

BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

April 7, 2015

Planning Board Chairman
c/o Planning Department
City of Rochester
City Hall – 31 Wakefield Street
Rochester, NH 03867

RECEIVED

APR 07 2015

Planning Dept.

RE: Application for Site Plan Review & Conditional Use Permit
Key Auto Group at 21 Farmington Road

Dear Chairman & Board Members:

The owner of property known as Tax Map 216, Lot 29 located at 21 Farmington Road, NH Route 11, 21 Farmington Road, LLC is submitting an application for Non-Residential Site Plan Review and for a Conditional Use Permit.

The parcel of land was last operated as an automotive sales lot by a site plan that was approved in 1995. Key Auto Group at 21 Farmington Road is proposing to remove the two existing buildings on the site and replace them with a 2700 square foot single story building that is more centrally located on the parcel. The impervious surface of the parcel is being reduced by cutting the pavement back to a point that is 10 feet from the front property line and 5 feet from side setback lines.

The Lot Line Revision, previously approved by the Planning Board, reserved an access easement through the locus parcel to encourage cross traffic between it and the abutting plaza. This point of connection is being retained and a dedicated lane will remain behind the first row of cars.

Conventional parking on the site will result in 105 parking spaces, which is a reduction from the 1995 plans. Additional pavement is being added on the north side where the two structures are being removed. The existing retaining walls and stairs will be removed when the slope is regarded.

At the present time, surface water runoff from this and the abutting site drain un-detained and un-treated over the bank and into the abutting wetland buffer, wetlands and stream. The proposed site plan includes treating and detaining surface

water runoff in two rain gardens. A Conditional Use Permit is being requested to allow the level spreader for rain garden #1 to be located within the wetland buffer, without disturbing the bank and tree-line abutting the stream and wetland. A Sediment & Erosion Control Plan and details are part of the plan set.

The driveway entrance is being made narrower in order to more conform to the NHDOT driveway access rules and a 10-foot wide shoulder on NH Route 11 is being proposed as a deceleration lane for the project. An application will be made to NHDOT for modification to this driveway access.

The parcel is currently serviced by municipal water and sewer which will be extended to the proposed building. Underground electric will be likewise run, underground, to the new building. There is an overhead power line to Tides Seafood Restaurant that is protected by an easement on the Lot Line Revision and will remain unchanged.

Key Auto Group has been using LED Lighting on all of their new facilities and the 21 Farmington Road site will likewise convert the lighting to LED systems. This is documented on the Lighting Plan. We have proposed a landscaping theme for both the site and the rain gardens and these are shown on the Landscaping Plan and Rain Garden design plans.

We look forward to representing this project to the Planning Board and please feel free to write or call with questions or comments in the interim.

Respectfully Submitted:

Very truly yours,
BERRY SURVEYING & ENGINEERING



Kenneth A. Berry, PE, LLS,
CPESC, CESSWI, NH Septic Designer
Principal: VP – Technical Operations

K.Berry@BerrySurveying.Com

Cell: (603) 978-0358



BERRY SURVEYING & ENGINEERING

335 Second Crown Pt. Rd., Barrington, NH 03825

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NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

RECEIVED

APR 07 2015

Planning Dept

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: April 7, 2015

Is a conditional use needed? Yes: X No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 216; Lot #'s: 29; Zoning district: Granite Ridge Development

Property address/location: 21 Farmington Road,

Name of project (if applicable): 21 Farmington Road, LLC

Size of site: 2.15 acres; overlay zoning district(s)? Conservation & Aquifer Protection

Property owner

Name (include name of individual): 21 Farmington Road, LLC Stephen J. Patterson,
General Counsel

Mailing address: 549 US Highway 1 Bypass, Portsmouth, NH 03801-4131

Telephone #: 1-603-319-0446 Email: spatterson@keyauto.com

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Berry Surveying & Engineering
Name (include name of individual): Kenneth A. Berry, PE, LLS

Mailing address: 335 Second Crown Point Road, Barrington, NH 03825

Telephone #: 603-332-2863 Fax #: 603-335-4623

Email address: k.berry@berrysurveying.com Professional license #: LLS - #805
PE - #14243

Proposed activity (check all that apply)

New building(s): 1 Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: X Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 216 Lot: 29 Zone GRD)

Describe proposed activity/use: Redevelop the existing site with a 2700 Sq. Ft. building
existing pavement and additional parking area, drainage and landscaping

Describe existing conditions/use (vacant land?): The site was last used as a used car sales
lot. Two existing buildings will be demolished and some existing pavement removed.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? _____

City sewer? yes ☒ no ☐; How far is City sewer from the site? _____

If City water, what are the estimated total daily needs? 550 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? Through two rain gardens in the notherly direction.

