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SEP 08 2015

Planning Dept.

NONRESIDENTIAL SITE PLAN APPLICATION**City of Rochester, New Hampshire**

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: Sept 2, 2015 Is a conditional use needed? Yes: _____ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property informationTax map #: 243; Lot #'s: 34 & 35; Zoning district: IndustrialProperty address/location: 127 & 145 Airport DriveName of project (if applicable): HM Machine, LLC Manufacturing FacilitySize of site: 3.78 & 3.46 acres; overlay zoning district(s)? Conservation Overlay District**Property owner**Name (include name of individual): City of RochesterMailing address: 31 Wakefield Street, Rochester, NH 03867Telephone #: (603) 335-7500 Email: _____**Applicant/developer** (if different from property owner)Name (include name of individual): Hussey Manufacturing Technology, LLCMailing address: 9 Great Falls Ave, Suite 1; Rochester, NH 03867Telephone #: (603) 948-1178 Email: Andrew.hussey@hmmachinenh.com**Engineer/designer**Name (include name of individual): Norway Plains Associates, Inc; Scott A. Lawler, PEMailing address: PO Box 249; Rochester, NH 03866-0249Telephone #: (603) 335-3948 Fax #: (603) 332-0098Email address: slawler@norwayplains.com Professional license #: PE 10026**Proposed activity** (check all that apply)New building(s): X Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 243 Lot: 34 & 35 Zone IND)

Describe proposed activity/use: The proposed project is to construct a 24,000 square feet manufacturing building, with future expansion up to 40,000 square feet.

Describe existing conditions/use (vacant land?): The existing parcel is currently undeveloped.

Utility information

City water? yes X no ; How far is City water from the site?

City sewer? yes X no ; How far is City sewer from the site?

If City water, what are the estimated total daily needs? 2,000 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes no X

If City sewer, do you plan to discharge anything other than domestic waste? yes no X

Where will stormwater be discharged? The stormwater will be treated in either infiltration basins or a gravel wetlands before discharging into the existing drainage along the rear property line and NH North Coast.

Building information

Type of building(s): Steel Framed, Slab on Grade

Building height: 22' Finished floor elevation: 277.5'

Other information

parking spaces: existing: total proposed: 69; Are there pertinent covenants?

Number of cubic yards of earth being removed from the site 0

Number of existing employees: n/a; number of proposed employees total: 100 (60 on Max. Shift)

Check any that are proposed: variance ; special exception ; conditional use

Wetlands: Is any fill proposed? ; area to be filled: ; buffer impact?

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	Proposed: 24,000 sf Future: 16,000 sf	7.6% 5.1%
Parking and vehicle circulation	55,750 sf	17.7%
Planted/landscaped areas (excluding drainage)	35,050 sf	11.1%
Natural/undisturbed areas (excluding wetlands)	108,900 sf	34.5%
Wetlands	4,400 sf	1.4%
Other – drainage structures, outside storage, etc.	71,275 sf	22.6%

(Continued Nonresidential Site Plan application Tax Map: 243 Lot: 34 & 35 Zone IND)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

HM Machine, LLC will be purchasing the property from the City of Rochester and relocate from their current facility
to this location next year.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

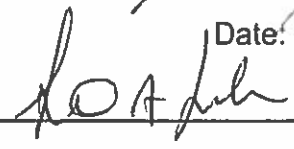
Signature of property owner: Blaine M Cox

Digitally signed by Blaine M Cox
DN: cn=Blaine M Cox, o=City of Rochester, ou=Department of Finance,
email=blaine.cox@rochester.net, c=US
Date: 2015.09.02 15:25:11 -04'02'

Date: 2015-09-02

Signature of applicant/developer: 

Date: 9/4/15

Signature of agent: 

Date: 9/8/15

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

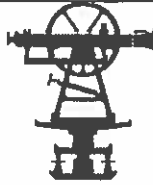
Signature of property owner: Blaine M Cox

Digitally signed by Blaine M Cox
DN: cn=Blaine M Cox, o=City of Rochester,
ou=New Hampshire, ou=Department of
Finance,
email=blaine.cox@rochester.net, c=US
Date: 2015.09.02 15:25:19 -04'02'

NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS • SEPTIC SYSTEM DESIGNERS • ENGINEERS • TRANSPORTATION PLANNERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Fax (603)332-0098
Phone (603) 335-3948 / (800) 479-3948
slawler@norwayplains.com



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31 Mooney St.
Alton, NH 03809
www.norwayplains.com
Phone & Fax (603) 875-3948
rtetreault@norwayplains.com

September 8, 2015

Seth Creighton, Chief Planner
Department of Planning and Development
Second Floor, City Hall
31 Wakefield Street
Rochester, NH 03867-1917

Re: Non- Residential Site Plan Application; HM Machine, LLC. - Map 243, Lots 34 & 35.

Dear Mr. Creighton:

On behalf of City of Rochester, Hussey Manufacturing, Technology and HM Machine, LLC; we hereby submit plans and nonresidential site plan application for a proposed 40,000 square foot manufacturing facility to be built in two phases. The proposed facility will be constructed on two parcels located at 127 & 145 Airport Drive, within the Granite State Business Park.

The property is currently owned by the City of Rochester, in which Hussey Manufacturing Technology LLC is planning on purchasing the property upon receiving approval from the Rochester Planning Board. Both properties are located within the Industrial Zone and are vacant. As part of the proposal, the applicant is aware that the common property line will need to be abandoned and the two lots merged into one lot.

The facility will be occupied by HM Machine, LLC, who will be relocating from a facility located at 9 Great Falls Avenue once their current lease expires in December 2016. HM Machines, LLC was founded in 2007 and moved in Rochester in 2011. They are a precision CNC machine and manufacturing company that specializes in production, tool making, precision turning and 5-axis machining. They currently have 32 full and part time employees. At build out, the owners hope to eventually have 100 employees, 60 on the maximum shift, and operating on three shifts.

The proposed building and parking lot will be constructed in two distinctive phases. The first phase will be the construction of a 100 foot by 240 foot building (24,000 square feet) and parking for 49 vehicles. The second phase will be a building addition of 16,000 square feet and another 20 parking spaces. At completion, the building will be 40,000 square feet with a 28 foot by 28 foot loading dock in the rear.

Access to the proposed facility will have two driveway entrances off Airport Drive. The access road will loop around the proposed building to the loading dock in the rear. The parking lot will be constructed between the proposed building and Airport Drive. Due to the existing topography, the parking lot and building will be constructed about 10 feet below the Airport Drive level.

The steel framed building will be constructed on a concrete slab and will be a maximum of 22 feet tall in the front and 18 feet tall in the rear. The site will be modestly landscaped consistent with the other business located within the business park. Two small dumpsters will be placed on the back side of the loading dock, which will be screened from view off Airport Drive. LED lighting will be pole mounted for the parking lot and access drives. Wall mounted LED light fixtures will illuminate the rear of the building for security and the loading dock area.

All of the stormwater generated by the proposed building and pavement will be captured in a closed drainage system consisting of curbing, catch basins and drain pipes. The runoff will be directed towards a gravel wetlands basin to be constructed at the toe of the grade at the rear of the sites. An infiltration basin will be constructed to the west of the proposed development to promote recharge to the groundwater that will help offset the proposed impervious surfaces. The gravel wetland basin with sediment forebay will treat the runoff and attenuate the peak rates prior to discharging the runoff into a swale located adjacent the railroad tracks.

The proposed building will be tied into the municipal water system located on Airport Drive and municipal sewer line located along the easterly property line with Map 243, Lot 33. The water and sewage uses will be domestic with no manufacturing water usage or waste. Other utilities, such as power, telephone and cable, will be installed underground from the existing utilities located within the Airport Drive right of way or the 15 foot utility easement along the frontage.

Due to the size of the development, the proposed project will require an Alteration of Terrain permit from the New Hampshire Department of Environmental Services. Although there were some wetlands delineated along the westerly property line with Lot 36 and a small isolated pocket near the railroad tracks, there will be no impacts to the wetlands which would require a permit from the State. Other state and federal permits will include a sewer connection permit for the construction of a sewer manhole within the City system, A Construction General Permit with the EPA for disturbance of more than an acre and an Obstruction Evaluation with the Federal Aviation Administration for a permanent structure within close proximity of the Skyhaven Airport.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.



By:

