 1, OWNED BY 183 WASHINGTON STREET, LLC, TAX MAP 237 LOTS 8 & 9, WASHINGTON STREET (ROUTE 202), HUSSEY HILL ROAD AND BICKFORD ROAD, ROCHESTER, NEW HAMPSHIRE. DATED JUNE 30, 2010, LAST REVISED 9/20/10. PREPARED BY THIS OFFICE. SEE SCRD PLANS 100-58 THROUGH 100-84.



LOCUS MAP (NOT TO SCALE)

- NOTES:**
- 1) THE SUBJECT PARCEL IS LOT 8-1 ON THE CITY OF ROCHESTER TAX MAP 237. THE OWNER OF RECORD IS 183 WASHINGTON STREET, LLC dba CHESAPEAKE DEVELOPMENT LLC OF 501 DANIEL WEBSTER HIGHWAY, MERRIMACK, NEW HAMPSHIRE 03054. SEE SCRD V. 3743 P. 55A.
 - 2) THE SUBJECT PARCEL IS ZONED PUD #2 AS APPROVED BY THE ROCHESTER PLANNING BOARD ON JANUARY 7, 2003 AND AS AMENDED. SEE OVERALL PUD NOTICE OF DECISION FOR DETAIL REQUIREMENTS.
 - 3) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN 2003 AND FEBRUARY 2013. I, JOSEPH M. WICHERT, LICENSED SURVEYOR, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
 - 4) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCEL AND THE EXISTING CONDITIONS ON IT.
 - 5) THE COORDINATE SYSTEM AND BEARINGS ARE BASED ON A TIE INTO THE CITY OF ROCHESTER GIS SYSTEM, USING GPS OBSERVATIONS.
 - 6) THE TOPOGRAPHY IS TAKEN FROM AN AERIAL SURVEY PREPARED BY SAIBORN MAP CO., INC. 38 KARLAN DRIVE, ROCHESTER, NY. DATE OF PHOTOGRAPHY: MAY 6, 2002. EXCEPT FOR THE PORTIONS OF THE SUBJECT PARCEL FIELD SURVEYED BY THIS OFFICE IN JANUARY AND FEBRUARY OF 2013. SEE PLAN FOR LOCATION OF FIELD SURVEY.
 - 7) THE WETLANDS WERE ORIGINALLY DELINEATED IN JUNE, 2002 AND AGAIN IN DECEMBER, 2003 BY MICHAEL BERANIKAS, CWS #9. WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE DOCUMENT ENTITLED "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, JANUARY 1987". THE WETLANDS WERE CLASSIFIED IN ACCORDANCE WITH THE DOCUMENT ENTITLED "CLASSIFICATION OF WETLAND AND DEEP WATER HABITATS OF THE UNITED STATES", (CONADON, 1979). SOME OF THE WETLANDS WERE RE-FLAGGED BY CINDY BALCUS, CWS #61, OF STONEY RIDGE ENVIRONMENTAL LLC, IN 2013 AND FIELD LOCATED BY THIS OFFICE. SEE PLAN VIEW FOR DESIGNATION OF OLD AND NEW FLAG LINES.

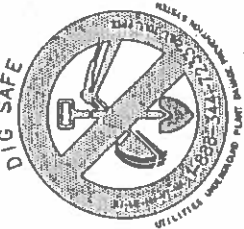
EXISTING CONDITIONS PLAN FOR
"HIGHFIELD PLACE"
PHASE 2 MULTI-FAMILY DEVELOPMENT
OWNED BY 183 WASHINGTON STREET, LLC
TAX MAP 237 LOTS 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE

DATE: FEBRUARY 22, 2013
SCALE: 1" = 80'

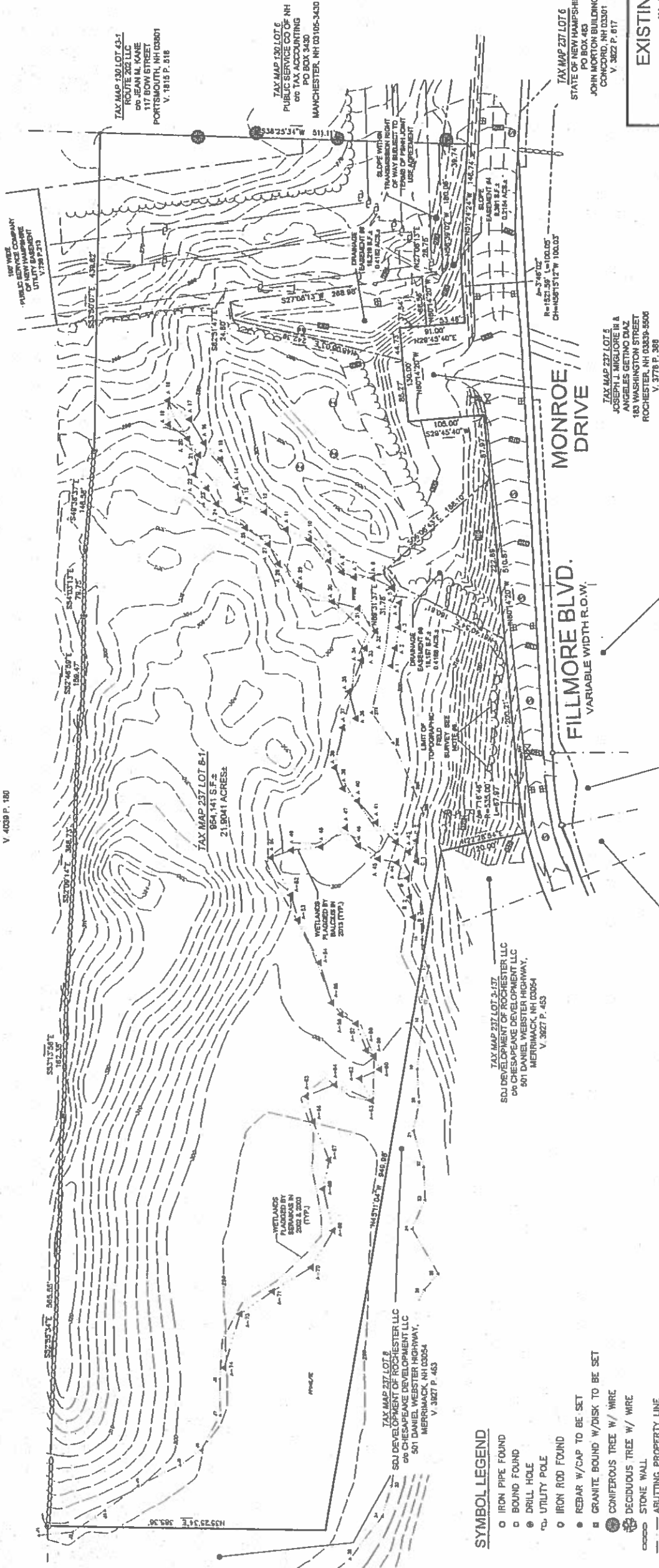


802 AMHERST STREET
MANCHESTER, NH 03104
TEL: (603) 647-4282 OR 735-8203
FAX: (603) 623-1910
WEB: WWW.JMWLLS.COM

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER



TAX MAP 237 LOT 7
JONATHAN W. & KOLLY A. CLEMENT
30 BICKFORD ROAD
ROCHESTER, NH 03607-4286
V. 4039 P. 130



SYMBOL LEGEND

- IRON PIPE FOUND
- BOUND FOUND
- DRILL HOLE
- ⊥ UTILITY POLE
- IRON ROD FOUND
- REBAR W/CAP TO BE SET
- GRANITE BOUND W/DISK TO BE SET
- CONIFEROUS TREE W/ WIRE
- DECIDUOUS TREE W/ WIRE
- STONE WALL
- ABUTTING PROPERTY LINE

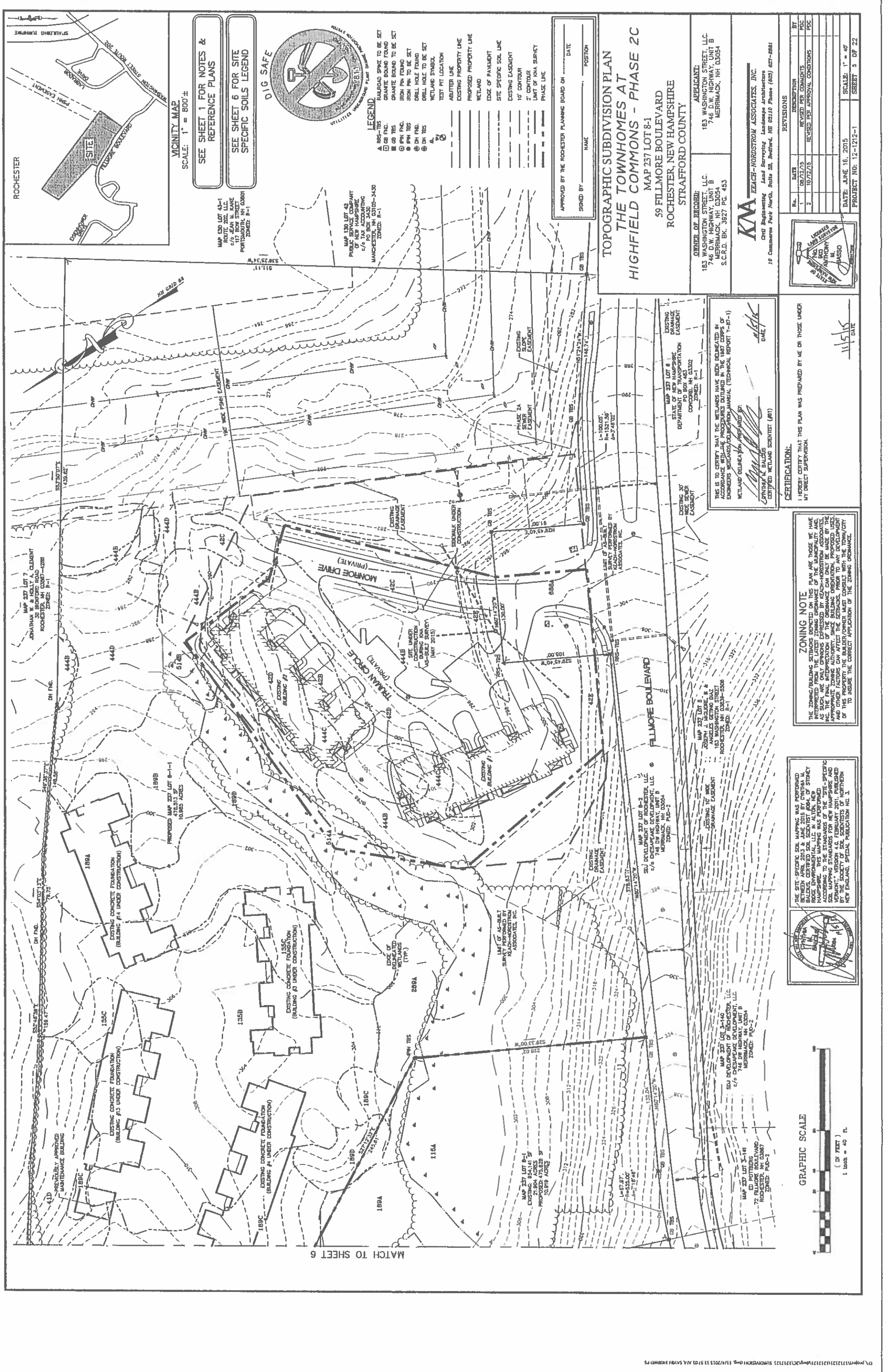
I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GPT 3103W. THE ERROR OF CLOSURE ON ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO RSA 661:1 AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE ROCHESTER PLANNING BOARD IN ACCORDANCE WITH RSA 678:16(V).