Building information

Type of building(s): Pre-engineered structural metal building.

Building height: 22'-0" Finished floor elevation: 255.5'

Other information

 Existing based on 1995 Site Plan Approval

parking spaces: existing: 110 total proposed: 105; Are there pertinent covenants? _____

Number of cubic yards of earth being removed from the site n/a

Number of existing employees: Unknown; number of proposed employees total: 9

Check any that are proposed: variance ☐; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? No; area to be filled: _____; buffer impact? _____

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	2,700	2.9%
Parking and vehicle circulation	40,071	42.7%
Planted/landscaped areas (excluding drainage)	6,840	7.3%
Natural/undisturbed areas (excluding wetlands)	21,400	22.8%
Wetlands	3,880	4.1%
Other – drainage structures, outside storage, etc.	18,941	20.2%

(Continued Nonresidential Site Plan application Tax Map: 216 Lot: 29 Zone GRD)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

*Anthony Di Lorenzo,
Manager*

Date: April 7, 2015

Signature of applicant/developer: _____

Date: April 7, 2015

Signature of agent: _____

Kenneth A. Berry, PE, LLS

Date: April 7, 2015

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Anthony Di Lorenzo, Manager

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

RECEIVED

APR 07 2015

Planning Dept.

Date: April 7, 2015

Property information

Tax map #: 216; Lot #(s): 29; Zoning district: Granite Ridge Development

Property address/location: 21 Farmington Road

Name of project (if applicable): 21 Farmington Road, LLC

Property owner

Name (include name of individual): 21 Farmington Road, LLC Stephen J. Patterson,
General Counsel

Mailing address: 549 US Highway 1 Bypass, Portsmouth, NH 03801-4131

Telephone #: 1-603-319-0446 Fax spatterson@keyauto.com

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): Berry Surveying & Engineering
Kenneth A. Berry, PE, LLS

Mailing address: 335 Second Crown Point Road, Barrington, NH 03825

Telephone #: 603-332-2863 Fax #: 603-335-4623

Email address: k.berry@berrysurveying.com Professional license #: LLS #805
PE #14243

Proposed Project

Please describe the proposed project: Redevelop the existing site with a 2700 Sq. Ft.
building, existing pavement and additional parking area, drainage, and landscaping for
the operation of a used car sales location.

Please describe the existing conditions: The site was last used as a used car sales lot.
There are two existing building and parking spaces approved with a site plan in 1995.

Please fill in **one of the next two sections – for either Conditional Uses or Buffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

The existing contour of the property limits the location of a rain garden that is of suitable

size to allow for the treatment of the Water Quality Volume, resulting in the location of the

level spreader being located with the wetland buffer but without disturbing the existing tree line.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

The proposed location of the level spreader is within an area that has been historically cleared

and utilized in the operation of the property. The existing treeline will not be effected by the

proposed level spreader location. Suitable erosion and sediment control will be installed between the level spreader and the wetland during construction.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

The rain garden has been sized to treat the Water Quality Volume for the paved surface on

site. The impervious ratio on the site is being reduced from the existing conditions and the

drainage features are being added to the site.

(iv) Economic advantage is not the sole reason for the proposed location of work.

The location of the level spreader is being driven by the size of the rain garden which location

is being governed by the existing contours on site. The remaining buffer is 35 feet in width

and is a fully vegetated stabilized slope between area that has been historically used on site and the delineated wetland which abuts the stream.

(Buffer Reductions on next page)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, or the application of the CO district eliminates greater than 50% of the buildable area located on the parcel or in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

The area where the level spreader is located on site has been historically used in the operation of the site and this location allows for a rain garden that is sized to manage the Water Quality volume for the site.