Scott A. Lawler, PE, Project Engineer

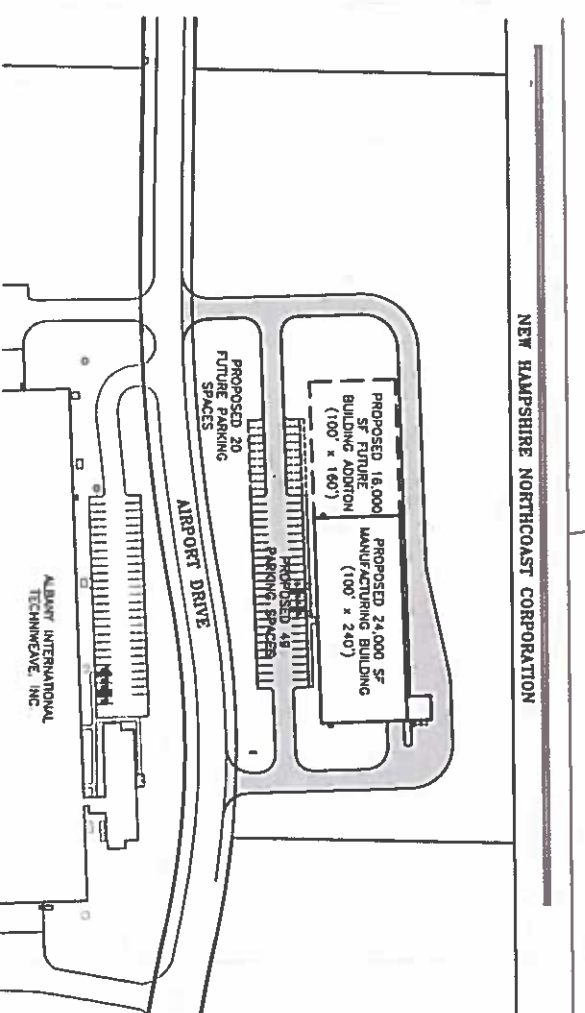
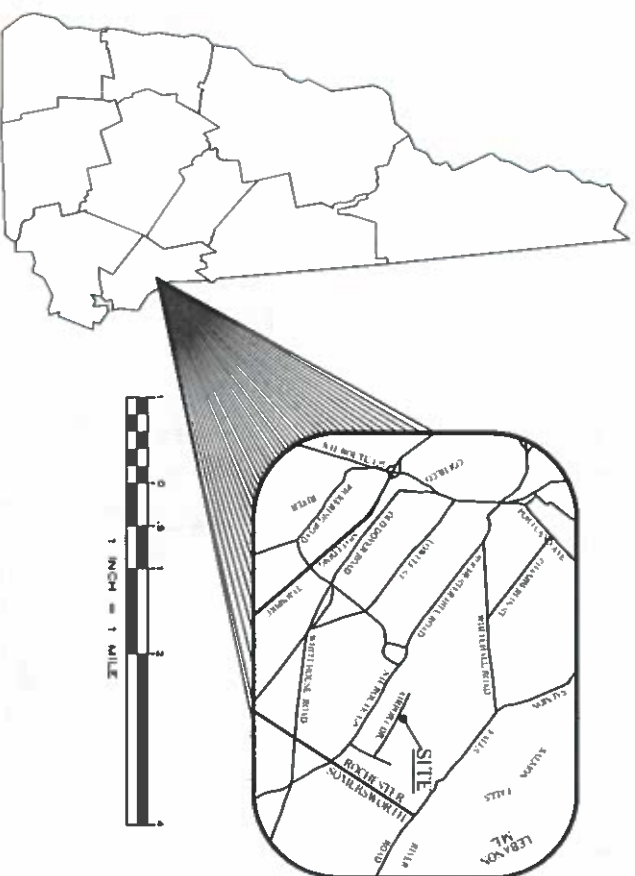
cc: Hussey Manufacturing Technology, LLC
HH Machine, LLC



FOR

HM Machine
127 AIRPORT DRIVE
ROCHESTER, N.H. 03867

REC'D
SEP 08 2015
Planning Dept



OVERALL SITE
1" = 100'

CIVIL ENGINEERS

NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3848

GENERAL CONTRACTOR

GROEN BUILDERS
120 WASHINGTON STREET, SUITE 302
ROCHESTER, NEW HAMPSHIRE 03867
(603) 332-6551

OWNER OF RECORD

CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-7500

LANDSCAPING ARCHITECTS

WOODBURN & COMPANY LANDSCAPE ARCHITECTURE, LLC
103 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03657
(603) 659-5949

APPLICANT

HUSSEY MANUFACTURING TECHNOLOGY, LLC
9 GREAT FALLS AVENUE, SUITE #1
ROCHESTER, NEW HAMPSHIRE 03867
(603) 948-1178

STATE AND FEDERAL PERMITS,
STATE OF NEW HAMPSHIRE PERMIT NUMBERS:[illegible]

NPDES PERMIT

References

APPENDICES CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

SHEET INDEX

SHEET	E-1	COVER	1" = 40'
SHEET	C-1	EXISTING FEATURES PLAN	1" = 40'
SHEET	C-2	OVERALL SITE PLAN	1" = 40'
SHEET	C-3	GRAVING AND DRAINAGE PLAN	1" = 40'
SHEET	C-4	UTILITY PLAN	1" = 40'
SHEET	C-5	SEDIMENTATION CONTROL PLAN	1" = 40'
SHEET	C-6	CONSTRUCTION DETAILS	AS SHOWN
SHEET	C-7	DRAINAGE DETAILS	AS SHOWN
SHEET	C-8	GRAVEL, WETLANDS BASIN DETAILS	AS SHOWN
SHEET	C-9	TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET	C-10	PERMANENT EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET	C-11	UTILITY DETAILS	AS SHOWN
SHEET	C-12	SEWER DETAILS	AS SHOWN
SHEET	C-13	GUARDRAIL DETAILS	AS SHOWN
SHEET	L-1	LANDSCAPING PLAN AND DETAILS	1" = 40'
SHEET	L-2	LIGHTING PLAN AND DETAILS	1" = 40'

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOLOGICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS & ASSOCIATES, INC. (601) 333-3546.

LEGEND

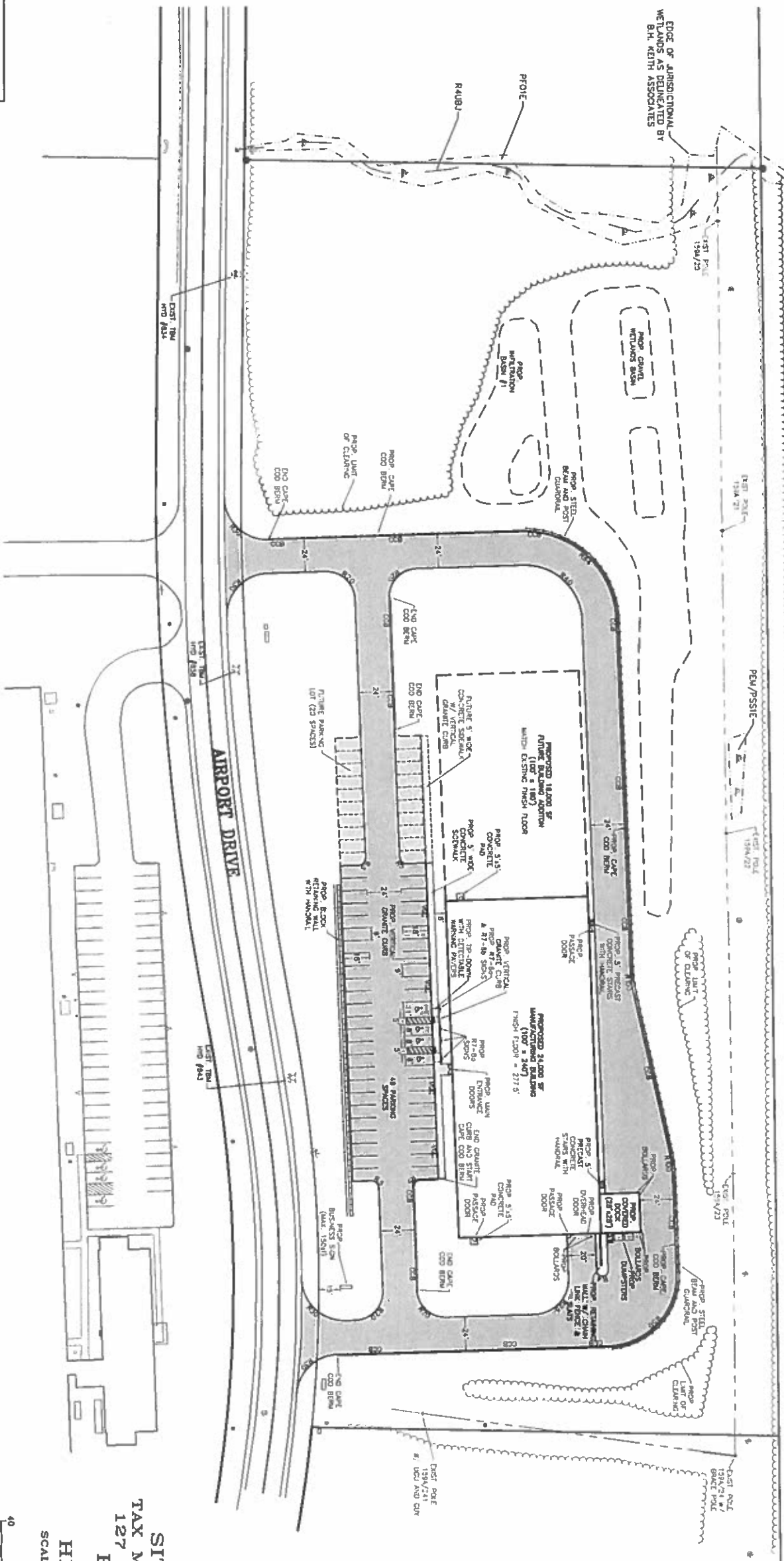
- | | |
|---------------------------------------|--------------------------------------|
| PROPERTY LINE | PROPOSED DETECTABLE WARNING PAVEMENT |
| ADJACENT WETLANDS | PROPOSED DRIVE |
| EXISTING TREE LINE | VERTICAL CURVE |
| EXISTING OVERHEAD WIRE | BRIDGELAND CURVE |
| EXISTING HYDRANT | PAVEMENT MARKING (20') |
| EXISTING WATER GATE ON SHUT-OFF VALVE | PROPOSED STANDBY |
| EXISTING UTILITY POLE | PAVEMENT MARKING (10' x 10') |
| EXISTING SINKHOLE | PROPOSED WITH ACCESSIBLE |
| EXISTING CATCH BASIN | PAVEMENT MARKING (10' x 10') |
| EXISTING LIGHT POLES | PROPOSED WITH ACCESSIBLE |
| PROPOSED BUILDING | PAVEMENT MARKING (10' x 10') |
| PROPOSED PAVEMENT WITH CURBING | PROPOSED WITH ACCESSIBLE |
| PROPOSED TREE LINE | PAVEMENT MARKING (10' x 10') |
| PROPOSED CHALKLINE | PROPOSED WITH ACCESSIBLE |
| PROPOSED BLOCK RETAINING WALL | PAVEMENT MARKING (10' x 10') |



LEGEND
PROPERTY LINE
ADJACENT WETLANDS
EXISTING TREE LINE
EXISTING OVERHEAD WIRE
EXISTING HYDRANT
EXISTING WATER GATE ON SHUT-OFF VALVE
EXISTING UTILITY POLE
EXISTING SINKHOLE
EXISTING CATCH BASIN
EXISTING LIGHT POLES
PROPOSED BUILDING
PROPOSED PAVEMENT WITH CURBING
PROPOSED TREE LINE
PROPOSED CHALKLINE
PROPOSED BLOCK RETAINING WALL



NEW HAMPSHIRE NORTHEAST CORPORATION



SITE LAYOUT PLAN
TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

PREPARED FOR:
HM MACHINE, LLC

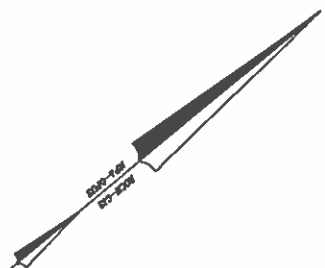
SCALE: 1" = 40'
AUGUST 2015



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE IDEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THIS PACKAGE. THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603) 335-3948.