27 JUNE 2013
DATE





TOPOGRAPHIC SUBDIVISION PLAN
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____
SIGNED BY _____ NAME _____ POSITION _____

OTHER OF RECORD:
163 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3527 PG. 453

APPLICANT:
163 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3527 PG. 453

KN
KNAZ-RODRIGUEZ ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 20, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS
BY
DATE
DESCRIPTION
1 08/12/15 REVISED PER COMMENTS
2 10/12/15 REVISED PER APPROVAL CONDITIONS

DATE: JUNE 16, 2015 SCALE: 1" = 40'
PROJECT NO: 12-1212-1 SHEET 5 OF 22

THIS IS TO CERTIFY THAT THE MAPS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OUTLINED IN THE LAST PARTS OF THE ENGINEER'S WETLAND Delineation Manual (TECHNICAL REPORT 7-87-1) WETLAND DELINEATION PREPARED BY:
CYNTHIA N. BALDUS
CERTIFIED WETLAND SCIENTIST (401)

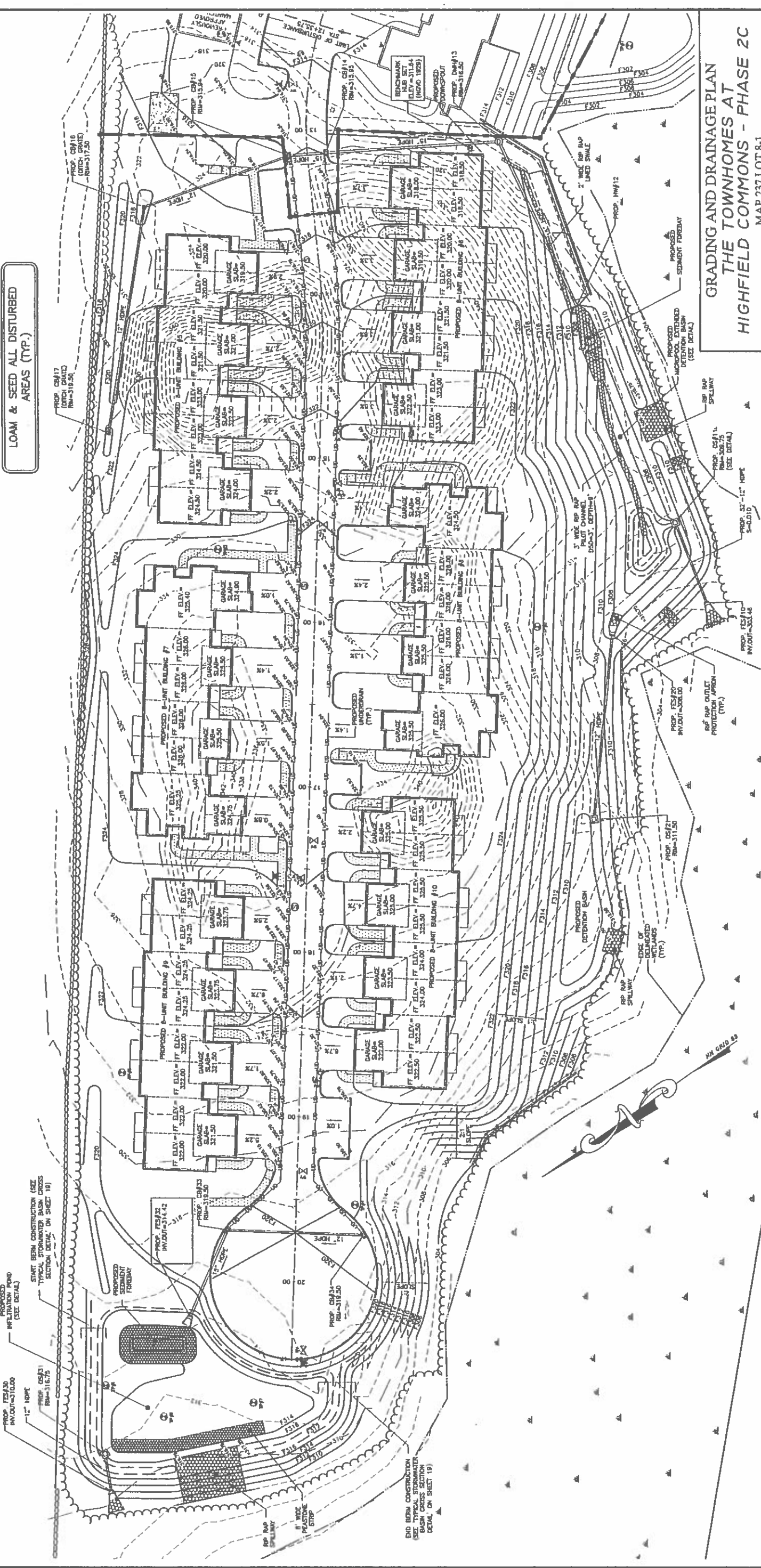
CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.

11/15/15
DATE

THE ZONING BUILDING SETBACKS DEPENDED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KNAZ-RODRIGUEZ ASSOCIATES, INC. AND NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. APPROVED ZONING AUTHORITY, SINCE BUILDING CREATION, PROPOSED USES AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

THE SITE-SPECIFIC SOIL MAPS WERE PREPARED BETWEEN APRIL 2013 & JUNE 2015 BY CYNTHIA N. BALDUS, CERTIFIED SOIL SCIENTIST AREA 4, OF STRICKLAND ENGINEERING, LLC, 1000 N. MAIN STREET, SUITE 100, RICHMOND, NH 03304. THE SOIL MAPS WERE PREPARED IN ACCORDANCE WITH THE STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 4.0, FEBRUARY 2011, PUBLISHED BY THE NEW HAMPSHIRE DEPARTMENT OF REVENUE, NEW ENGLAND, SPECIAL PUBLICATION NO. 2.

GRAPHIC SCALE
1 inch = 40 ft
(1" = 40')



MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

MAP 237 LOT 8-1

59 FILLMORE BOULEVARD

ROCHESTER, NEW HAMPSHIRE

STRAFFORD COUNTY

OWNER OF RECORD:

183 WASHINGTON STREET, LLC.
746 D.W. HIGHWAY UNIT B

740 U.W. HIGHWAY 1, UNIT B
MERRIMACK, NH 03054

S.C.R.D. BK. 3927 PG. 453

WY

KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture

Service Park North, Suite 2E, Bedford, NH 03110 Phone (603) 627-2861

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	05/12/15	REVISED PER COMMENTS	POC
2	10/12/15	REVISED PER APPROVAL CONDITIONS	POC

DATE: JUNE 16, 2015

PROJECT NO: 12-1212-1

SCALE: 1" = 30'

SECRET 8 OF 22

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT

LEGEND

- | | |
|---------------------------|----------------------------|
| STONE BOUND FOUND | ABUTTER LINE |
| IRON PIN FOUND | PROPERTY LINE |
| DRILL HOLE | WETLAND |
| UTILITY POLE | DRAINAGE LINE |
| SON | TREELINE |
| GAS VALVE | EDGE OF PAVEMENT |
| WATER VALVE | EDGE OF GRAVEL |
| HYDRANT | 10' CONTOUR |
| SEWER SHUT OFF | 2' CONTOUR |
| SEWER MANHOLE | STONEWALL |
| DRAINAGE MANHOLE | SITE SPECIFIC SOIL MAPPING |
| CATCH BASIN | EASEMENT |
| TEST PIT | PROPOSED CURB/RAIL |
| PROPOSED OUTLET STRUCTURE | PROPOSED SPLIT RAIL FENCE |
| | PROPOSED EDGE OF PAVEMENT |
| | PROPOSED BITUMINOUS CURB |
| | PROPOSED TREELINE |
| | PROPOSED DRAINAGE LINE |
| | PROPOSED DRAINAGE LINE |
| | PROPOSED 2' CONTOUR |
| | PHASE LINE |
| | PROPOSED RETAINING WALL |



NPDES NOTE

LOAM & SEED ALL DISTURBED AREAS (TYP.)

CONSTRUCT TEMPORARY STONE CHECK DAM (TYP.)

TEMPORARY STAGING & STOCKPILE AREA (TYP.)

FURNISH & INSTALL TEMPORARY SILT FENCE (TYP.)

FURNISH & INSTALL DIRT BARS AT ALL CATCH BASINS (TYP.)

FURNISH & INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR STEEPER (TYP.)

FURNISH & INSTALL EROSION CONTROL SILT FENCE (TYP.)

PROPOSED LIMIT OF CLEARING (TYP.)

EDGE OF DISTURBED AREAS (TYP.)

CONSTRUCT RIP RAP OUTLET PROTECTION APRON (TYP.)

CONSTRUCT STABILIZED CONSTRUCTION DIRT

EROSION CONTROL PLAN THE TOWNHOMES AT HIGHFIELD COMMONS - PHASE 2C

MAP 237 LOT 8-1

59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STAFFORD COUNTY

OWNER OF RECORD:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT 8
MERRIMACK, NH 03054
S.C.E.D. BC 3927 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT 8
MERRIMACK, NH 03054
S.C.E.D. BC 3927 PG. 453

KMA KMA ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
19 Commerce Park North, Suite 202, Bedford, NH 03110 Phone (603) 887-8881

NO.	DATE	DESCRIPTION
1	08/27/15	REVISED PER COMMENTS
2	10/23/15	REVISED PER APPROVAL CONDITIONS

DATE: JUNE 16, 2015	SCALE: 1" = 30'
PROJECT NO: 12-1212-1	SHEET 6 OF 22

GRAPHIC SCALE

1 inch = 30 ft.

EROSION & SEDIMENT CONTROL LEGEND

- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
- TEMPORARY BARRY BARS AT ALL CATCH BASINS
- TEMPORARY SILT FENCE
- TEMPORARY STONE CHECK DAM
- LIMITS OF CLEARING
- STABILIZED CONSTRUCTION DIRT
- STAGING AND STOCKPILE AREA
- EROSION CONTROL BLANKETS

EROSION CONTROL NOTES:

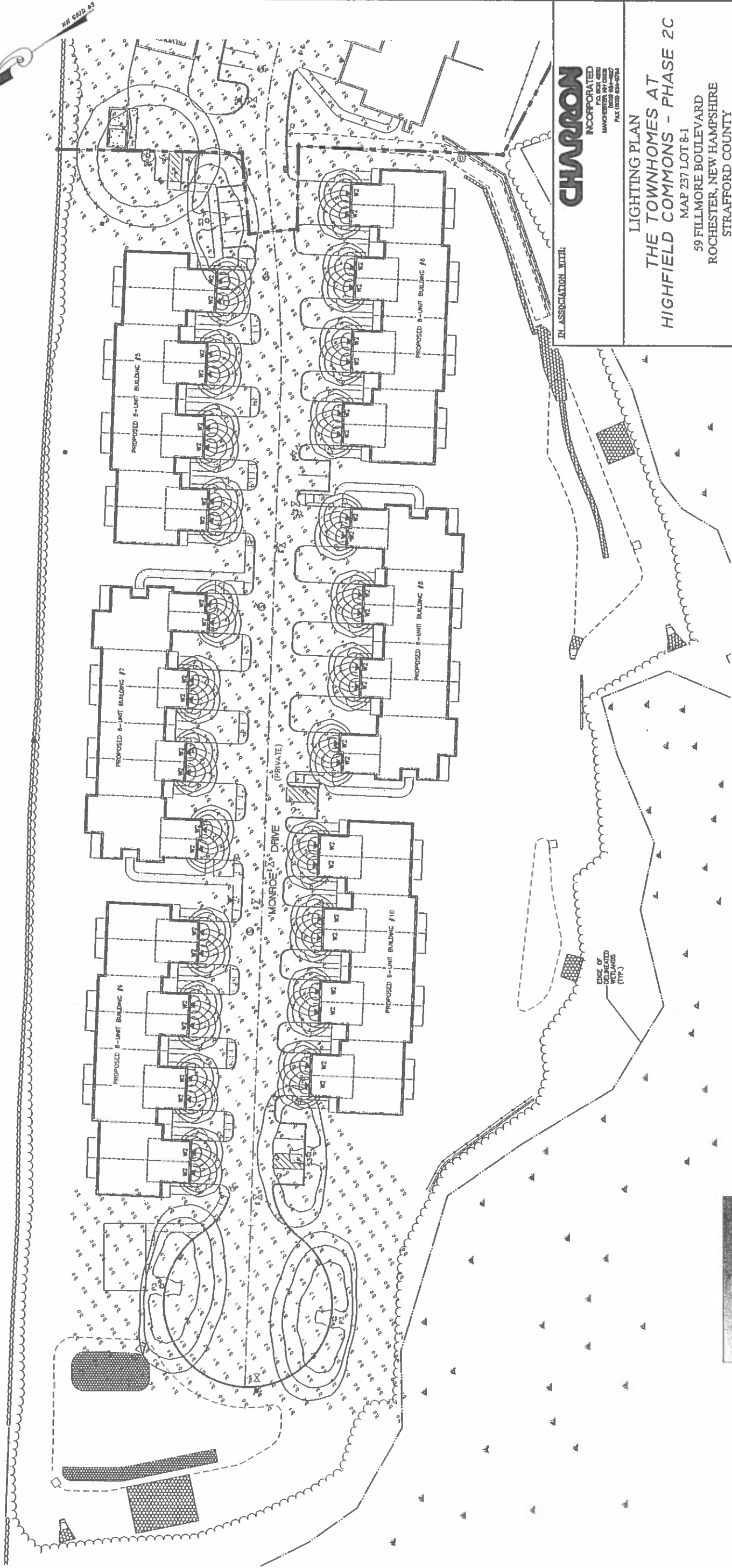
- THE PURPOSE OF THIS PLAN IS TO PREVENT THE REQUIRED EROSION CONTROL MEASURES FROM BEING OBTAINED DURING CONSTRUCTION.
- ALL MEASURES IN THE PLAN SHALL BE TAKEN AS A MINIMUM. THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL, TITLED "EROSION AND SEDIMENTATION" SHALL BE FOLLOWED DURING CONSTRUCTION. LIMITED DOCUMENTATION SHALL BE PROVIDED FROM THE PROJECT.
- WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR REPLANTED. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. DISTURBED AREAS SHALL BE LEFT TO A MINIMUM. DISTURBED AREAS REMAINING FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-ORIGINALLY THROUGH THE PROJECT AREA, INTENSITY OF DOMESTIC WASTE SYSTEMS SHALL BE MAINTAINED.
- FUNCTIONING DOMESTIC WASTE SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM EROSION CONTROL MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS OTHERWISE INDICATED OTHERWISE.
- THE CITY OF ROCKFORD SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL MEASURES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
- ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED PER FSP 6.2.

NIPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1+ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NIPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE PERMIT DEVELOPER AND OPERATOR SHALL BE RESPONSIBLE FOR OBTAINING THE NIPDES PERMIT PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



CONSTRUCTION NOTES:
1. SEE ELECTRICAL PLANS FOR ELECTRICAL INFORMATION
2. SEE MECHANICAL PLANS FOR MECHANICAL INFORMATION
3. REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS



IN ASSOCIATION WITH:
CHARCON
INCORPORATED
100 SOUTH MAIN STREET
MERRIMACK, NH 03003
(603) 884-0827
FAX: (603) 884-0744

LIGHTING PLAN
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

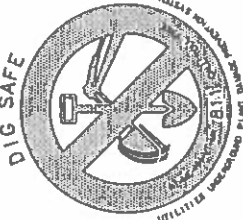
OWNER OF RECORD:
183 WASHINGTON STREET, LLC.
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC.
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054

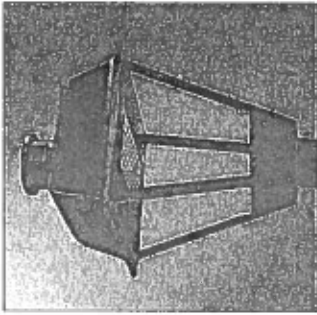
KMA REACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 201, Bedford, NH 03110 Phone (603) 827-0261

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	08/12/15	REVISED PER COMMENTS	POC
2	10/12/15	REVISED PER APPROVAL CONDITIONS	POC
DATE: JUNE 16, 2015			
PROJECT NO: 12-1212-1			
SCALE: 1" = 30'			
SHEET 12 OF 22			

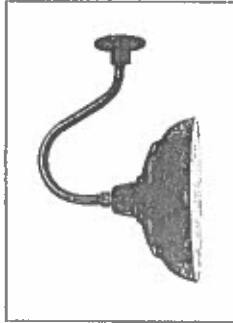
GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.



LUMINAIRE SCHEDULE			
SYMBOL	QTY	LABEL	DESCRIPTION
W2	1	W2	UTLD TRADITIONAIRE LED DOWNLIGHT
W3	1	W3	UTLD TRADITIONAIRE LED DOWNLIGHT
W4	1	W4	UTLD TRADITIONAIRE LED DOWNLIGHT
W5	1	W5	UTLD TRADITIONAIRE LED DOWNLIGHT
W6	1	W6	UTLD TRADITIONAIRE LED DOWNLIGHT
W7	1	W7	UTLD TRADITIONAIRE LED DOWNLIGHT
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W58	1	W58	UTLD TRADITIONAIRE LED DOWNLIGHT
W59	1	W59	UTLD TRADITIONAIRE LED DOWNLIGHT
W60	1	W60	UTLD TRADITIONAIRE LED DOWNLIGHT
W61	1	W61	UTLD TRADITIONAIRE LED DOWNLIGHT
W62	1	W62	UTLD TRADITIONAIRE LED DOWNLIGHT
W63	1	W63	UTLD TRADITIONAIRE LED DOWNLIGHT
W64	1	W64	UTLD TRADITIONAIRE LED DOWNLIGHT
W65	1	W65	UTLD TRADITIONAIRE LED DOWNLIGHT
W66	1	W66	UTLD TRADITIONAIRE LED DOWNLIGHT
W67	1	W67	UTLD TRADITIONAIRE LED DOWNLIGHT
W68	1	W68	UTLD TRADITIONAIRE LED DOWNLIGHT
W69	1	W69	UTLD TRADITIONAIRE LED DOWNLIGHT
W70	1	W70	UTLD TRADITIONAIRE LED DOWNLIGHT
W71	1	W71	UTLD TRADITIONAIRE LED DOWNLIGHT
W72	1	W72	UTLD TRADITIONAIRE LED DOWNLIGHT
W73	1	W73	UTLD TRADITIONAIRE LED DOWNLIGHT
W74	1	W74	UTLD TRADITIONAIRE LED DOWNLIGHT
W75	1	W75	UTLD TRADITIONAIRE LED DOWNLIGHT
W76	1	W76	UTLD TRADITIONAIRE LED DOWNLIGHT
W77	1	W77	UTLD TRADITIONAIRE LED DOWNLIGHT
W78	1	W78	UTLD TRADITIONAIRE LED DOWNLIGHT
W79	1	W79	UTLD TRADITIONAIRE LED DOWNLIGHT
W80	1	W80	UTLD TRADITIONAIRE LED DOWNLIGHT
W81	1	W81	UTLD TRADITIONAIRE LED DOWNLIGHT
W82	1	W82	UTLD TRADITIONAIRE LED DOWNLIGHT
W83	1	W83	UTLD TRADITIONAIRE LED DOWNLIGHT
W84	1	W84	UTLD TRADITIONAIRE LED DOWNLIGHT
W85	1	W85	UTLD TRADITIONAIRE LED DOWNLIGHT
W86	1	W86	UTLD TRADITIONAIRE LED DOWNLIGHT
W87	1	W87	UTLD TRADITIONAIRE LED DOWNLIGHT
W88	1	W88	UTLD TRADITIONAIRE LED DOWNLIGHT
W89	1	W89	UTLD TRADITIONAIRE LED DOWNLIGHT
W90	1	W90	UTLD TRADITIONAIRE LED DOWNLIGHT
W91	1	W91	UTLD TRADITIONAIRE LED DOWNLIGHT
W92	1	W92	UTLD TRADITIONAIRE LED DOWNLIGHT
W93	1	W93	UTLD TRADITIONAIRE LED DOWNLIGHT
W94	1	W94	UTLD TRADITIONAIRE LED DOWNLIGHT
W95	1	W95	UTLD TRADITIONAIRE LED DOWNLIGHT
W96	1	W96	UTLD TRADITIONAIRE LED DOWNLIGHT
W97	1	W97	UTLD TRADITIONAIRE LED DOWNLIGHT
W98	1	W98	UTLD TRADITIONAIRE LED DOWNLIGHT
W99	1	W99	UTLD TRADITIONAIRE LED DOWNLIGHT
W100	1	W100	UTLD TRADITIONAIRE LED DOWNLIGHT



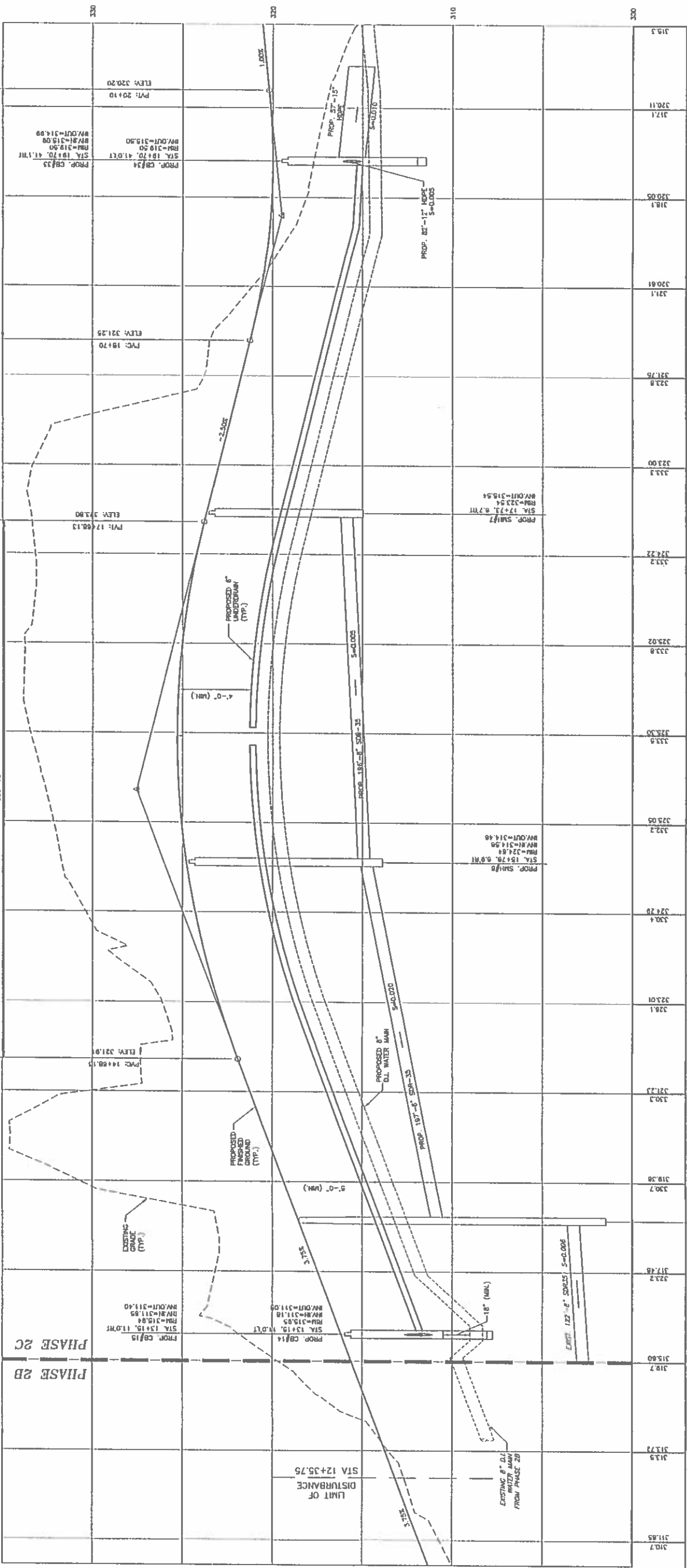
UTLD TRADITIONAIRE LED DOWNLIGHT
SCALE: NOT TO SCALE



MILLENNIUM RWHS14
WALL MOUNTED LIGHT
SCALE: NOT TO SCALE

HIGH POINT ELEV = 323.30
LOW POINT STA = 15+48.22
PVI STA = 16+16.13
PVI ELEV = 327.25
A.D. = 47.98
K = 47.98
300' VC

LOW POINT ELEV = 320.00
LOW POINT STA = 19+70
PVI STA = 20+20
PVI ELEV = 319.50
A.D. = 45.05
K = 45.05
140' VC



MONROE DRIVE ROADWAY & SEWER PROFILE: PHASE 2C
SCALE: 1" = 30'(HORIZ.)
1" = 3'(VERT.)

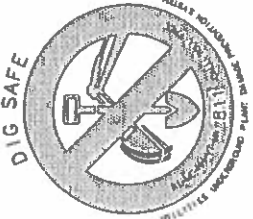
ROADWAY & SEWER PROFILE
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