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

The rain garden is designed to treat WQV that is currently being discharged untreated and the level spreader converts the runoff back into sheet flow prior to discharge over the fully stablized existing vegetated slope.

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

The reduced buffer is only being used for the location of the level spreader and back berm of the rain garden. There is no impervious surface being proposed within the reduced buffer.

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

No building construction is proposed within the buffer.

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

Best Management Practices are demonstrated on the Erosion and Sediment Control Plan Sheet and within the E & S Control Details.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____


Anthony DiLorenzo
Manager

Date: April 7, 2015

Signature of applicant/developer: _____

Date: April 7, 2015

Signature of agent: _____

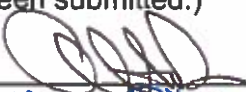

Kenneth A. Berry, PE, LLS

Date: April 7, 2015

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: _____


Anthony DiLorenzo
Manager

Date: April 7, 2015

Conservation Commission Recommendation:

[office use only]

Name of project

Case #

Recommendation:

- ☐ Approval
- ☐ Approval with conditions
- ☐ Denial

Comments/recommended conditions:

Conservation Commission

date

Planning Department

date

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PROPOSED SITE PLAN
FOR
21 FARMINGTON ROAD, LLC
21 FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

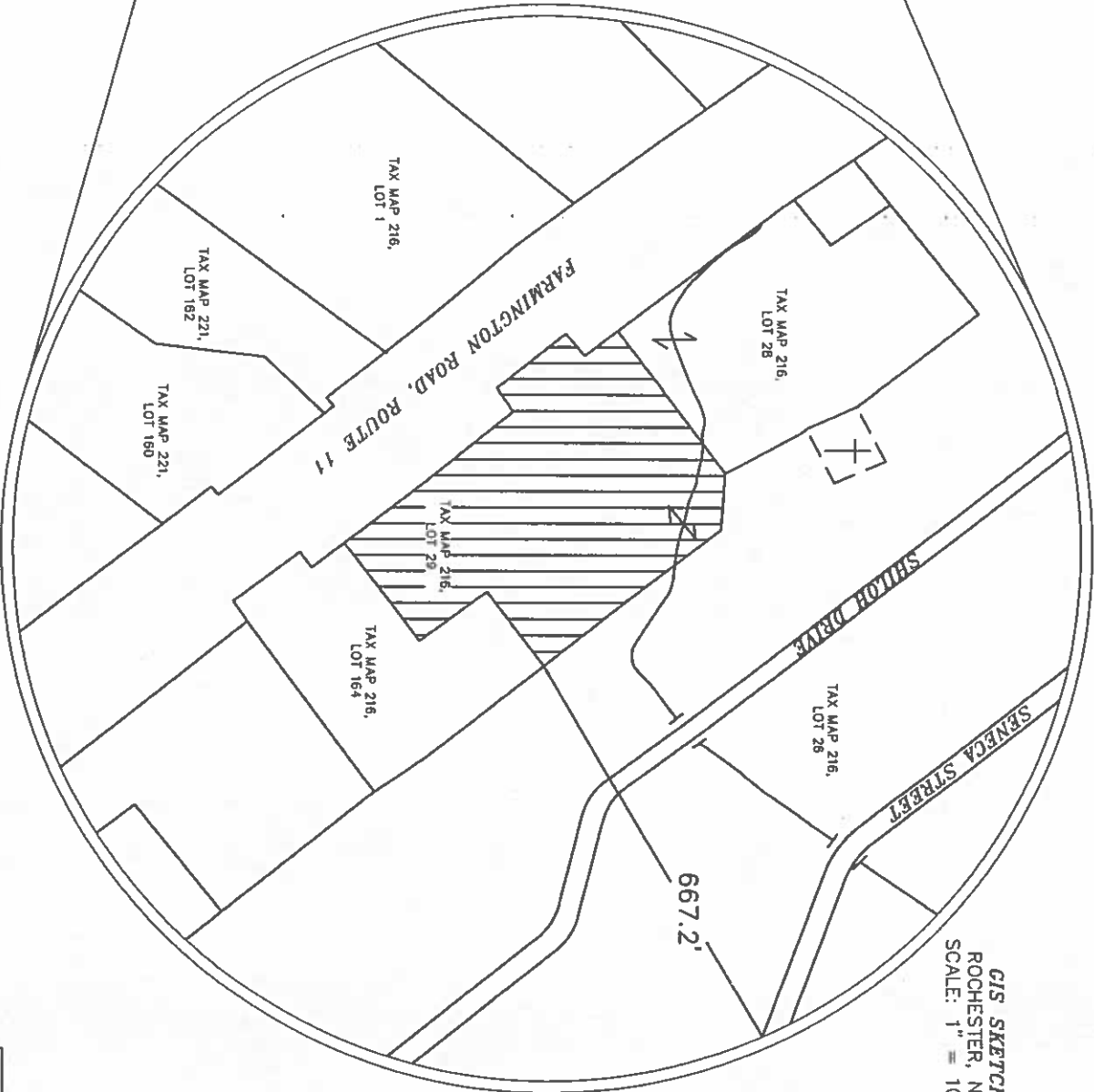
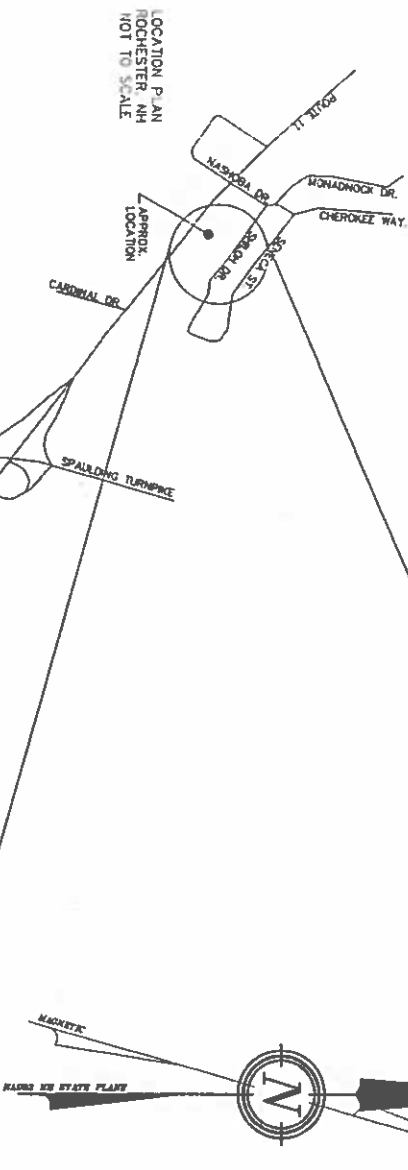
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APR 07 2015
Planning Dept

CIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 100'±

OWNER: 21 FARMINGTON ROAD, LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131

DEVELOPER: 21 FARMINGTON ROAD, LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPESC, CESSM
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863



REQUIRED PERMITS:
A SWPPP ~ TC BE ON FILE 3 WEEKS BEFORE CONSTRUCTION

BERRY SURVEYING & ENGINEERING CAN PROVIDE THE SWPPP AND THE FILING OF THE NOTICE OF INTENT WHICH IS REQUIRED BY THE EPA. A CAPABLE AND KNOWLEDGEABLE PERSON IS TO DO ON-SITE EROSION CONTROL INSPECTIONS PER THE NOTICE OF INTENT. BERRY SURVEYING & ENGINEERING CAN PROVIDE THIS SERVICE IF REQUESTED.

A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE. THOSE PRESENT SHOULD INCLUDE THE OWNER OF RECORD, DESIGN ENGINEER, CONSTRUCTION MANAGER, CITY ENGINEER OR DESIGNEE, AND HEAD OF THE PLANNING DEPARTMENT OR DESIGNEE.

NOTE:
BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECT'S DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CEO AS DIRECTED IN THE MANUAL.

GENERAL PLAN SET NOTES:
1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}

SCALE : AS-NOTED
DATE : MARCH 30, 2015
FILE NO. : DB 2014-149

PROPOSED SITE PLAN
FOR
21 FARMINGTON ROAD, LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, N.H.
TAX MAP 216, LOT 29