LEGEND

- PROPERTY LINE
- EXISTING LOT LINES
- EXISTING TREE LINE
- EXISTING DRAIN LINE
- EXISTING CATCH BASIN
- EXISTING TEST PIT
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- PROPOSED DRAIN LINE
- PROPOSED DRAIN LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED FLARED DRAIN SECTION (FDS)
- PROPOSED POLYETHYLENE PIPE
- CATCH BASIN
- AREA DRAIN
- TOP OF WALL
- TOP OF CURB
- BASE OF CURB
- PROPOSED OUTLET PROJECTION



DRAINAGE STRUCTURES
EXIST. CB #1
NW. 217.5' (11)
NW. OUT = 264.5'
EXIST. CB #2
NW. 217.5' (11)
NW. OUT = 264.5'
EXIST. CB #3
NW. 217.5' (11)
NW. OUT = 264.5'
EXIST. CB #4
NW. 217.5' (11)
NW. OUT = 264.5'
EXIST. CB #5
NW. 217.5' (11)
NW. OUT = 264.5'



PROPOSED DRAINAGE STRUCTURES

- PROPOSED CB #1
NW. 217.5' (11)
NW. OUT = 264.5'
PROPOSED CB #2
NW. 217.5' (11)
NW. OUT = 264.5'
PROPOSED CB #3
NW. 217.5' (11)
NW. OUT = 264.5'
PROPOSED CB #4
NW. 217.5' (11)
NW. OUT = 264.5'
PROPOSED CB #5
NW. 217.5' (11)
NW. OUT = 264.5'

PROPOSED DRAINAGE PIPES

- PROPOSED PIPE #1
12" CPW
L = 32'
PROPOSED PIPE #2
12" CPW
L = 8'
PROPOSED PIPE #3
12" CPW
L = 222'

- 1. DRAINAGE NOTES
- 2. ALL DRAINAGE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILED SPECIFICATIONS
- 3. ALL DRAINAGE STRUCTURES SHALL BE AS SHOWN, UNLESS OTHERWISE NOTED BY THE DESIGN ENGINEER
- 4. PROPOSED DRAINAGE SHALL BE TO THE PROPOSED DRAINAGE MANHOLE
- 5. PROPOSED DRAINAGE SHALL BE TO THE PROPOSED DRAINAGE MANHOLE

GRADING AND DRAINAGE PLAN

TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

PREPARED FOR:
HM MACHINE, LLC

SCALE: 1" = 40'

AUGUST 2015



1" = 40' FEET

FILE NO. 104
PLAN NO. C-2751
DWG. NO. 15111/SP-1
F.B. NO. SDR-TJR

31 Mooney Street, Alton, N.H. 603-876-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

C-3

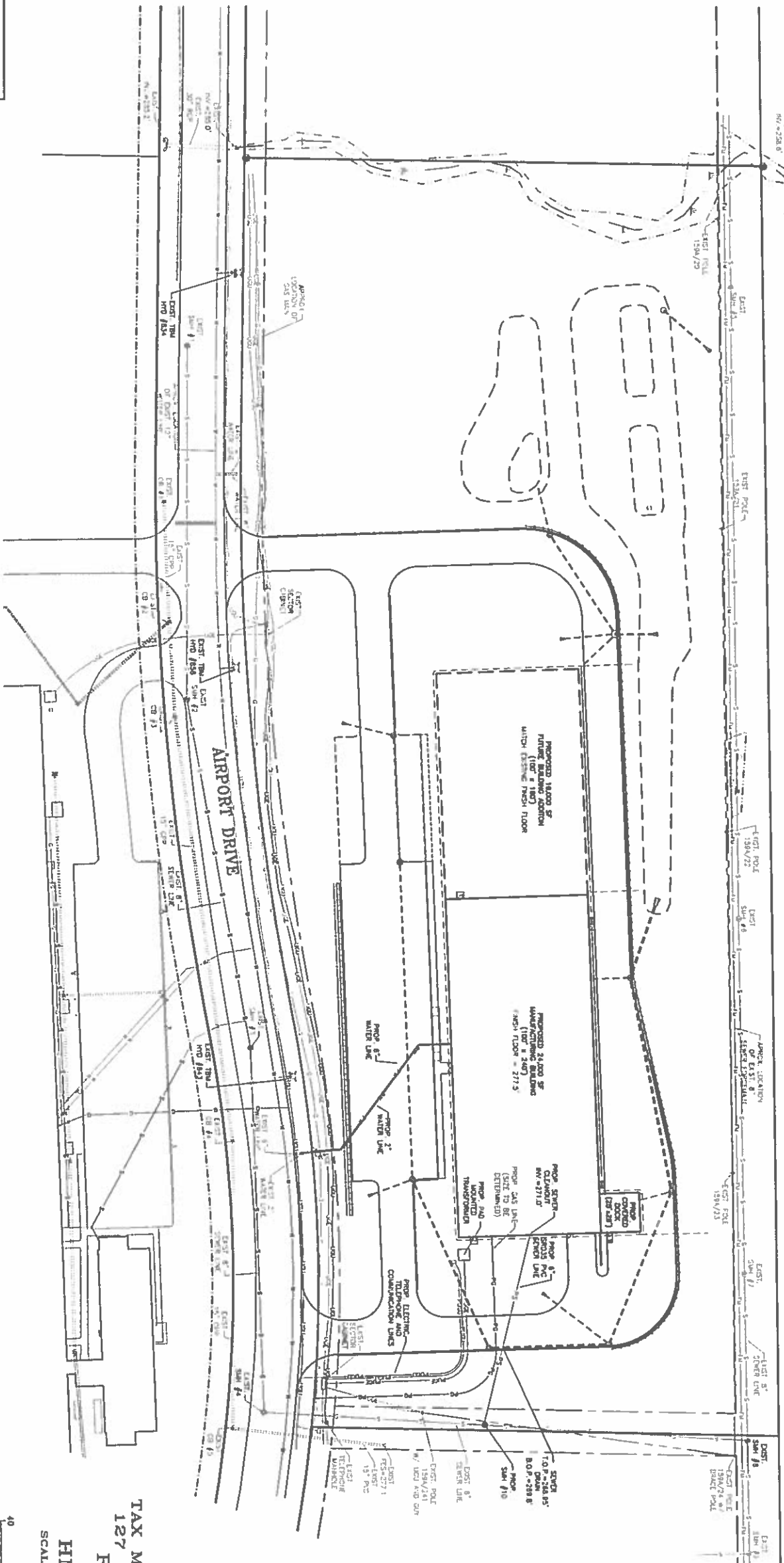
- LEGEND
- PROPERTY LINE
 - EXISTING OPEN-ENDED WETLANDS
 - EXISTING OPEN-ENDED WETLANDS
 - EXISTING WATER MAIN
 - EXISTING SANITARY SEWER MAIN
 - EXISTING UNDERGROUND ELECTRIC WIRES
 - EXISTING GAS PIPE
 - EXISTING DRAIN LINE
 - EXISTING HYDRAULIC
 - EXISTING WATER GATE ON SHUT-OFF VALVE
 - EXISTING UTILITY POLE
 - EXISTING SEWER MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING LIGHT POLES
 - PROPOSED WATER SERVICE
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED PROPOSED GAS LINE
 - PROPOSED UNDERGROUND UTILITY WIRES
 - PROPOSED HYDRAULIC
 - PROPOSED WATER VALVE
 - PROPOSED WATER SHUT-OFF VALVE
 - PROPOSED UTILITY POLE
 - PROPOSED SEWER MANHOLE
 - PROPOSED CATCH BASIN
 - TOP OF PIPE
 - BOTTOM OF PIPE



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603) 335-3948.



NEW HAMPSHIRE NORTHEAST CORPORATION



EXISTING SEWER	PROPOSED SEWER
EXIST. SAN. #1	PROP. SAN. #10
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #2	PROP. SAN. #11
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #3	PROP. SAN. #12
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #4	PROP. SAN. #13
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EXIST. SAN. #20	PROP. SAN. #29
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EXIST. SAN. #54	PROP. SAN. #63
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #55	PROP. SAN. #64
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #56	PROP. SAN. #65
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #57	PROP. SAN. #66
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #58	PROP. SAN. #67
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EXIST. SAN. #59	PROP. SAN. #68
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #60	PROP. SAN. #69
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EXIST. SAN. #61	PROP. SAN. #70
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #62	PROP. SAN. #71
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #63	PROP. SAN. #72
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #64	PROP. SAN. #73
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EXIST. SAN. #65	PROP. SAN. #74
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EXIST. SAN. #66	PROP. SAN. #75
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EXIST. SAN. #67	PROP. SAN. #76
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EXIST. SAN. #68	PROP. SAN. #77
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EXIST. SAN. #69	PROP. SAN. #78
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EXIST. SAN. #70	PROP. SAN. #79
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EXIST. SAN. #71	PROP. SAN. #80
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EXIST. SAN. #72	PROP. SAN. #81
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EXIST. SAN. #73	PROP. SAN. #82
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EXIST. SAN. #74	PROP. SAN. #83
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EXIST. SAN. #75	PROP. SAN. #84
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EXIST. SAN. #76	PROP. SAN. #85
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EXIST. SAN. #77	PROP. SAN. #86
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EXIST. SAN. #78	PROP. SAN. #87
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EXIST. SAN. #79	PROP. SAN. #88
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EXIST. SAN. #80	PROP. SAN. #89
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EXIST. SAN. #81	PROP. SAN. #90
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EXIST. SAN. #82	PROP. SAN. #91
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EXIST. SAN. #88	PROP. SAN. #97
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EXIST. SAN. #89	PROP. SAN. #98
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EXIST. SAN. #90	PROP. SAN. #99
RM. = 28.1'	RM. = 28.1'
EXIST. SAN. #91	PROP. SAN. #100
RM. = 28.1'	RM. = 28.1'