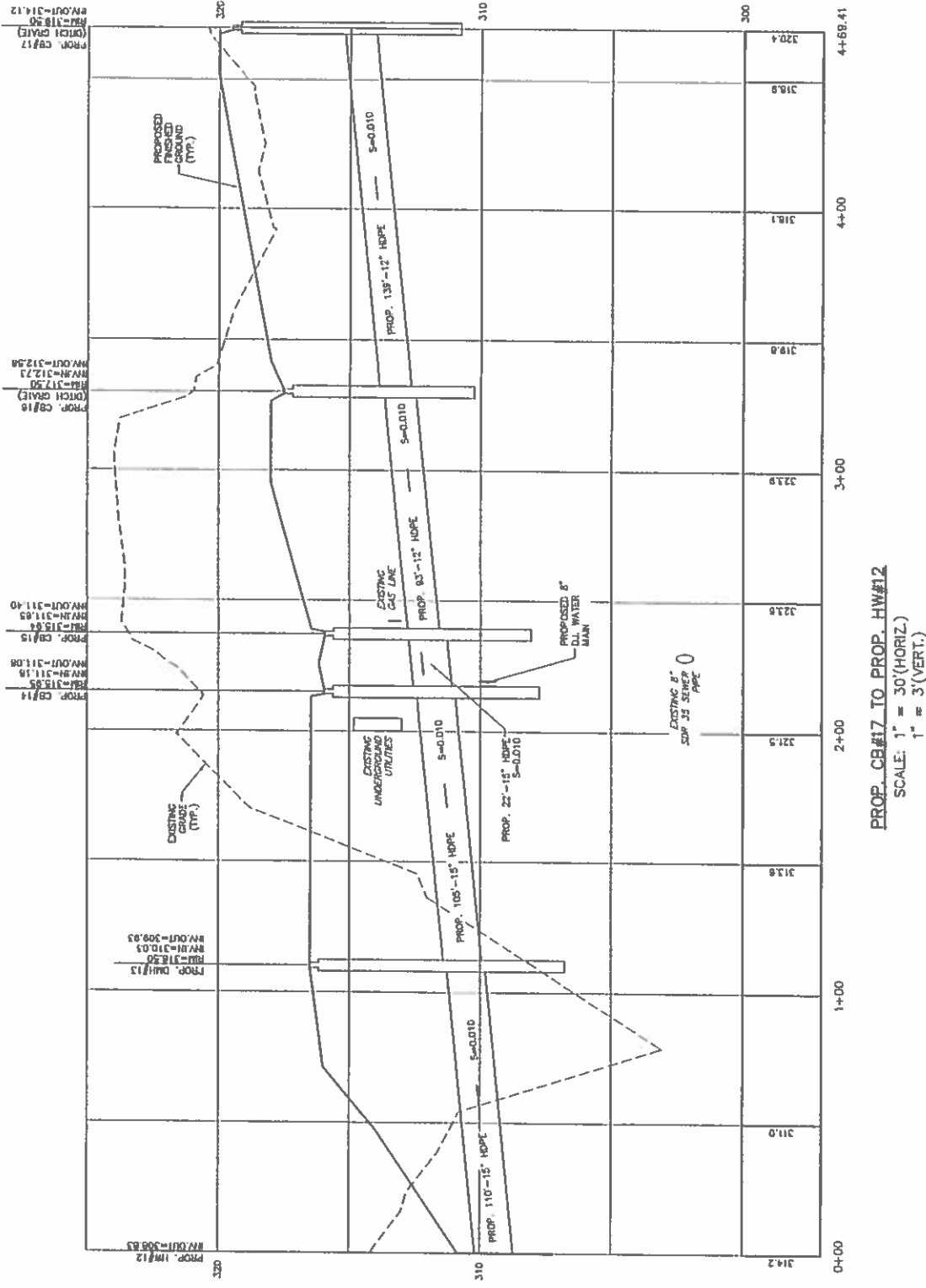
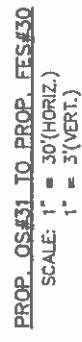
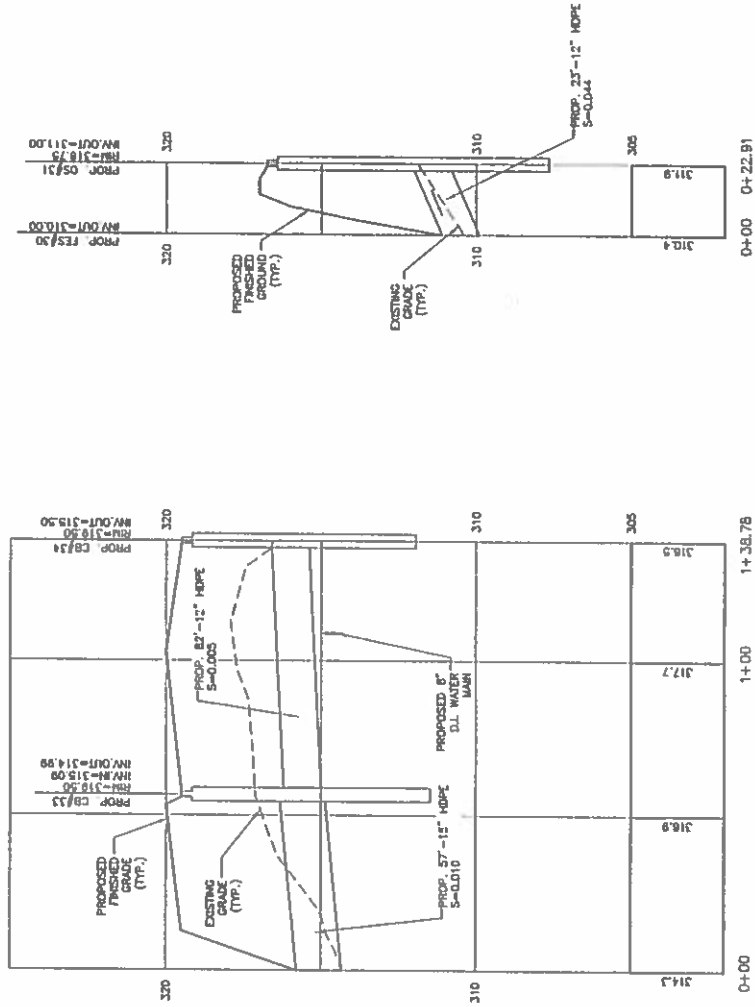
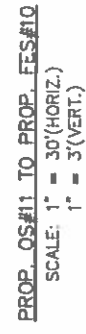
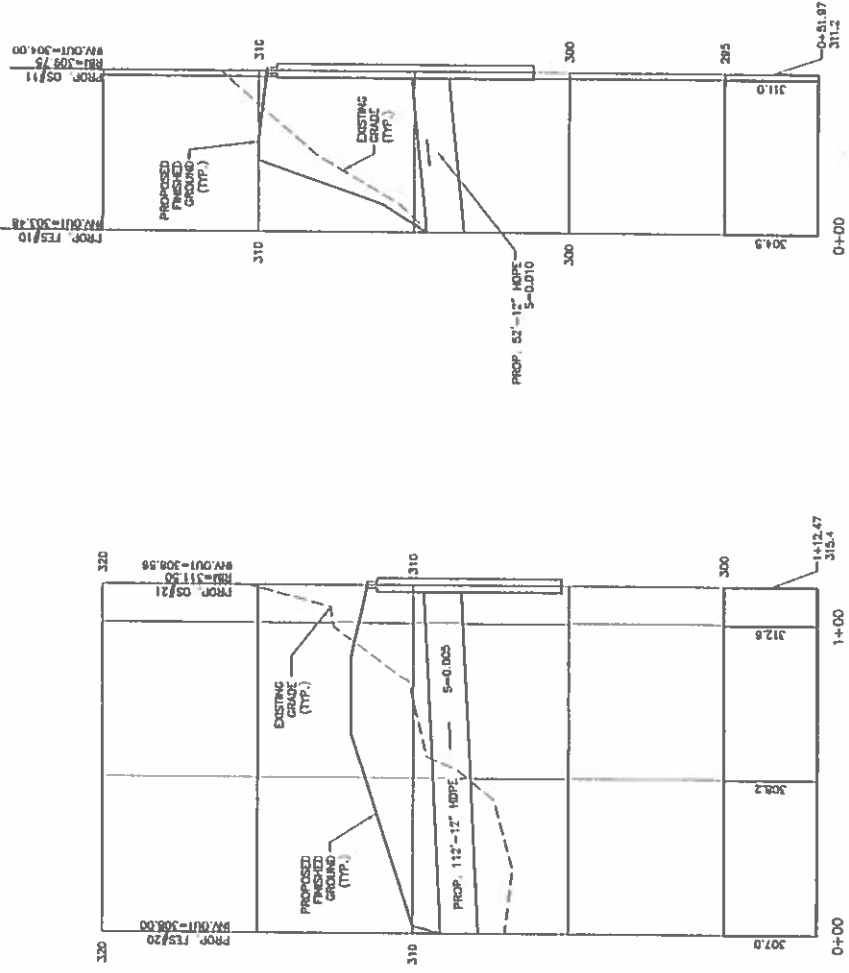
ORDER OF RECORD:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

REVISIONS		
NO.	DATE	DESCRIPTION
1	08/12/13	REVISED PER COMMENTS
2	10/12/13	REVISED PER APPROVAL CONDITIONS
3		
4		
5		
6		
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9		
10		
DATE: JUNE 15, 2015		
PROJECT NO: 12-1212-1		
SCALE: AS NOTED		
SHEET 13 OF 22		

ENR-NO. 701340(1) COMPLIANCE
ESTIMATED SEASONAL HIGH GROUNDWATER LEVELS
WERE DETERMINED BY MEANS OF TEST PITS
LOCATED THROUGHOUT THE SITE. IT IS
ANTICIPATED THAT THE PROPOSED SEWER TRENCH
WILL BE LOCATED WITHIN THE ESTIMATED
SEASONAL HIGH WATER TABLE.





PROP. CB#17 TO PROP. HW#12
SCALE: 1" = 30'(HORIZ.)
1" = 3'(VERT.)



APPLICANT:

183 WASHINGTON STREET, I.L.C.
745 D. HIGHWAY UNIT B
MERRIMACK, NH 03054

ORDER OF RECORD:

183 WASHINGTON STREET, I.L.C.
745 D. HIGHWAY UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

KNA

FEACHE-NORDSTRUM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 30, Bedford, NH 03110 Phone (603) 827-8281

REVISIONS

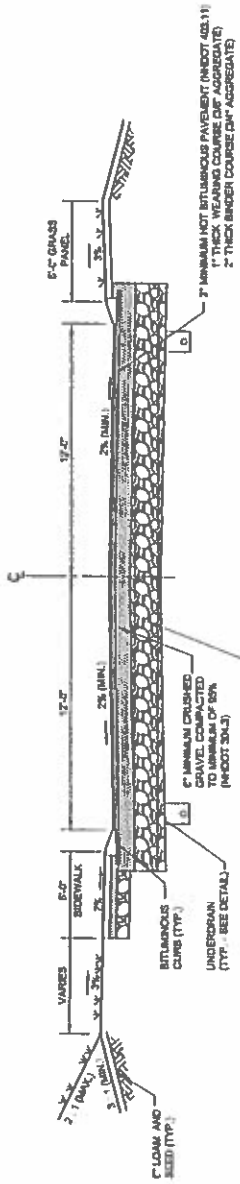
No.	DATE	DESCRIPTION	BY
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2	10/12/15	REVISED PER APPROVAL CONDITIONS	PDC

DATE: 1996-11-16

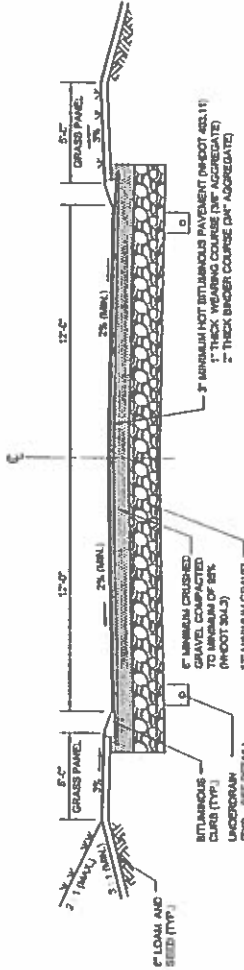
PROJECT NO: 12-1121-1

SCALE: AS NOTED

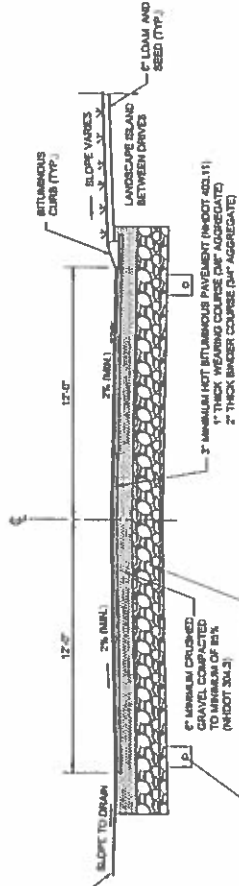
SHEET 14 OF 22



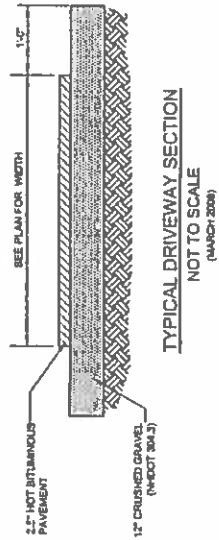
PRIVATE ROADWAY SECTION WITH SIDEWALK
NOT TO SCALE



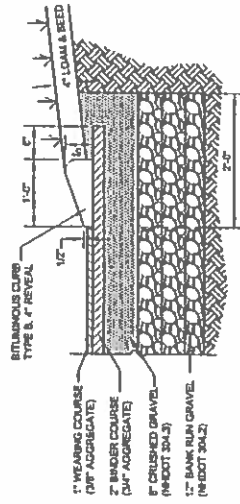
PRIVATE ROADWAY SECTION WITHOUT SIDEWALK
NOT TO SCALE



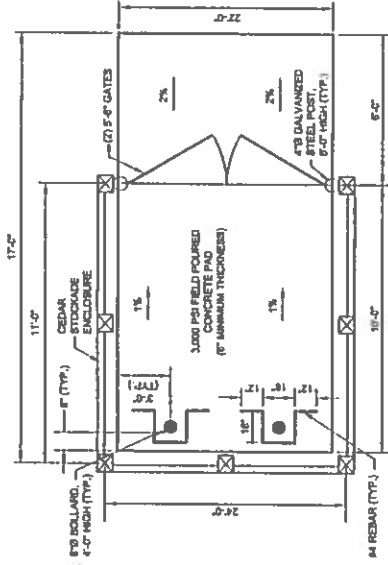
PRIVATE ROADWAY SECTION AT DRIVES
NOT TO SCALE