ROCHESTER PLANNING # 216-29-GRD-2015		
REVISION	DATE	DESCRIPTION

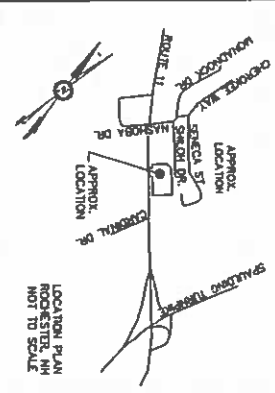
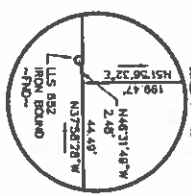
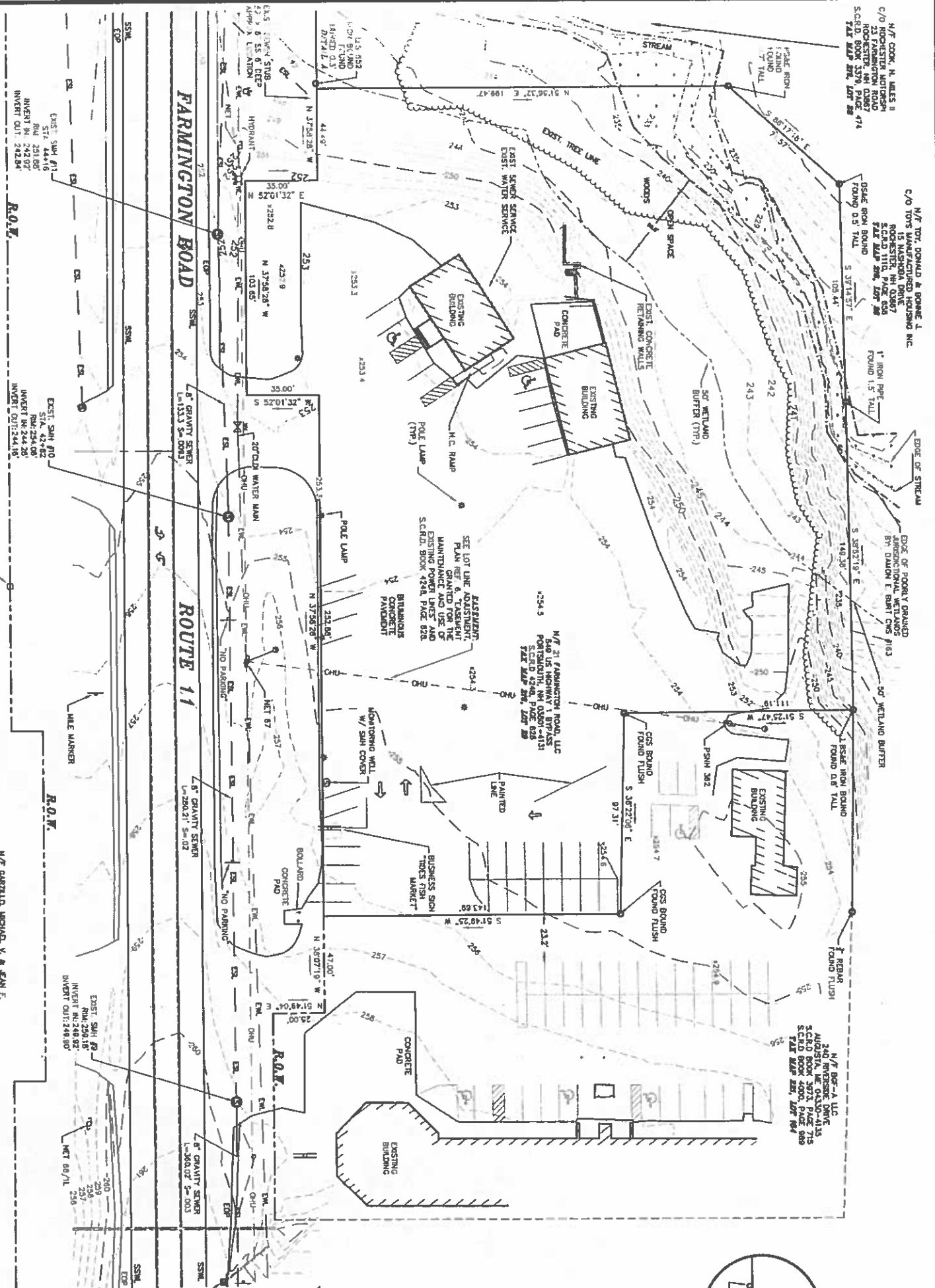
- 28.) ALL NEW ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 29.) THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
- 30.) BLOTION PREVENTIONS SHALL BE PROVIDED FOR PROTECTING WATER LINES.
- 31.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- 32.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 33.) PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEMARCATED SUBGRADES, TROUSERS, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE CORRECTED BY ANY MEANS AT THE DISCRETION OF THE DESIGN ENGINEER. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE OVERLAPMENT PROGRAM. SOILS EXPOSED TO WEARING OR RESISTANT SHALL BE OVER EXCAVATED TO MORE COMPACTIBLE MATERIALS. ALL AREAS WITH FINE GRAINED STRUCTURAL TOPS, INCLUDING THE DRIVeways SHOULD BE RECOMMENDED CRITERIA.
- 34.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY RULES), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO Frost. NO TILL OR UNFROZEN AREAS SHALL BE USED FOR EARTHWORK OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZE.
- 35.) PLACEMENT OF ASPHALT MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. NECESSARILY, HOT MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRIFT BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH THE MATERIALS.
- 36.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND EXISTENT AND DRAINAGE CONTROLS.
- 37.) ALL CATCH BASINS SHALL BE PRE-CAST 1'-10" DEEP AND SHALL BE EQUIPPED WITH DEEP SLUICES (4" MIN) AND HOODS (SEE DETAILS) HOODS ARE TO BE THE EQUIVALENT BY ALUMINUM/STEEL. RIGS ARE TO BE HOLLOW PIPES AND SHALL BE SET FLUSH WITH FRESH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION. AT PERIODICALLY, THE HOODS ABOVE FRESH GRADE WILL BE NOT BE ACCEPTED. ALL RISERS, BRICKS AND CHIMNEYS ARE TO BE U.S.A. MADE.