UTILITY PLAN
TAX MAP 243, LOTS 34 & 35
127 & 146 AIRPORT DRIVE
ROCHESTER, NH
PREPARED FOR:
HM MACHINE, LLC
SCALE: 1" = 40'
AUGUST 2015



FILE NO. 104
PLAN NO. C-2761
DWC. NO. 1511/SP-1
F.B. NO. SDR-71R
31 Mooney Street, Allen, N.H. 603-875-3948

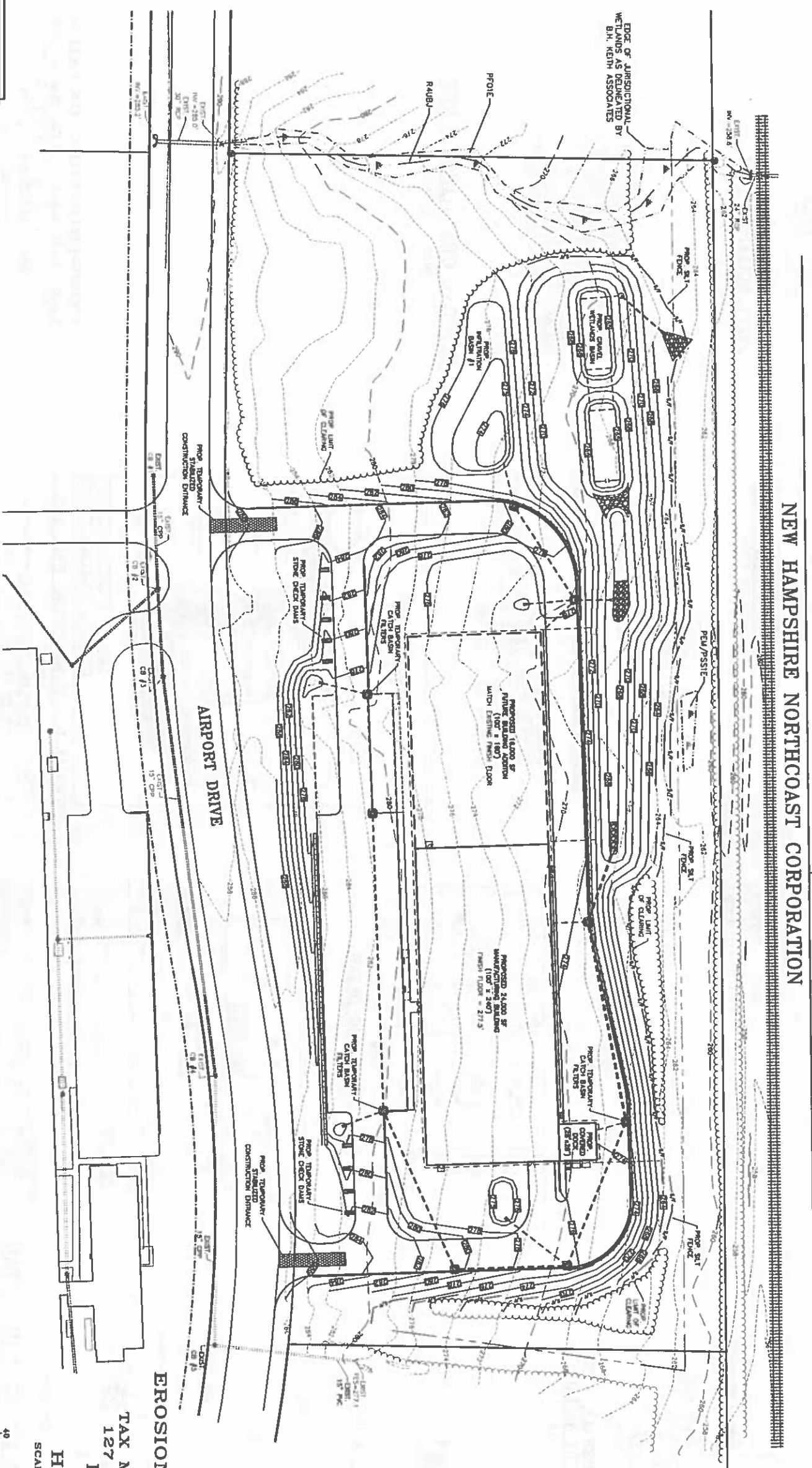
NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948 C-4

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIAL STUDY CONTRACTS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY UNAVAILABLE, TECHNICAL OR APPROPRIATE INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLANS ASSOCIATES, INC. (800) 335-3846.



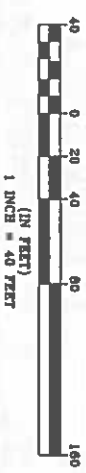
-  JUNCTIONAL NETWORKS
 DESIGN TIME LINE
 DESIGN GRAY LINE
 DESIGN CONTAIN LINE
 DESIGN CATCH BASIN
 PROPOSED TIME LINE
 PROPOSED GRAY LINE
 PROPOSED CONTAIN LINE
 PROPOSED SECTION CHOICE
 PROPOSED CATCH BASIN
 PROPOSED GRAY UNWAVE
 PROPOSED TYPICAL DO SECTION (TTS)
 PROPOSED TYPICAL CATCH BASIN FILTERS
 PROPOSED TYPICAL DRAINAGE CONSTRUCTION
 PROPOSED TYPICAL STONE CHECK DAMS
 PROPOSED TYPICAL

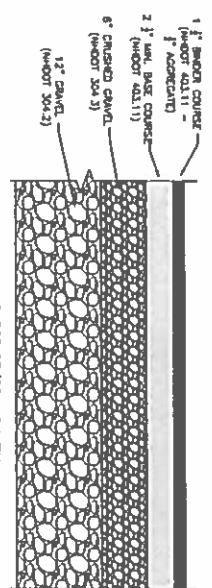


EROSION AND SEDIMENTATION CONTROL PLAN

TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

PREPARED FOR:
HM MACHINE, LLC
 SCALE: 1" = 40'
 AUGUST 2018
 DRAWING SCALE

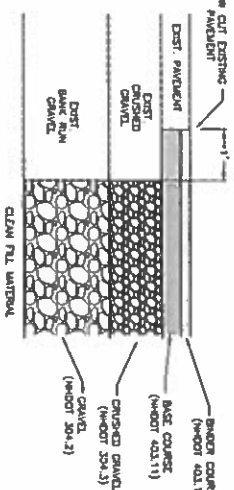




PARKING LOT CROSS-SECTIONS

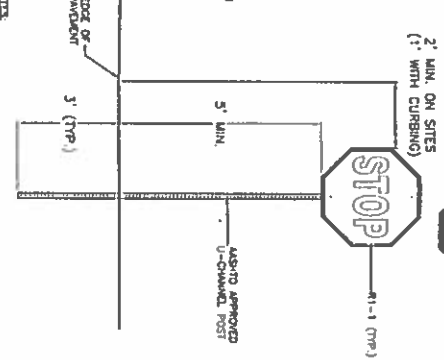
NOT TO SCALE

- PARAPET NOTES:
1. PLACE COMMON FILL IN 12 INCH LIFTS, COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
 2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS, COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS, COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.



TYPICAL PAVEMENT MATCHING DETAIL

NOT TO SCALE



- NOTES:
1. SIGN POST SHALL BE AS SHOWN APPROVED U-CURBING, OR OTHER PERMITTED STRUCTURE FOR STRUCTURAL SUPPORT OF MECHANICAL SIGN.
 2. SIGN SHALL BE MOUNTED 3 FT. FROM GROUND TO BOTTOM EDGE OF SIGN.
 3. SIGN SHALL BE MOUNTED 3 FT. FROM GROUND TO BOTTOM EDGE OF SIGN.
 4. SIGN SHALL BE MOUNTED 3 FT. FROM GROUND TO BOTTOM EDGE OF SIGN.

TYPICAL TRAFFIC SIGN

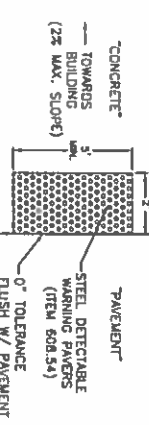
NOT TO SCALE

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	30"	30"	STOP	1
R7-8a	18"	12"	WALK	4
R7-8b	6"	12"	VIA ACCESSIBLE	1

SIGN SCHEDULE

NOT TO SCALE

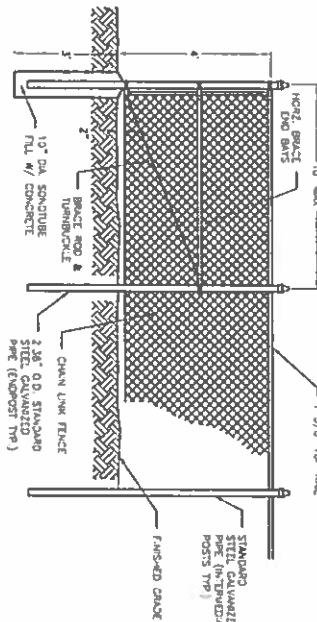
- NOTES:
1. ALL SIGNS SHALL BE PERMITTED ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



DETECTABLE WARNING PAVER DETAIL

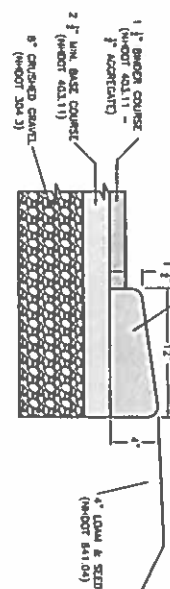
NOT TO SCALE

- DETECTABLE WARNING PAVER NOTES:
1. THE MAXIMUM CROSS SLOPE OF CONCRETE WARNING PAVER IS 2%.
 2. THE MAXIMUM CROSS SLOPE OF CONCRETE WARNING PAVER IS 2%.
 3. THE MAXIMUM CROSS SLOPE OF CONCRETE WARNING PAVER IS 2%.
 4. THE MAXIMUM CROSS SLOPE OF CONCRETE WARNING PAVER IS 2%.