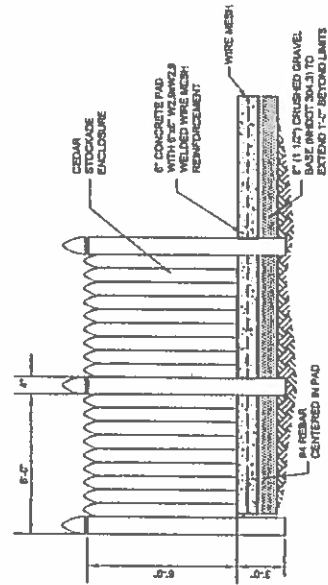
TYPICAL DRIVEWAY SECTION
NOT TO SCALE
(MARCH 2008)



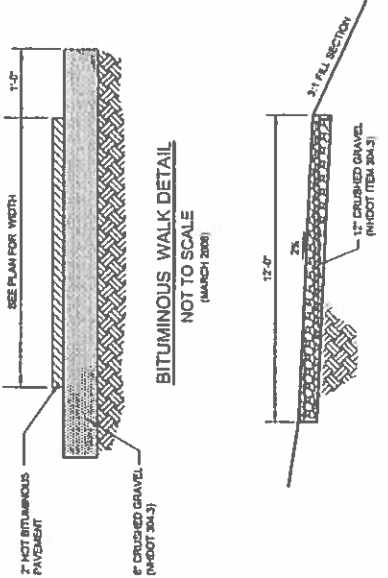
BITUMINOUS CURB TYPE B DETAIL
NOT TO SCALE
(MARCH 2008)



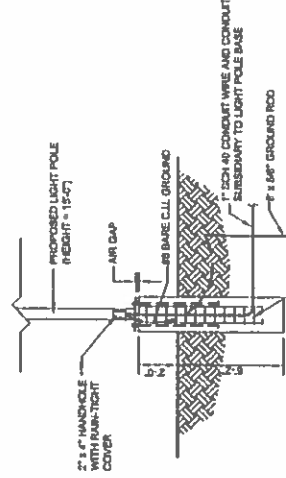
WOOD STOCKADE TRASH ENCLOSURE DETAIL
NOT TO SCALE
(MARCH 2008)



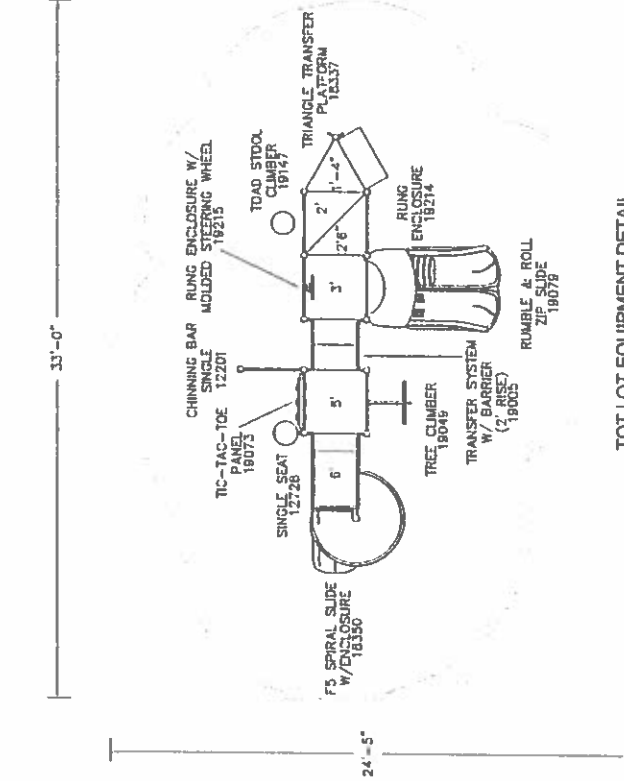
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



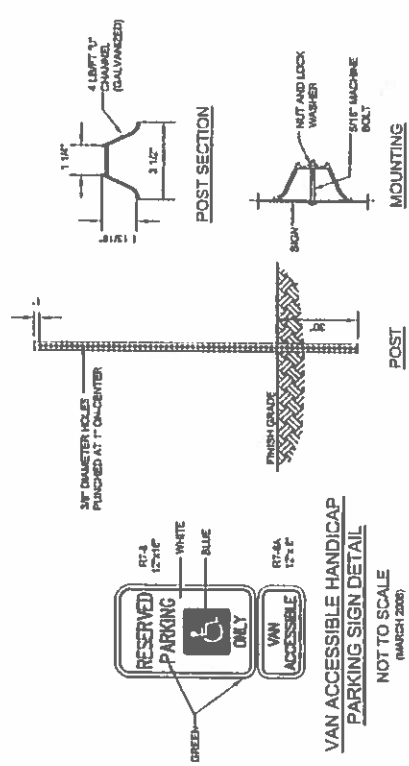
TYPICAL CROSS SECTION GRAVEL DRAINAGE ACCESS
NOT TO SCALE



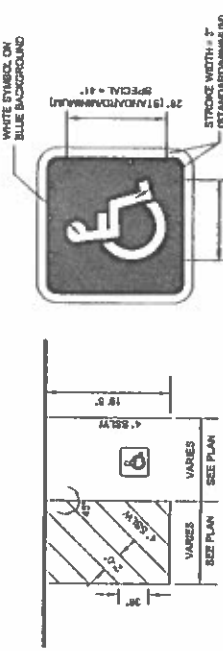
BITUMINOUS WALK DETAIL
NOT TO SCALE
(MARCH 2008)



TOT LOT EQUIPMENT DETAIL
(OR APPROVED EQUAL OR AS APPROVED BY CITY
OF ROCHESTER PLANNING DEPARTMENT)
NOT TO SCALE



STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



HANDICAP STRIPING DETAIL
NOT TO SCALE
(MARCH 2012)

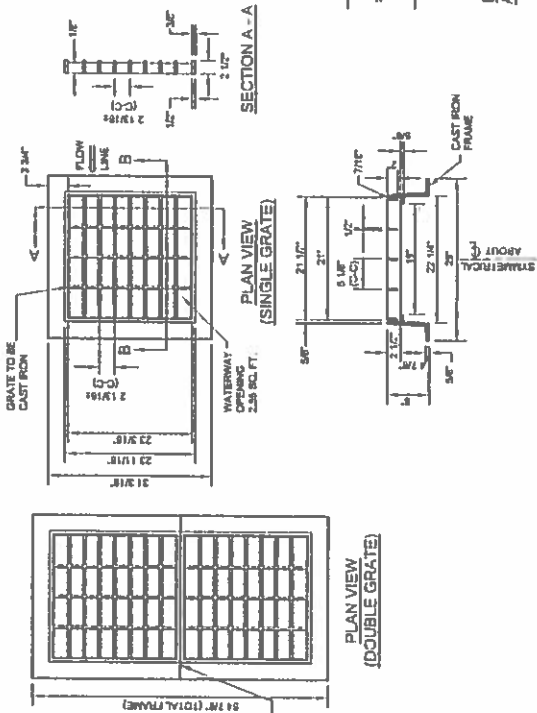
- STRIPING NOTES:
1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 13 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

CONSTRUCTION DETAILS
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STAFFORD COUNTY

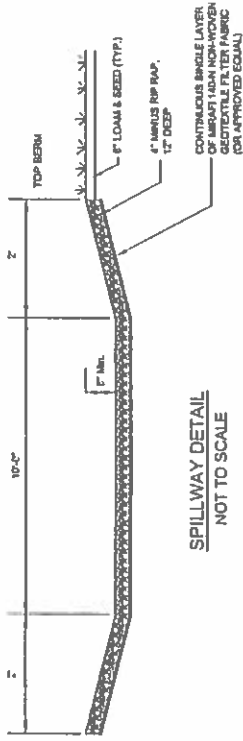
ORDER OF RECORD:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

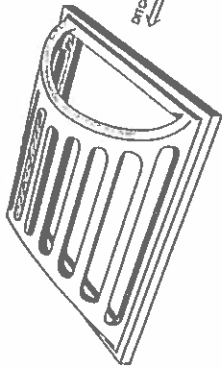
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	08/12/13	REVISED FOR COMMENTS	POC
2	10/12/13	REVISED FOR APPROVAL CONDITIONS	POC
DATE: JUNE 16, 2015			
PROJECT NO: 12-1212-1			
SCALE: AS SHOWN			
SHEET 15 OF 22			



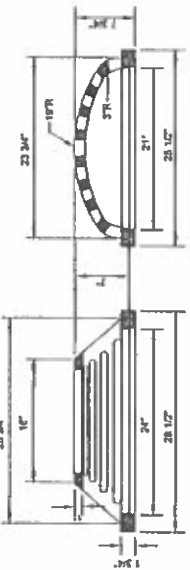
SECTION B - B
TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)



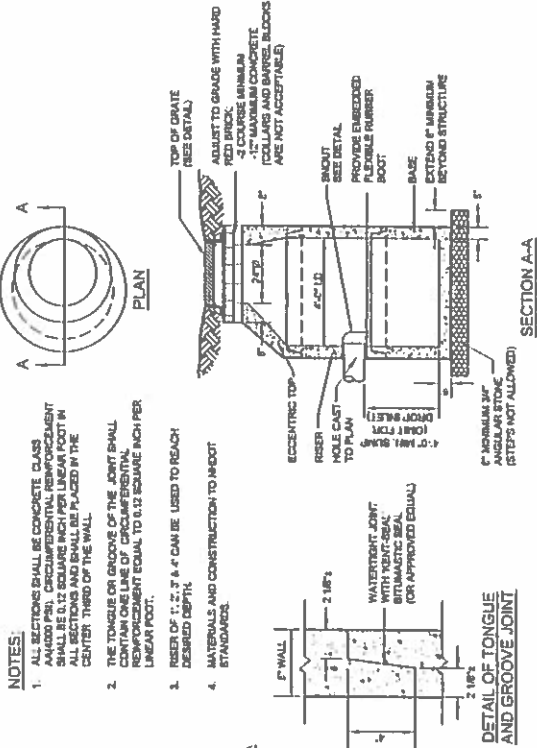
SPILLWAY DETAIL
NOT TO SCALE



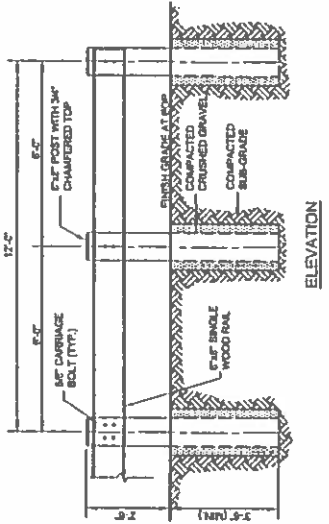
GRATE WITH FRAME



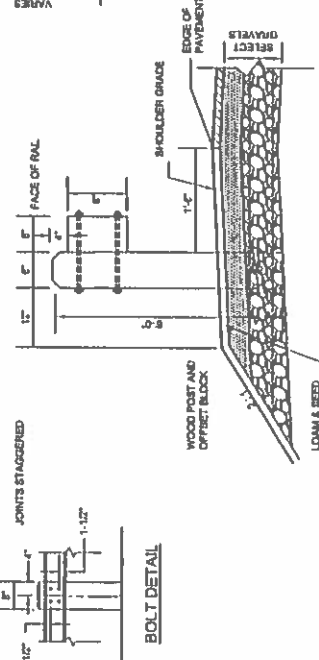
DITCH GRATE WITH FRAME DETAIL
NOT TO SCALE
(MARCH 2008)



SECTION A-A
PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)



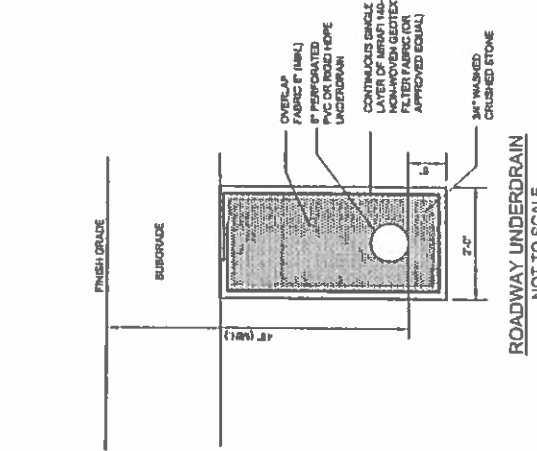
ELEVATION



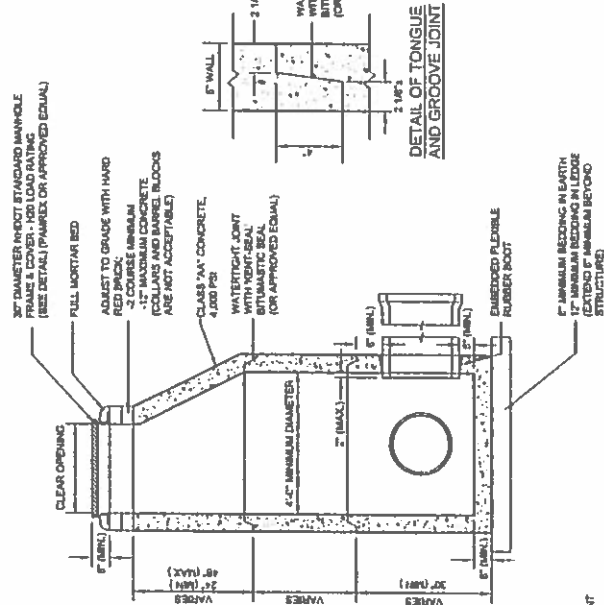
SIDE VIEW

- NOTES:
1. ALL TIMBERS SHALL BE PRESURE TREATED.
 2. FIVE LAMTS - PER LINEAR FOOT INCLUDING END SECTION.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.