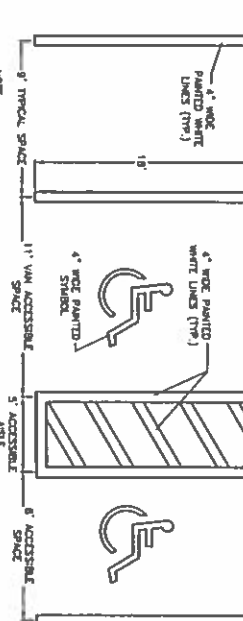
TYPICAL CHAINLINK FENCE

NOT TO SCALE



CONCRETE SIDEWALK WITH GRANITE CURB DETAIL

NOT TO SCALE

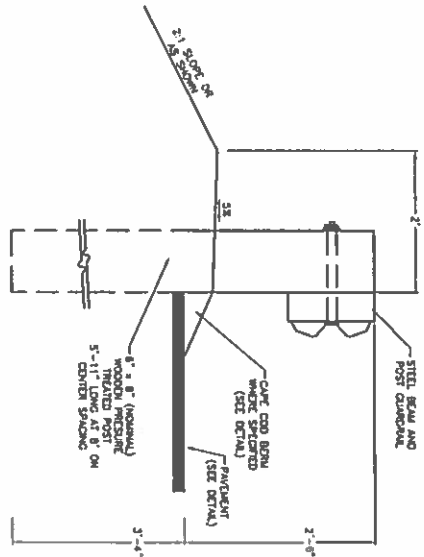


STALL STRIPPING DETAIL

NOT TO SCALE

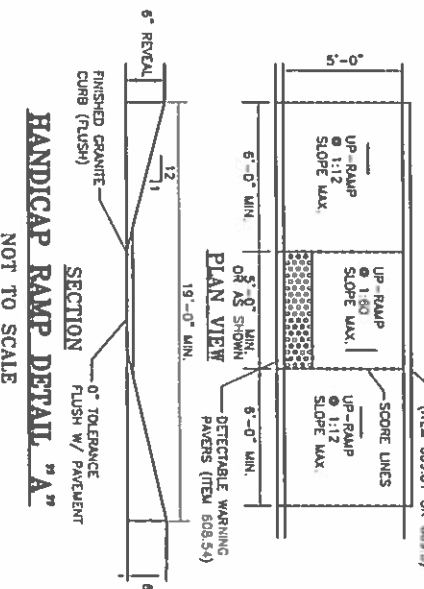
BITUMINOUS CAPE COD BERM DETAIL

NOT TO SCALE



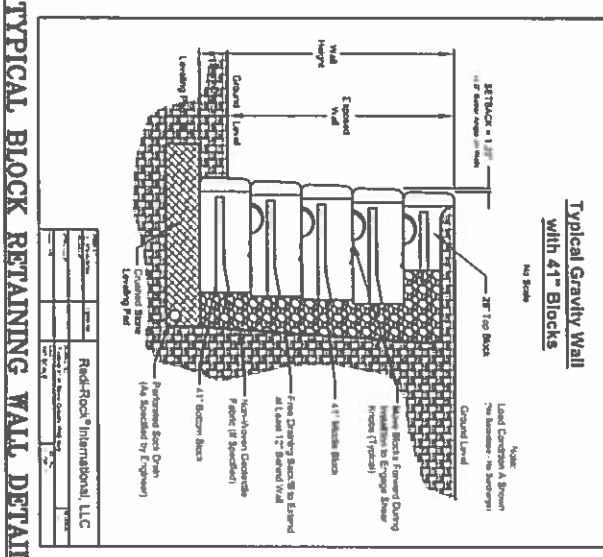
CURBING AND GUARD RAIL DETAIL

NOT TO SCALE



HANDICAP RAMP DETAIL "A"

NOT TO SCALE



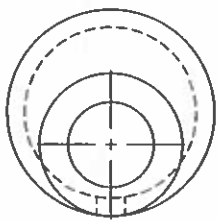
TYPICAL BLOCK RETAINING WALL DETAIL

NOT TO SCALE

- NOTES:
1. DESIGN OF RETAINING WALLS TO BE PROVIDED BY MANUFACTURE AND SUPPLIER OF WALL.
 2. SHOP DRAWINGS SHALL BE SUBMITTED PRIOR TO ORDERING AND APPROVED BY NORWAY PLAINS ASSOCIATES, INC.
 3. CHAINLINK FENCE SHALL BE INSTALLED ON TOP OF WALL WHERE THE VERTICAL DROP IS GREATER THAN 2 FEET OR AS REQUIRED BY CODES.

CONSTRUCTION DETAILS
TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

PREPARED FOR:
HM MACHINE, LLC
AUGUST 2016



PLAN VIEW

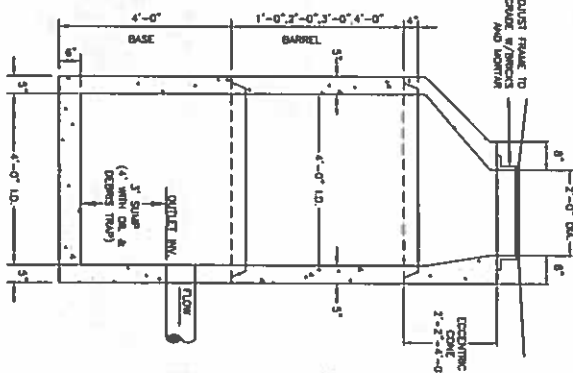
PIPE LINE DIAMETER	SLAB OR DRAIN LINE DIAMETER	CATCH BASIN DIAMETER
15" TO 18"	LESS THAN 34"	4'
21" TO 27"	LESS THAN 42"	5'
30" TO 36"	LESS THAN 50"	6'
36" & LARGER	GREATER THAN 60"	REFER TO THE STANDARD

- NOTES:
1. CONCRETE, 4,000 PSI, AFTER 28 DAYS.
 2. FOUNDATION SHALL BE PROVIDED FOR H-20.
 3. JOINTS SHALL BE SEALED WITH 1" STRIP OF BUTYL RUBBER SOLID CAST IN 45 MINUTES.
 4. REINFORCING SHALL BE 1/2" OR 3/4" TO MATCH DESIGNED BARS.
 5. REINFORCING SHALL BE WELDED TO STEEL.
 6. PRECAST SECTIONS SHALL BE WELDED TO STEEL.
 7. PRECAST SECTIONS SHALL BE WELDED TO STEEL.
 8. SLAB TOPS, 1" TO 2" BELOW TOP OF STRUCTURE.

PRE-CAST REINFORCED CATCH BASIN

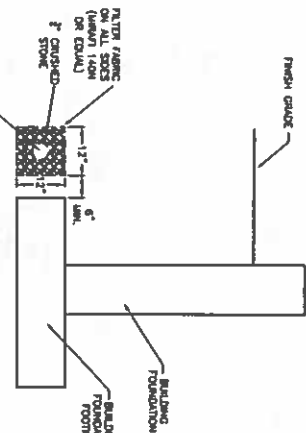
NOT TO SCALE

SECTION VIEW



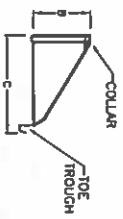
FOUNDATION DRAIN DETAIL

NOT TO SCALE

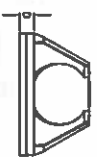


TOP VIEW

PIPE DIAMETER (INCHES)	15"	18"	21"	24"	27"	30"	36"
SLAB THICKNESS (INCHES)	4"	4"	4"	4"	4"	4"	4"
SLAB WIDTH (INCHES)	48"	48"	48"	48"	48"	48"	48"
SLAB LENGTH (INCHES)	48"	48"	48"	48"	48"	48"	48"



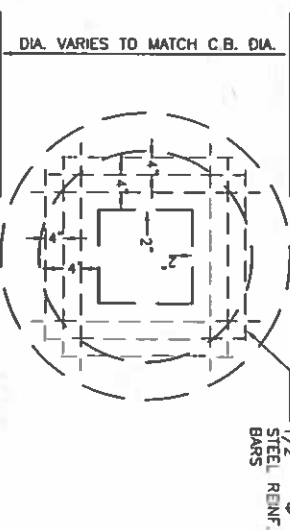
SIDE VIEW



FRONT VIEW

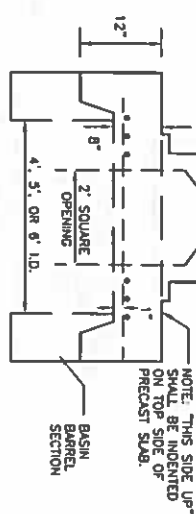
FLARED END SECTION DETAIL

NOT TO SCALE



DIA. VARIES TO MATCH C.B. DIA.

PLAN

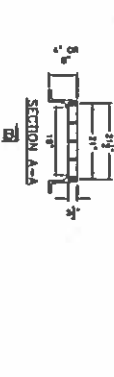


ELEVATION

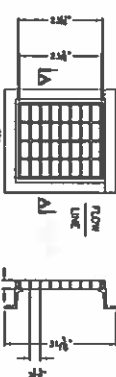
- NOTE:
1. SLAB TO BE PLACED IN UEL OF TAPERED SECTION WHERE PIPE WOULD OTHERWISE ENTER INTO TAPERED SECTION OF THE STRUCTURE AND WHERE PERMITTED.
 2. SLAB TOPS SHALL BE CASTED WITH MINIMUM 1" OF CONCRETE OVER THE TOP OF THE PRECAST SLAB.