WOOD BEAM GUARDRAIL
NOT TO SCALE



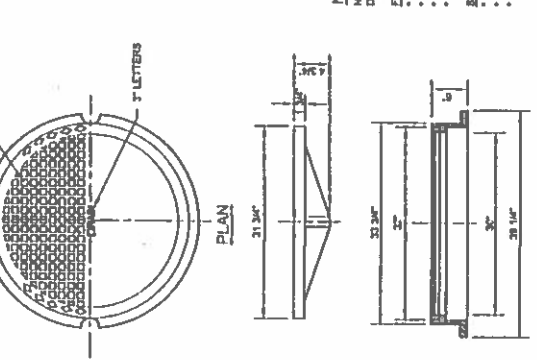
ROADWAY UNDERDRAIN
NOT TO SCALE



DETAIL OF TONGUE AND GROOVE JOINT

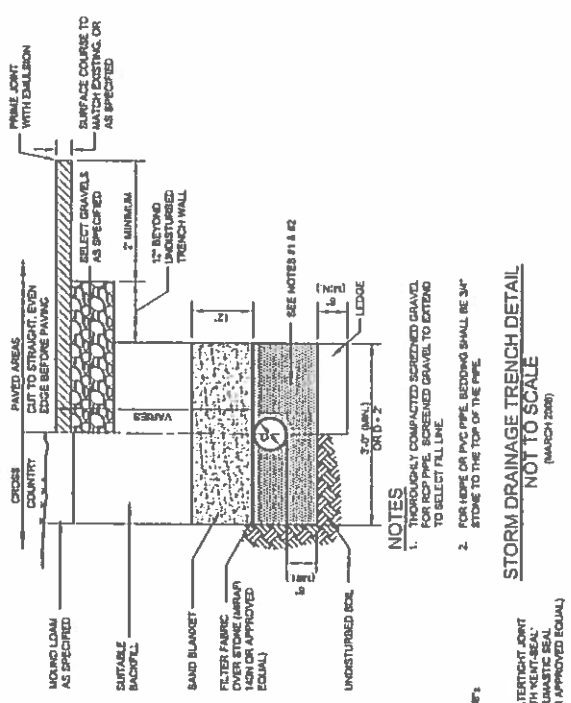
- NOTES:
1. STEPS ARE NOT ALLOWED.
 2. ALL SECTIONS SHALL BE CONCRETE CLASS A AND PER 17\"/>

PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)



SECTION

DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(JANUARY 2012)



STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

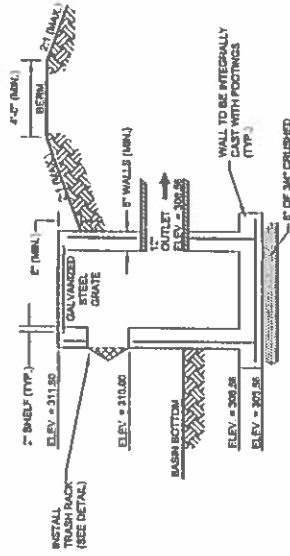
OWNER OF RECORD:
163 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
163 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

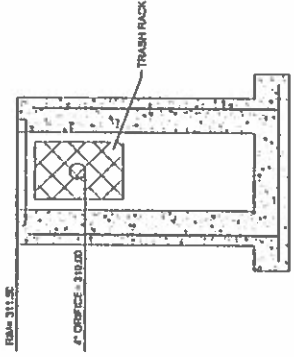
KMA
KMA ENGINEERING
10 Commercial Park North, Suite 202, Bedford, NH 03110 Phone (603) 827-8881

REVISIONS		
No.	DATE	DESCRIPTION
1	09/12/13	REVISED FOR COMMENTS
2	10/12/13	REVISED PER APPROVAL CONDITIONS
3		
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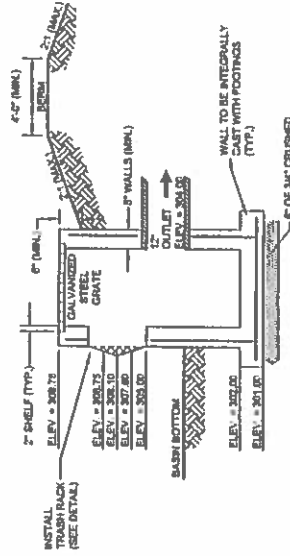
DATE: JUNE 16, 2015
PROJECT NO: 12-1212-1
SCALE: AS SHOWN
SHEET 17 OF 22



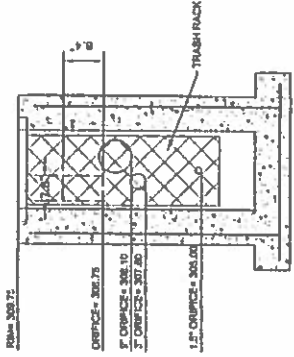
- NOTES:
1. CONCRETE SHALL BE 4000 PSI MINIMUM.
 2. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 3. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478.
 5. DESIGNATION AND H-20 LOADING.



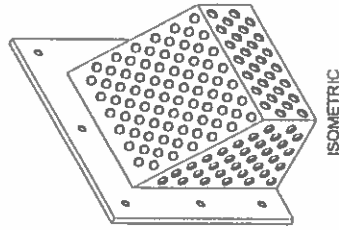
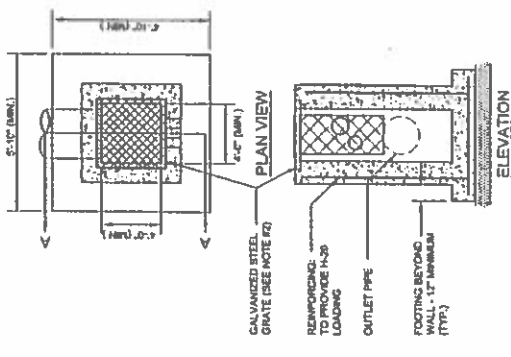
OUTLET CONTROL STRUCTURE #21
FOR DETENTION BASIN
NOT TO SCALE



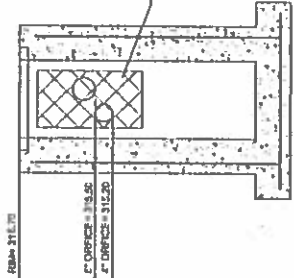
- NOTES:
1. CONCRETE SHALL BE 4000 PSI MINIMUM.
 2. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 3. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478.
 5. DESIGNATION AND H-20 LOADING.



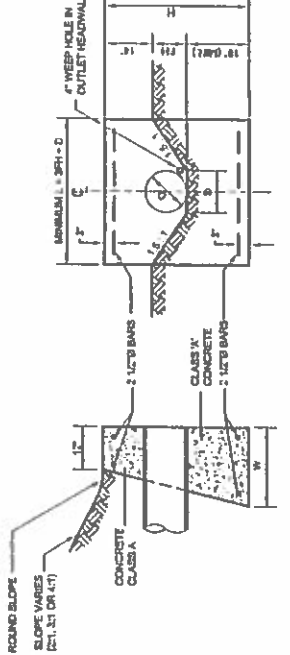
OUTLET CONTROL STRUCTURE #11
FOR MICROPOL EXT. DETENTION POND
NOT TO SCALE



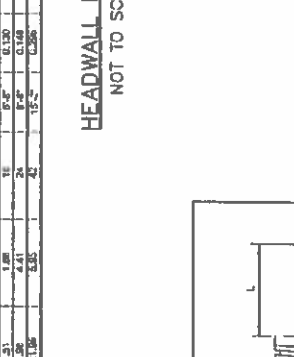
OUTLET CONTROL STRUCTURE #31
FOR INFILTRATION POND
NOT TO SCALE



- NOTES:
1. CONCRETE SHALL BE 4000 PSI MINIMUM.
 2. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 3. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478.
 5. DESIGNATION AND H-20 LOADING.



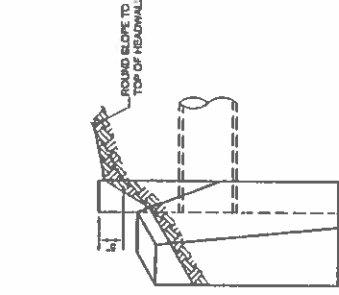
- NOTES:
1. CONCRETE SHALL BE 4000 PSI MINIMUM.
 2. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 3. ALL OPENINGS SHALL BE CAST TO TOP OF STRUCTURE.
 4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478.
 5. DESIGNATION AND H-20 LOADING.



HEADWALL DETAIL
NOT TO SCALE

PIPE DIAMETER	DIMENSIONS, INCHES (MM)			
	PART NO.	A (± 1/2)	B (MAX.)	H (± 1/2)
12" x 12"	1210 MP	6.5"	12"	22"
18"	1810 MP	7.5"	12"	32"
24"	2410 MP	7.5"	12"	42"
30"	3010 MP	10.5"	12"	52"
36"	3610 MP	10.5"	12"	62"

ADS END SECTION DETAIL
NOT TO SCALE
(MARCH 2008)



SLOPE ROUNDING AT TOP OF
CULVERT HEADWALL
NOT TO SCALE

CONSTRUCTION DETAILS
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STAFFORD COUNTY

OWNER OF RECORD:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3927 PG. 453

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 301, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	09/12/15	REVISED SITE CONDITIONS	POC
2	10/12/15	REVISED PER APPROVAL CONDITIONS	POC
DATE: JUNE 16, 2015			
PROJECT NO: 12-1212-1			
SCALE: AS SHOWN			
SHEET 16 OF 22			

IF MORE THAN 5000 CUBIC YARDS ARE BLASTED:
IDENTIFY DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES.
DEVELOP A GROUNDWATER QUALITY SAMPLING PROGRAM TO MONITOR FOR NITRATE AND NITRITE.
EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF
THE DRINKING WATER SUPPLY WELLS IN THE AREA. THE PLAN MUST INCLUDE PRE AND POST BLAST
WATER QUALITY MONITORING AND BE APPROVED BY AGENCIES PRIOR TO INITIATING BLASTING. THE
GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY AGENCIES.

ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.

- [illegible]



LOCATION	LB	W1	W2	GD	DEPTH
HWR2	SIZE PLAN	SIZE PLAN	SIZE PLAN	6"	10"
FSR10	12"	3"	18"	3"	6"
FSR20	6"	3"	6"	3"	6"
FSR22	SIZE PLAN	SIZE PLAN	SIZE PLAN	3"	6"
FSR30	9"	3"	12"	3"	6"

DEPTH	2"	4"	6"	7 1/2"	8"
	10YR 2/2 LOAM WEAK GRANULAR, VERY FRABLE	10YR 3/2 FINE SANDY LOAM WEAK GRANULAR, VERY FRABLE	10YR 4/6 FINE SANDY LOAM GRANULAR, FRABLE	2.5Y 5/6 FINE SANDY LOAM GRANULAR, FRABLE	5Y 5/6 SAND SINGLE GRAIN C-10 (NOTILES - 7.5Y 5/6)



1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RPE RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RPE RAP SHALL CONFORM TO THE SPECIFIED GRADATION.

- ### MAINTENANCE:

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RAP HAS BEEN DEFORMED, UNLOCKED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL, IMMEDIATELY BELOW THE DOWNSTREAM CHANNEL, SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TRAILER DEPTHS ON THE PILES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

NOT TO SCALE

NOT TO SCALE

1. CONTRACTOR TO NOTIFY DGS-S&E 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR.

3. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SLOPE STABILIZATION BARRIERS SHOULD BE USED AS TEMPORARY DITCHES. CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
4. ALL EXPOSED EARTHWORK SHALL BE PROPERLY PROTECTED BY CONSTRUCTION OF ORGANIC MATERIAL SUFFICIENT FOR USE AS TOPSOIL. SUCH TOPSOIL SHALL BE STOCKPILED IN UP-AND AREAS. ALL STOCKPILES SHALL BE SEEDED WITH NATIVE AND IF NECESSARY SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE DESIGNED TO ALLOW FOR PROPER FLOODING OF THE UNDERLYING AREA.
6. PROTECT EARTHWORK CUT/FLIPS REQUIRED TO SHAPE, STABILIZE FOREBAY AND STORMWATER BASIN.
7. CONSTRUCT OUTLET & OVERFLOW STRUCTURE, WEIR, CULVERT, HEADWALL AND RP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
8. CONSTRUCT DRAINAGE DITCHES TO REMOTE EXCESS WATER FROM THE PROJECT AREA.
9. CONSTRUCT DRAINAGE DITCHES TO REMOTE EXCESS WATER FROM THE PROJECT AREA.
10. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 1-INCH COMPACTED THICKNESS. UPOON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LEAVED UNSEED AND MULCHED. CONSTRUCTION ACTIVITIES SHALL BE SO SCHEDULED AS TO AVOID EXCESSIVE SOIL EXPOSURE TO WEATHER AND TO MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY DITCHES UNTIL SUCH TIME AS THE AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
11. AFTER CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED), EARTH STABILIZATION REMOTE AND SURFACE DISPOSE OF TEMPORARY DITCHES. CONTROL MEASURES SHALL BE INSTALLED TO PREVENT EROSION OF THE REMOVED AREAS. SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RP RAP OUTLET PROTECTION.