REINFORCED CONCRETE SLAB COVER

NOT TO SCALE



SECTION A-A

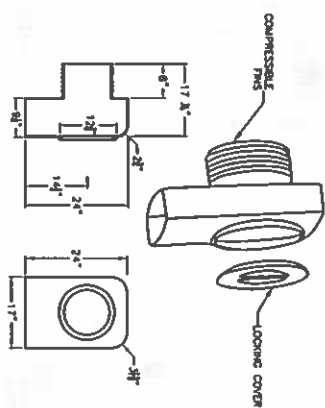


SECTION B-B

- NOTES:
1. FRAME AND GRATE SHALL BE CAST WITH CONCRETE.
 2. FRAME AVAILABLE IN 4" OR 6" HEIGHTS.
 3. ALL DIMENSIONS ARE NOMINAL.
 4. ALL DIMENSIONS ARE NOMINAL.

CATCH BASIN TYPE 'B'

NOT TO SCALE



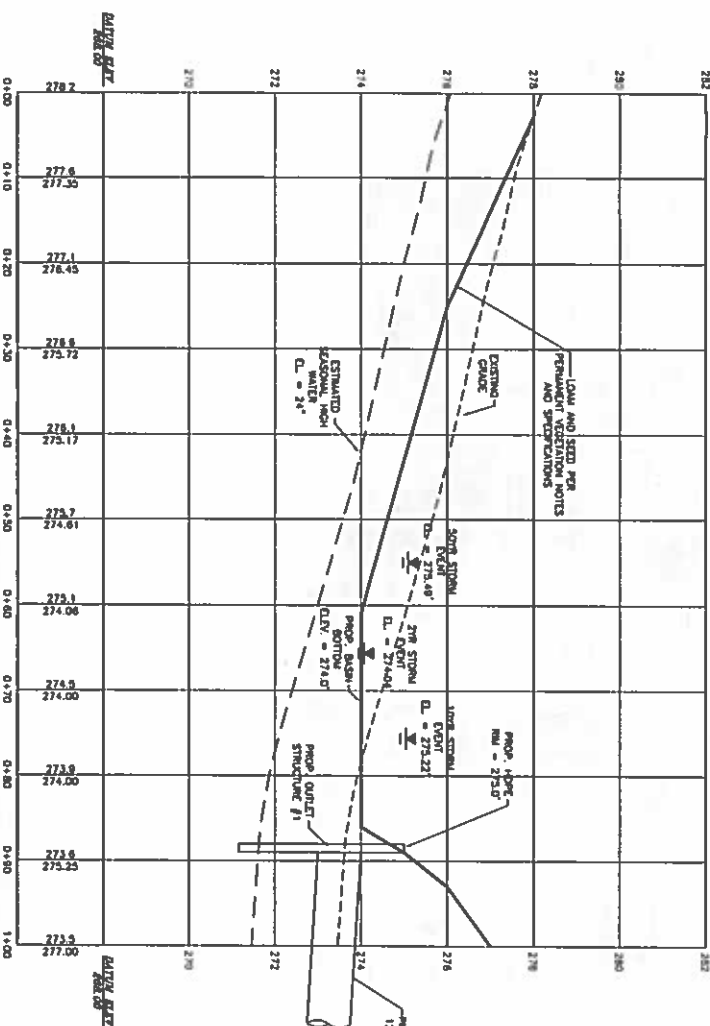
SIDE VIEW

FRONT VIEW

- NOTES:
1. HOOD SHALL BE THE SAME AS THE FLARED END DETAIL.
 2. DIMENSIONS ARE FOR 12" DIAMETER.
 3. PARTS ARE AVAILABLE IN 6", 10", 12", 15", AND 18" DIAMETERS.

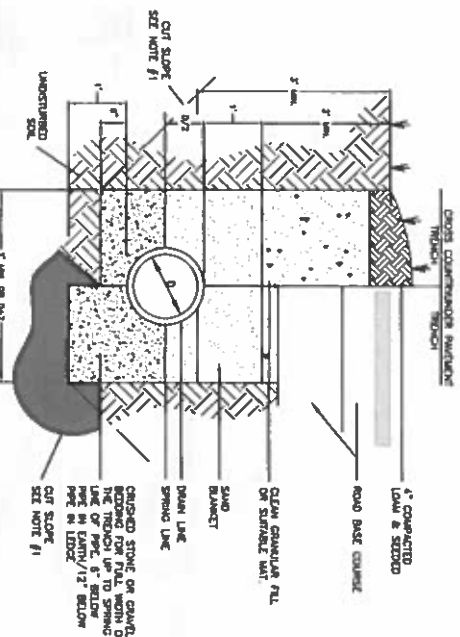
OIL AND DEBRIS TRAP DETAIL

NOT TO SCALE



INFILTRATION BASIN #1 CROSS SECTION

1" = 10' (HORZ.) & 1" = 2' (VERT.)



- NOTES:
1. PIPES SHALL BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SLOPES OF 1:1 UNLESS TO A DEPTH OF 4' AFTER WHICH THE SLOPES SHALL BE 1:1.
 2. PIPES SHALL BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SLOPES OF 1:1 UNLESS TO A DEPTH OF 4' AFTER WHICH THE SLOPES SHALL BE 1:1.
 3. SAND BLANKET SHALL BE 6" THICK AND 12" WIDE.
 4. SAND BLANKET SHALL BE 6" THICK AND 12" WIDE.

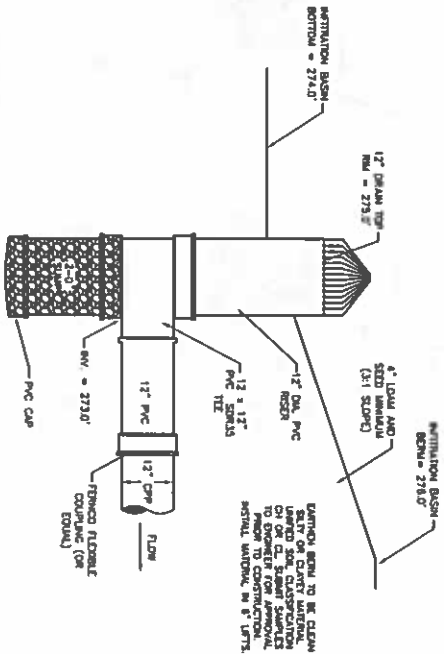
TRENCH INSTALLATION DETAIL

NOT TO SCALE

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. THERE ARE NO QUESTIONS WITH THE DESIGN PRESENTED IN THIS SET. PLEASE ADVISE THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603) 233-3846.

INFILTRATION BASIN:

- NOTES:
1. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 2. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 3. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 4. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 5. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 6. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 7. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 8. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 9. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.
 10. DO NOT DISBURSE SEWAGE LAGOON WATER FROM CONSTRUCTION.



INFILTRATION BASIN #1 OUTLET STANDPIPE DETAIL

NOT TO SCALE

DRAINAGE DETAILS
TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

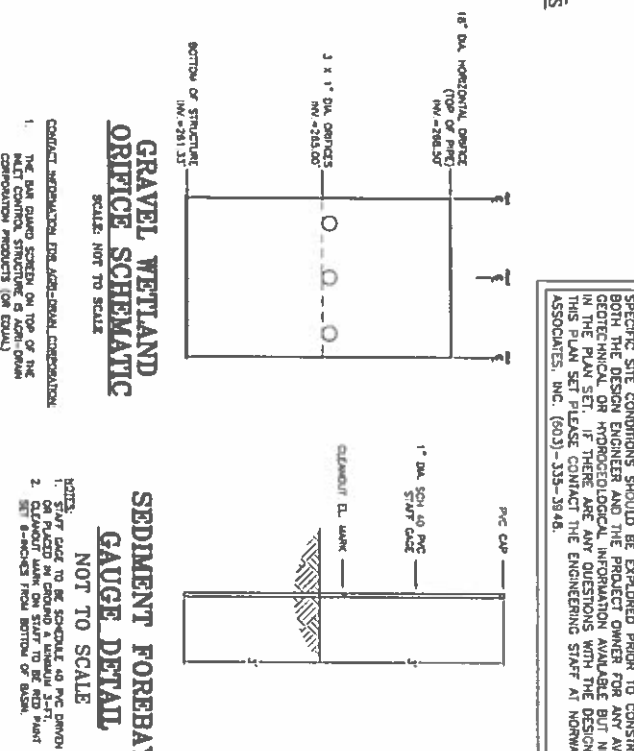
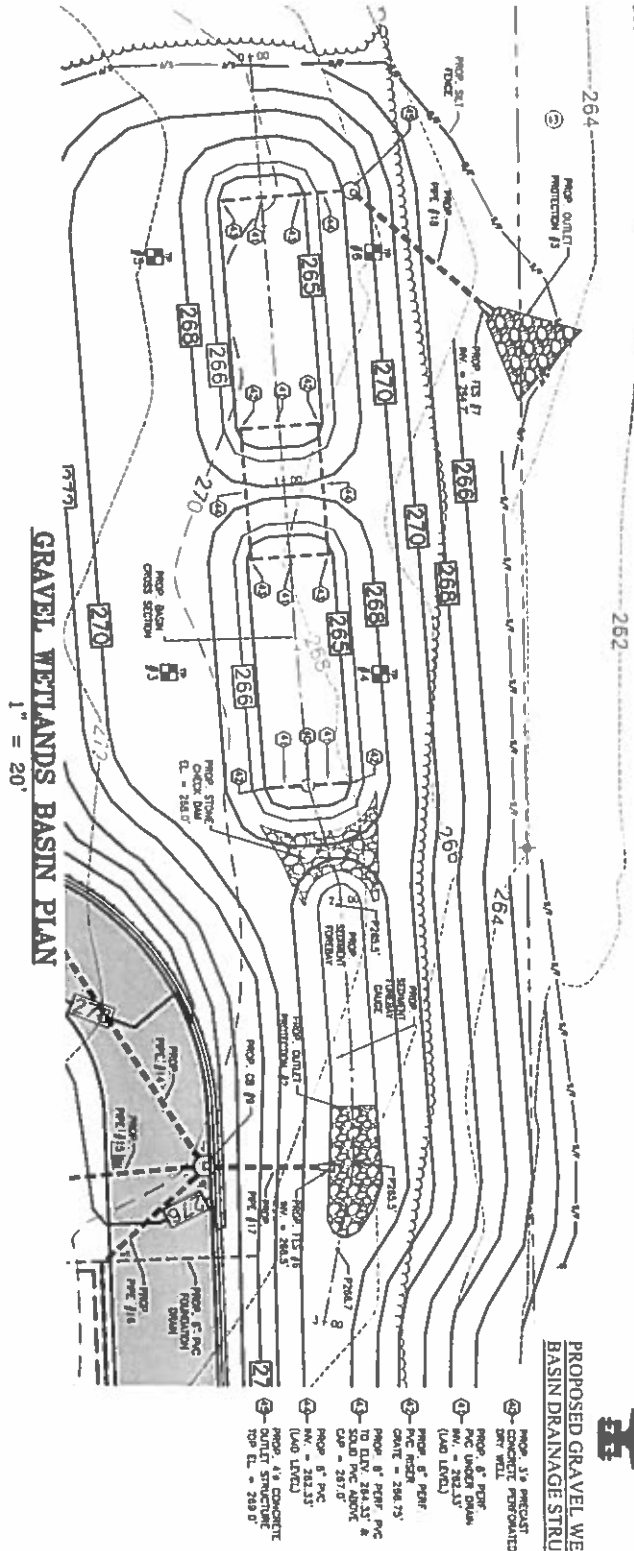
PREPARED FOR:
HM MACHINE, LLC
SCALE: AS SHOWN
AUGUST 2016

FILE NO. 104
PLAN NO. C-2751
DWG. NO. 15111/SP-1
F.B. NO. SDR-TJR

51 Woodway Street, Alton, N.H. 603-878-3946

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-886-3946

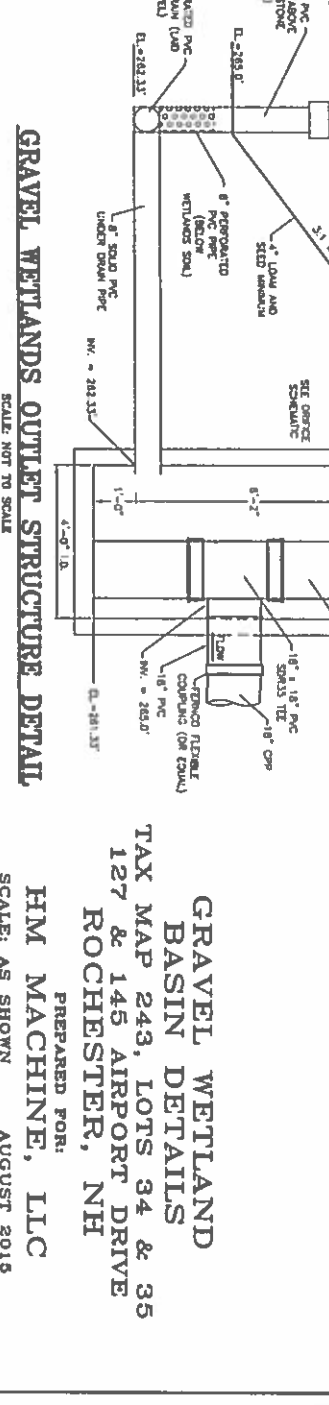
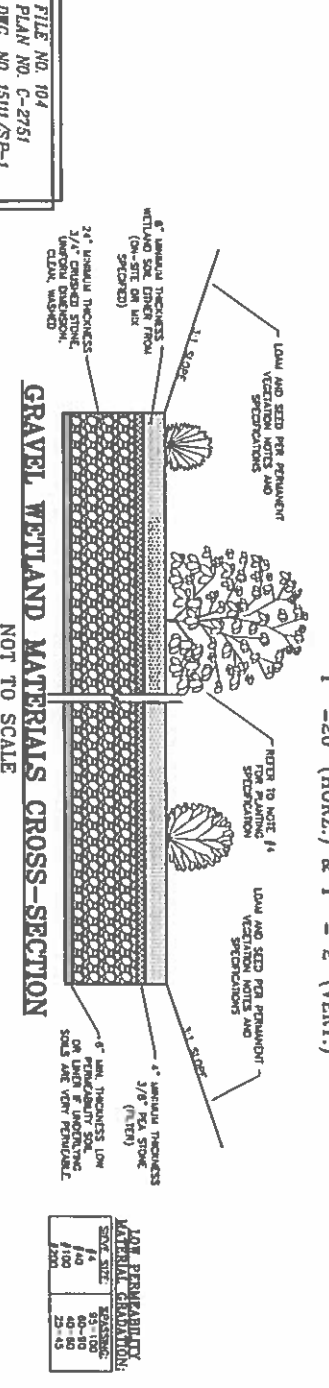
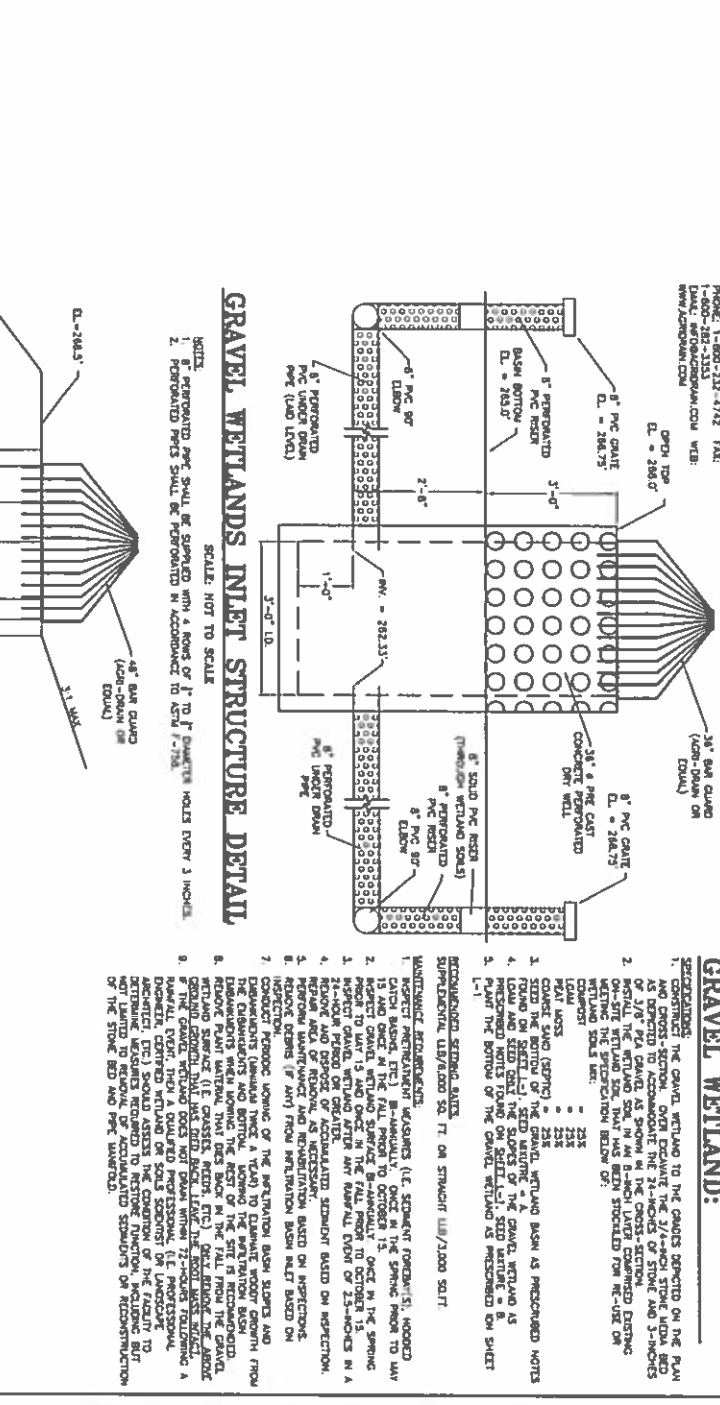
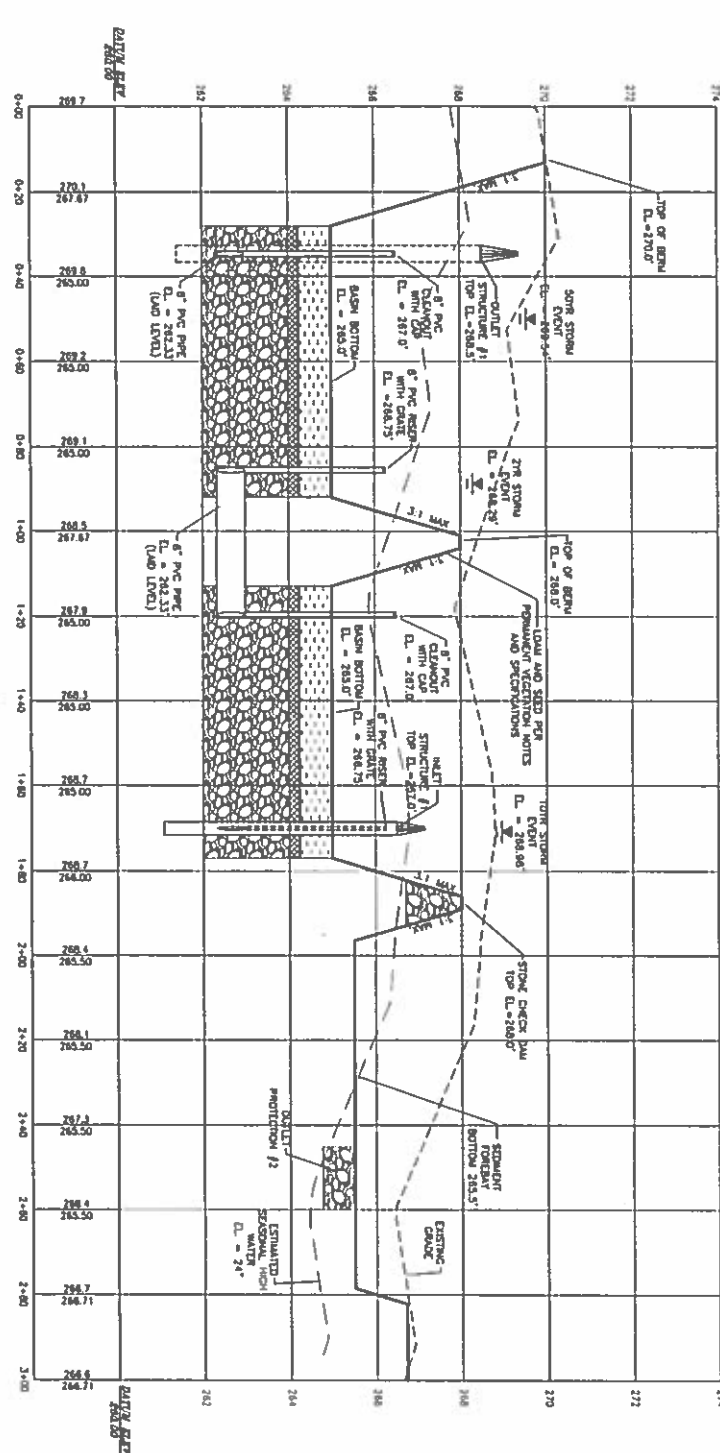