NOT TO SCALE

OWNER OF RECORD: 163 WASHINGTON STREET, LLC. 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054 S.C.R.D. BK. 3827 PG. 453	APPLICANT: 163 WASHINGTON STREET, LLC. 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054
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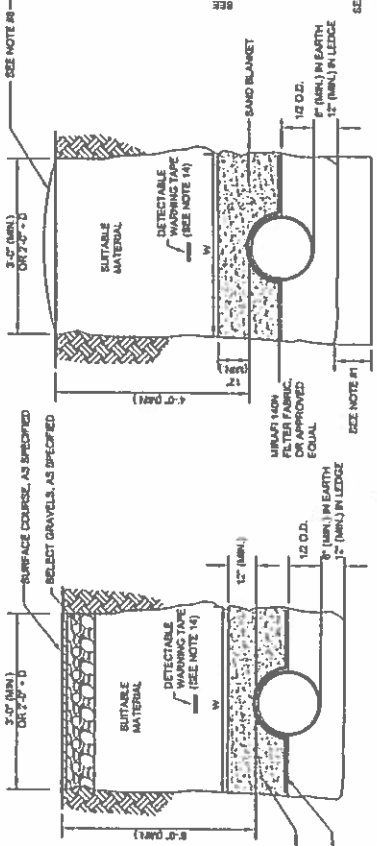
Civil Engineering Land Surveying Landscape Architecture
10 Commerses Park North, Suite 3R, Bedford, NH 03110 Phone (603) 627-2661

[illegible]

1. MINIMUM SIZE PIPE FOR UNIT SERVICE SHALL BE 4 INCHES UNLESS OTHERWISE NOTED. MINIMUM SIZE FOR STREET SEWER LINES SHALL BE 8 INCHES.
2. ALL SEWER LINES SHALL BE CAST IRON PIPE.
3. ALL DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA):
 1. OTHER LIQUIDS - FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND-CLAYED MOLDS, FOR WATER OR OTHER LIQUIDS.
 2. ANNUA CRYSTAL SIZE - FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH LASTM A356-AL OR C804 DUCTILE IRON.
 3. JOINTS SHALL BE MECHANICAL, PUSH-ON BALL-AND-SOCKET TYPE.
4. PLASTIC DRAINAGE SEWER PIPE AND FITTINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS:

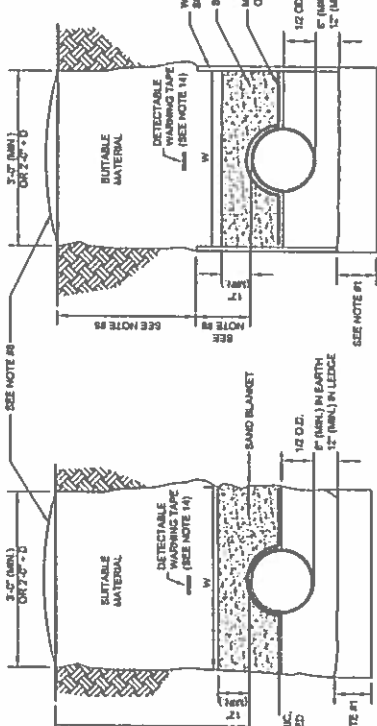
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9. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATING, WATER SHALL BE INTRODUCED INTO THE TRENCH ABOVE THE PLUG TO A HEIGHT OF A FEET ABOVE THE LEVEL OF THE PLUG.
10. AS LONG AS THERE IS NO LEAKAGE OF WATER FROM THE TRENCH, THE TRENCH SHALL BE PERMITTED TO FILL IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEAN OUT WITH A FLASHLIGHT.
11. DRY FLOURENCE DYE SHALL BE SPRAYED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY SOAKED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH. IF THERE IS NO LEAKAGE OF WATER FROM THE TRENCH, THE TRENCH SHALL BE PERMITTED TO FILL IN THE TRENCH OVER THE PIPE.
12. LEAKAGE OBSERVED IN ANY OF THE ABOVE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP, IF NECESSARY, AND RE-LAND SO AS TO ASSURE WATER TIGHTNESS.
13. ELECTRICAL CONNECTIONS, NOTHING BUT SANITARY WASTE FLUO FROM TOILETS, SINKS, LAUNDRY, ETC. SHALL BE PERMITTED TO THE TRENCH. OUTSIDE BATHS, BUMP PUMPS OR ANY OTHER ILLEGAL CONNECTION DURING RAIN WATER, DRAINAGE OR FLOOD CONDITIONS SHALL BE PROHIBITED.
14. THE TRENCH SHALL NOT BE LAIN IN THE SAME TRENCH AS THE SEWER SERVICE, UNLESS NECESSARY AND APPROVED BY THE ALC, WHEN NECESSARY THE WATER SERVICE SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER SERVICE, AS SHOWN.
15. THE LOCATION OF THE WATER SERVICE SHALL BE RECORDED AND PLOED IN THE MUNICIPAL RECORDS. IN ADDITION, A FORMAL LOCATION MAP OF THE PIPE SHALL BE PLACED OVER THE PIPE TO AIN IN LOCATING THE BURIED PIPE WITH A PIPE LOCATOR OR CHAIN.
16. JOINT CONNECTIONS ARE ONLY PERMITTED IF ALLOWED BY THE ALC. ANY VERTICAL RISE GREATER THAN A FEET SHALL BE PROVIDED WITH ADDED SUPPORT BY ENCASEMENT. THE FITTINGS AND RISER IN A PERMANENT CONCRETE CHAMBER, UP TO 12 FEET OF VERTICAL RISE CAN BE SECURED BY PROPER MEANS AS LONG AS IT CONSISTS OF A WELL-REINFORCED CONNECTION PROPERLY JOINTED BY OTHER MEANS NOTED. ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO 98% OF THE UNMODIFIED PROCTOR TEST DENSITY.



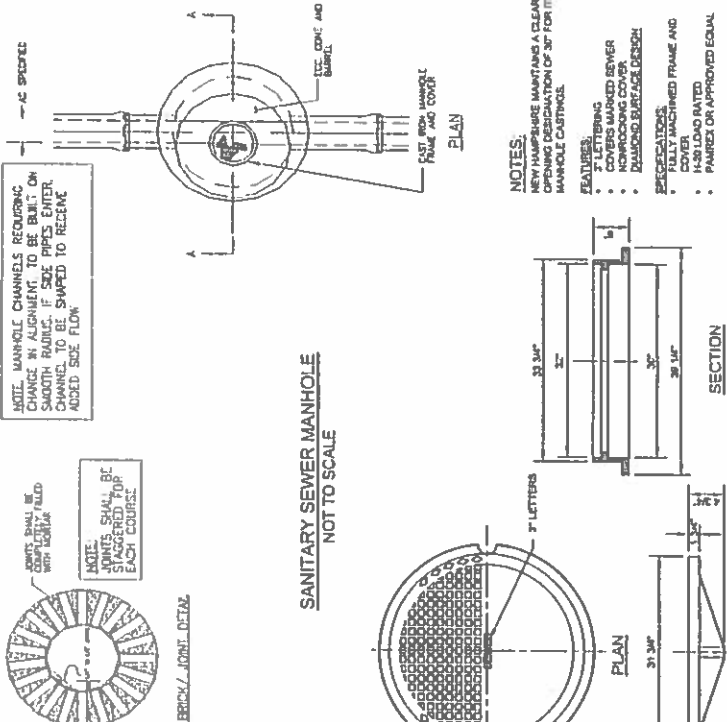
FOR CONSTRUCTION IN ROADS, ROAD SHOULDER AND WALKWAYS	NOTE	CROSS COUNTRY EARTH CONSTRUCTION
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT DEPTH FOR		

- [illegible]



**CROSS COUNTRY EARTH CONSTRUCTION
WITH SHEETING**

10. WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE, AND THE WATER MAIN SHALL CROSS AT LEAST 1' ABOVE THE SEWER. FURTHER, THE SEWER SHALL BE INSTALLED AT A MINIMUM 18" DEPTH.
11. ALL SEWERS AT A POSITIVE SLOPE, OR GREATER, SHALL HAVE IMPERMEABLE TRENCH WALLS CONSTRUCTED TO 100% OF THE ASSOCIATED DESIGN TEST.
12. ALL SEWERS OTHER THAN RIGIDULAR MATERIAL SHALL BE PLACED IN 12" UPTS AND COMPACTED TO 90% OF THE ASSOCIATED DESIGN TEST.
13. WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENVO AND TOLERANCE AND TESTED PER ADHITS WITHIN 0.5 FEET OF CROSSING POINT AND 1/4 MINIMUM TOLERANCE.
14. ALL SEWERS SHALL BE MARKED USING METAL IMPREGATED MARKING TAPE OR TRACER WIRE THAT CAN BE DETECTED BY STANDARD DETECTION EQUIPMENT.
15. ALL NEW GRAVITY SEWER TRENCHES SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
16. ALL NEW GRAVITY AIR TIGHTNESS SHALL BE IN CONFORMANCE WITH:
 - A. ALL NEW GRAVITY AIR TIGHTNESS SHALL BE IN CONFORMANCE WITH:
 1. ASTM F1415 (2002) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR"
 2. (1998)
 - B. ALL NEW GRAVITY AIR TIGHTNESS SHALL BE IN CONFORMANCE WITH:
 1. STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR"
 2. (1998)
17. ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST PIPE BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND NO BALLS.
18. ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS AFTER MORE THAN 90 DAYS FOLLOWING INSTALLATION.
19. ALL GRAVITY SEWER TRENCHES OF 15" OR GREATER DIAMETER SHALL BE A MINIMUM OF 4" AVERAGE INSIDE INSIDE DIAMETER, A RIGID BALL OR MANHOLES WITH A DIAMETER OF AT LEAST 10% PERCENT OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MEDIAN PULLING DEVICE.



OT TO SCA

MAP 237 LOT 8-1

59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

CONSTRUCTION DETAILS

NUMBER OF GROUPS	APPLICANT

83 WASHINGTON STREET, LLC.
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.B.D. INC. 1027 30452

22

KNA AN IRVING-CLOUD COMPANY
KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Bank Bldg. Suite 2000 Dallas, Texas 75201 (214) 766-1000

REVISIONS

No.	DATE	DESCRIPTION	BY
1	08/12/15	REVISED FOR COMMENTS	PJC
2	10/12/15	REVISED FOR APPROVAL CONDITIONS	PJC

DATE: JUNE 16, 2015 SCALE: AS SHOWN
PROJECT NO: 12-1212-1 SHEET 20 OF 22

SANITARY SEWER STRUCTURES NOTES:

1. ALL COMPONENT PARTS OF MANHOLE STRUCTURES SHALL HAVE THE STRENGTH, LEAK RESISTANCE AND SPACES NECESSARY FOR THE INTENDED SERVICE.
2. MANHOLE STRUCTURES SHALL BE DESIGNED TO WITHSTAND A LOAD OF TEN YEARS.
3. EDGES OF ONE PIPE PER VERTICAL FOOT OF MANHOLE FOR THE LIFE OF THE STRUCTURE SHALL BE CRACK FREE.
4. ALL JOINTS AND SECTIONS SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE AND SHALL BE CRACK FREE.
5. BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MIXING WITH C33 100% PASSING 1/2" SIEVE
20-40% PASSING 3/8" SIEVE
20-40% PASSING #10 SIEVE
0-10% PASSING #40 SIEVE
6. WHEN CRUSHED STONE IS USED TO STABILIZE THE BASE, CRUSHED STONE SHALL BE 1.75" MAX

1. JOINTS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.

- [illegible]