SEDIMENT FOREBAY:

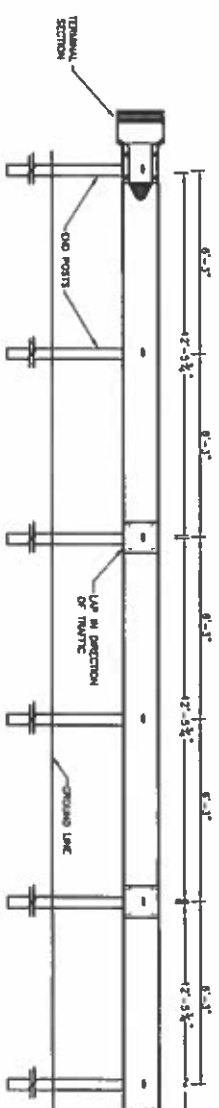
1. CONSTRUCT THE SEDIMENT FOREBAY TO THE GRADES SHOWN ON THE PLAN AND CROSS-SECTION. DRAIN EXCAVATE THE 3/4\"/>

GRAVEL WETLAND:

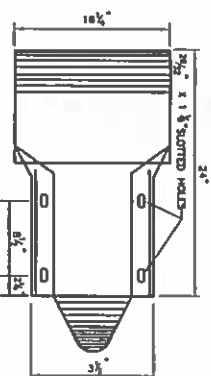
1. CONSTRUCT THE GRAVEL WETLAND TO THE GRADES SHOWN ON THE PLAN AND CROSS-SECTION. DRAIN EXCAVATE THE 3/4\"/>



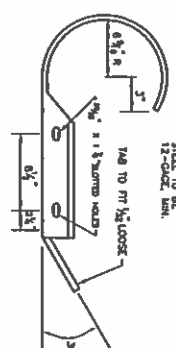




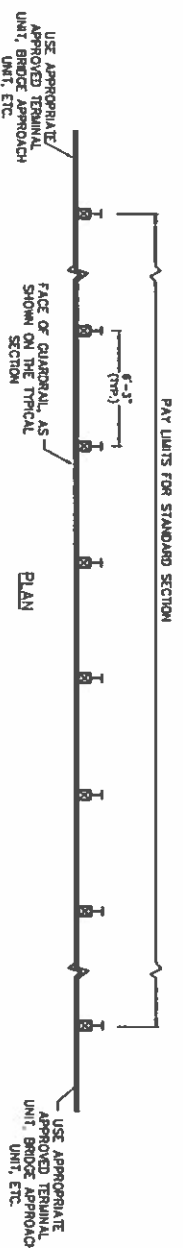
SAMPLE GUARDRAIL INSTALLATION LAYOUT



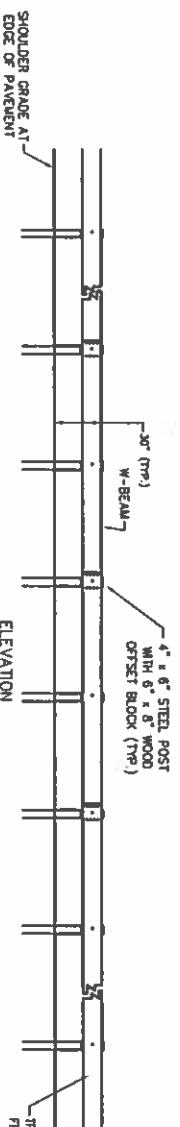
FRONT ELEVATION



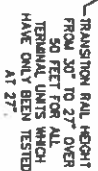
PLAN VIEW



PLAN



STANDARD SECTION

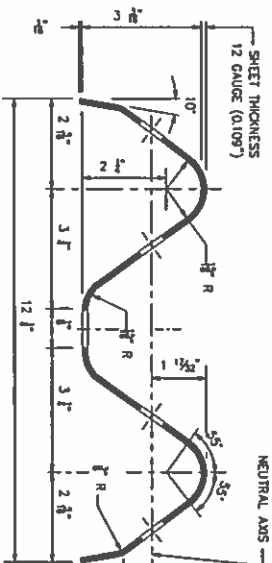


ITEMS
608.120 - BEAM COLUMNS (STANDARD SECTION-STEEL POSTS)

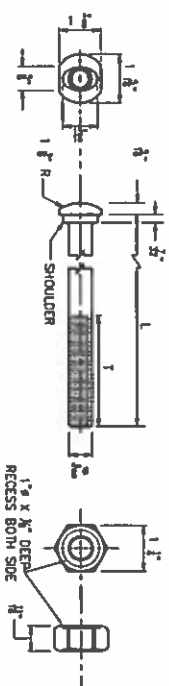
PAGE: **UNCLASSIFIED**

WHETHER QUANTAL IS REQUIRED (NOTE: STILL POSTS FOR PERMANENT)

RECEIVED 1961 APR 10 10 10 AM '61
U.S. DEPARTMENT OF AGRICULTURE
WASHINGTON, D.C. 20250

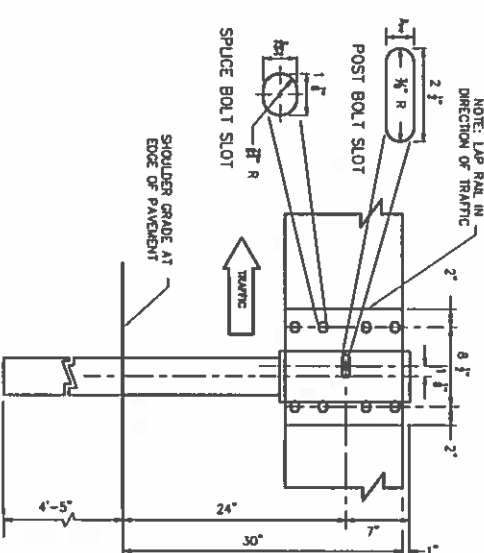


SECTION THRU RAIL ELEMENT
(RMA02a (12'-6") OR RMA22a (25'-0"))

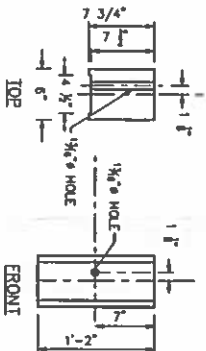


DESIGNATOR	L	T	INTENDED USE
FB001	1"	FULL LENGTH THREAD	RAIL SPICE BOLTS
FB002	2"	1 3/4" MIN. THREAD LENGTH	POST BOLT (STEEL POSTS)
FB003	10"	4" MIN. THREAD LENGTH	POST BOLT

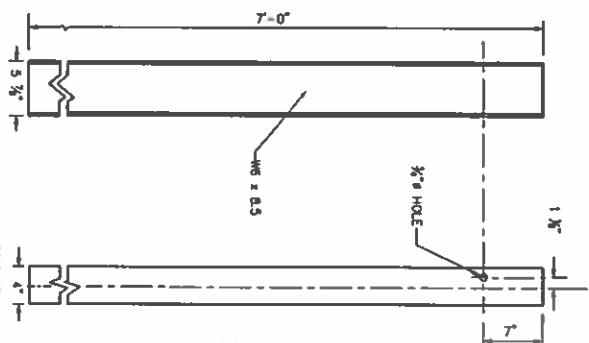
5/8" BUTTON HEAD BOLT AND RECESSED NUT



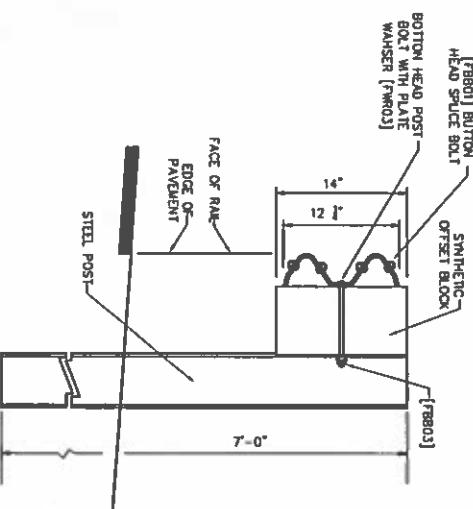
**LINE POST ELEVATION
VIEW AT BEAM SPLICE**



SYNTHETIC OFFSET BLOCK



STRUCTURAL SHAPE STEEL POST



TYPICAL SIDE VIEW
(SHOWN WITH FASTENERS)

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR MONITORING INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORMAN PLAINS ASSOCIATES, INC. (802)-335-3946.

GENERAL NOTES

- [illegible]

REFERENCE NOTE

1. DETAILS FOR GUARDRAIL SHOWN ON THIS PAGE EXCEPTED FROM AND SPECIFIED TO MATCH NHDOT STANDARD PLANS, STANDARD NO. CR-2 AND CR-10. BEAM GUARDRAIL STANDARD SECTION - STEEL POST & HARDWARE DETAILS.

GUARDRAIL DETAILS

TAX MAP 243, LOTS 34 & 35
127 & 145 AIRPORT DRIVE
ROCHESTER, NH

PREPARED FOR:

HM MACHINE, LLC

SCALE: AS SHOWN

AUGUST 2015