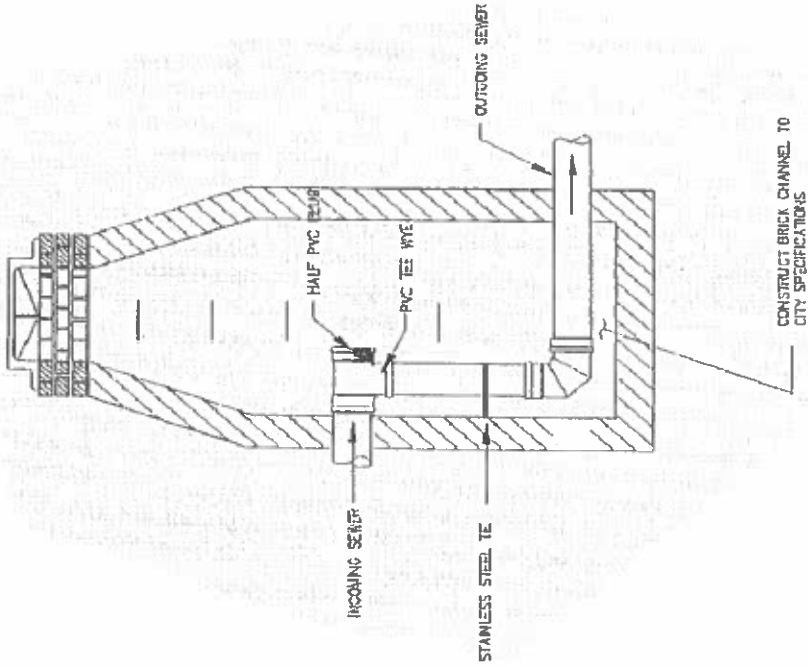
- I. 4.8 PARTS SAND, ONE PART CEMENT, AND 5 PARTS HYDRATED LIME.
- J. CEMENT SHALL BE TYPE I.
- K. HYDRATED LIME SHALL BE TYPE I CONFORMING TO THE ASTM C207 AS STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES.
- L. SAND SHALL CONSIST OF MEET NATURAL SAND CONFORMING TO THE ASTM C230.
- M. CONCRETE FOR DROP BENCHES SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- N. SPECIFICATIONS FOR DODGING SHALL BE PROVIDED WITHIN THE POLYMER CONCRETE MANUFACTURING INSTRUCTIONS.
- O. WITHIN 48-HOURS FOR REINFORCED CONCRETE (RC) PIPE AND 14-DAYS FOR POLYMER CONCRETE (PC) PIPE.
- P. NO JOINTS SHALL BE REQUIRED FOR PC PIPE LARGER THAN 18-INCH DIAMETER.
- Q. JOINTS SHALL BE REQUIRED FOR PC PIPE ON FOR PC PIPE UP THROUGH 18-INCH DIAMETER.
- R. WHEN MANHOLE DEPTH IS LESS THAN 8 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED INSTEAD OF A CONC. SECTION. PROVIDED THE SLAB HAS AN EGRESS/ENTRANCE

3. MANHOLE STEPS SHALL BE CAPABLE OF SUPPORTING 1350 LBS.
 - A. BE INSTALLED ONLY AT THE REQUEST OF THE SYSTEM OWNER.
 - B. BE MANUFACTURED OF STAINLESS, PLASTIC-CONCRETE STEEL OR PLASTIC.
 - C. BE DESIGNED SUCH THAT THEY CANNOT BE FALLOUT OF THE CONCRETE WALL INTO WHICH THEY ARE REQUIRED.
 - D. MEET THE REQUIREMENTS OF ASTM C678 FOR LOAD CARRYING CAPACITY AND PULL-OUT.
 - E. NOT BE SECURED WITH MORTAR.
 - F. BE APPROXIMATELY 14 INCHES BY 10 INCHES IN DIMENSION.
 - G. BE INSTALLED WITH A 1/2" TOP SECTION OR FACED ANCHORS TO PREVENT REINFORCING SLIPPAGE OFF THE STEP AND

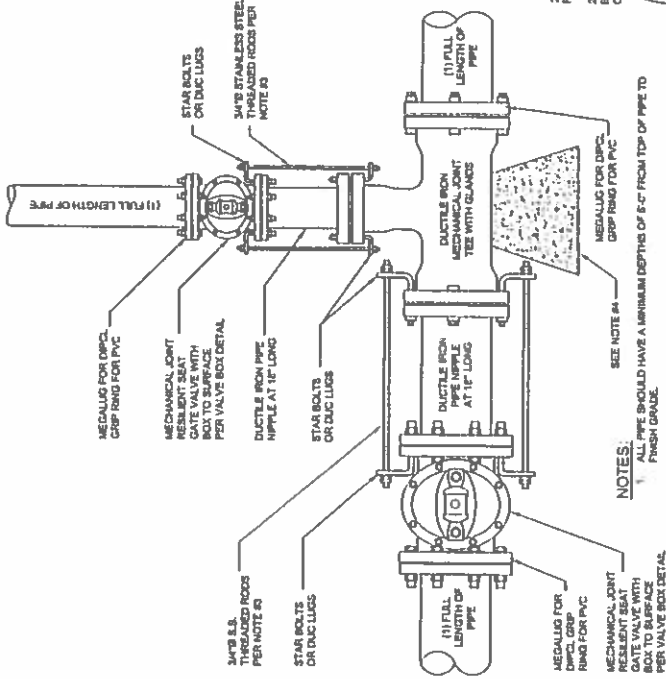
- h. HAVE NON-RDIO SAFETY BERRATIONS ON THE HOOF CONTACT SURFACE.
- i. MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST.
- j. MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST.
- k. THE MINIMUM VACUUM TEST SHALL COMPOSE TO THE FOLLOWING:
 1. THE MANHOLE SHALL BE TESTED FOR A LEAKAGE OF 10 INCHES PER HOUR.
 2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A LEAK PRESSURE DROP TO 1 INCH HG SHALL BE:
 - a. NOT LESS THAN 2 INCHES FOR MANHOLES LESS THAN 10 FEET DEEP.
 - b. NOT LESS THAN 2.2 INCHES FOR MANHOLES 10 TO 15 FEET DEEP.
 - c. NOT LESS THAN 3 INCHES FOR MANHOLES MORE THAN 15 FEET DEEP.
 3. THE MANHOLE SHALL BE TESTED FOR A LEAKAGE OF 10 INCHES PER HOUR.
 4. THE ACCEPTANCE LIMIT SPECIFIED IN (j) ABOVE.
- l. FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE REINSTALLED AND THE MANHOLE SHALL BE REOPENED TO THE STREET.
- m. NO UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNLESS ACCIDENTAL, ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNLESS ACCIDENTAL, ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNLESS ACCIDENTAL.

NOTES

- NOTES:**
- NEW HAMPER-MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR MANHOLE CASTINGS.
- FEATURES:**
- FLUTTERING
 - COVERS MARKED BEMER
 - NONSLIPPING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - 14-30 LOAD RATED

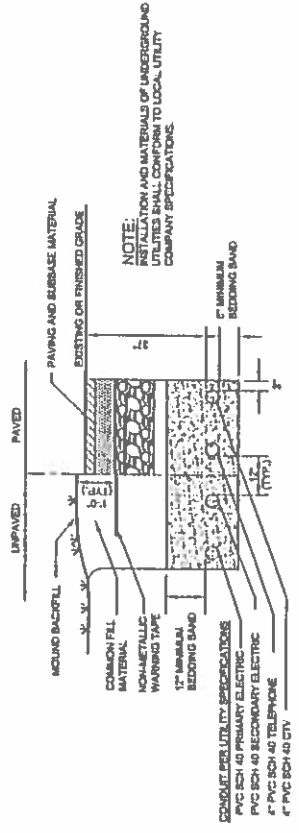


INSIDE DROP FOR EXISTING MANHOLE DETAIL
NOT TO SCALE

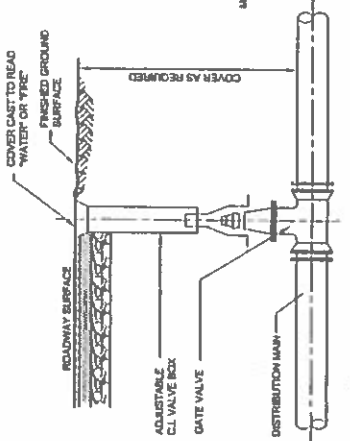


- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO CITY OF ROCHESTER DPM TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FRESH GRADE.
 3. 10 GAUGE TRACER WIRE AS MANUFACTURED BY INAL DIVISION OF ALBEMAR CORP., AVON, MA OR EQUIVALENT.

TEE INSTALLATION
(A-08)
NOT TO SCALE
(MARCH 2008)

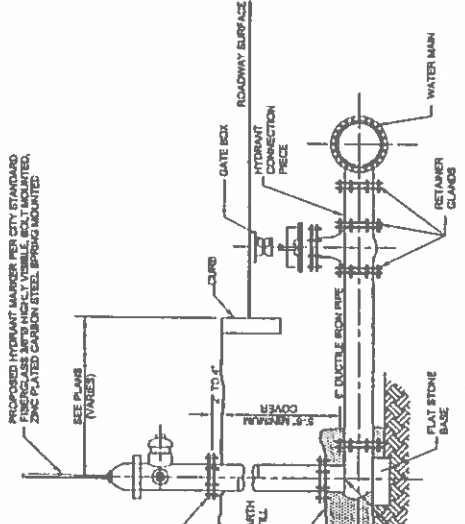
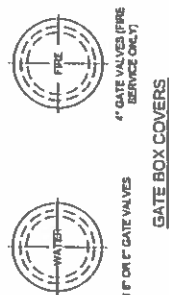


UTILITY TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



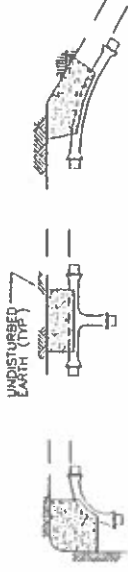
- NOTE:
1. GATE VALVES AND GATE BOXES SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARDS OF INFRASTRUCTURE DESIGN.

WATER GATE VALVE
NOT TO SCALE
(MARCH 2008)



- NOTE:
1. PROPER RESTRAINT REQUIRED THROUGHOUT TO FIX HYDRANT TO MAIN

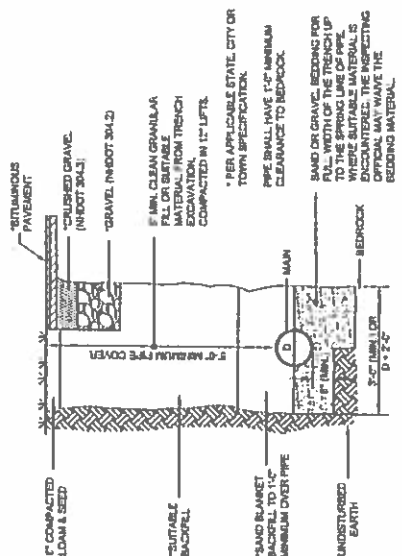
HYDRANT INSTALLATION
NOT TO SCALE
(MARCH 2008)



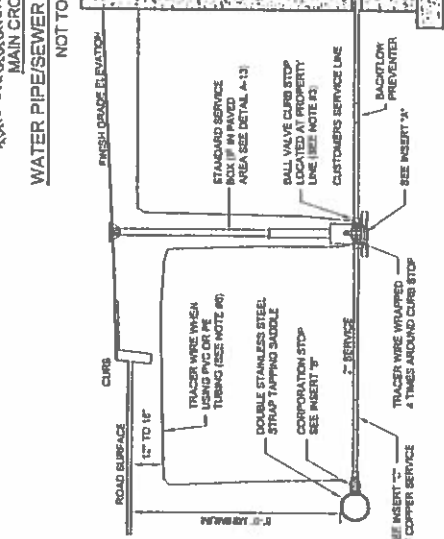
Soil	Bearing Strength, lb/ft^2
Meek	0
Soft Clay	1,000
Silt	1,500
Sandy Silt	3,000
Sand	4,000
Sandy Clay	6,000
Hard Clay	9,000

- NOTE:
1. THRUST BLOCKS SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARDS OF INFRASTRUCTURE DESIGN.

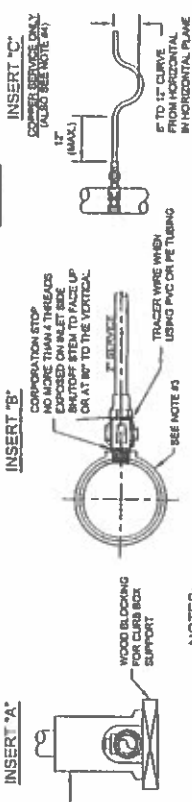
THRUST BLOCK DETAIL
NOT TO SCALE



WATER LINE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)



WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE



- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO CITY OF ROCHESTER DPM TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FRESH GRADE.
 3. 10 GAUGE TRACER WIRE AS MANUFACTURED BY INAL DIVISION OF ALBEMAR CORP., AVON, MA OR EQUIVALENT.

2" SERVICE AND VALVE BOX INSTALLATION DETAIL
(A-20)
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS
THE TOWNHOMES AT
HIGHFIELD COMMONS - PHASE 2C
MAP 237 LOT 8-1
59 FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

DIRECTOR OF RECORD:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3827 PG. 453

APPLICANT:
183 WASHINGTON STREET, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054
S.C.R.D. BK. 3827 PG. 453

REVISIONS	
No.	DATE
1	08/12/15
2	10/12/15
DESCRIPTION	
1	REVISED PER COMMENTS
2	REVISED PER APPROVAL CONDITIONS
BY	
1	PDC
2	PDC
DATE: JUNE 16, 2015	
SCALE: AS SHOWN	
PROJECT NO: 12-1212-1	
SHEET 21 OF 22	