- 38.) ALL DRAINAGE CONTROL NOTES SHALL INCLUDE STANDARDS FOR CONSTRUCTION SCEDULES, TEMPORARY EROSION CONTROL, WEIGHINGS, AND PERMANENT STANDARDS SUCH AS LOW SPREAD RATE FOR DISTURBED AREAS, RATES OF EROSION, AND LIMITS FOR FRESH GRADE. ALL EROSION CONTROL MEASURES SHALL BE USED ONLY AS NEEDED AND DIRECTED BY THE SUPERVISOR INSPECTION.
- 39.) SEE SHEET # FOR INLET PROTECTION DETAILS
- 40.) ALL DRAINAGE PIPE IS TO BE 18"-12" DIAMETER, PIPE SIZES ARE SPECIFIED, RECEIVED PIPE IS APPROVED FOR PROJECT SITE. RECEIVED HOPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
- 41.) ALL ELEVATIONS TO BE VIEWED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY, IF ANY DISCREPANCY, TEMPORARY DIMENSIONS ("T.D.") ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 42.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA PHASE II, THE NOTICE OF VIOLATION (NOVI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
- 43.) UPON FINAL COMPLETION AND PASS VERIFICATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PLUMBING OF THE BASIN SLIPS.
- 44.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED
- 45.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS
- 46.) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK, AS APPLICABLE.
- 47.) ALL TREELAND SHALL TO BE CONSTRUCTED SHALL HAVE GOOD BOTTOMS.
- 48.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBANCE ACTIVITY COULDS, AS MAY BE APPLICABLE.
- 49.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE LANDOWNERS, CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBANCE ACTIVITY.
- 50.) BUILDING ADDRESSES SHALL NOT CHANGE.
- 51.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
EPA NOTICE OF VIOLATION (NOVI)
- 52.) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OR ADJUSTMENT FOR THE PROPOSED STRUCTURE: NONE
- 53.) THIS PLAN PROPOSES 74.87 SQ. FT. OF DISTURBANCE.
- 54.) CALL DDO SAFE PRIOR TO BEGINNING WORK: (1)-888-344-7233)
- 55.) WRITTEN DISCUSSION ON THIS PLAN THAT PRECEDENCE OVEN SHALL DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN EXCAVATING OR CUTTING TO VERIFY THE DIMENSIONS SHALL BE INDICATED BY THE PLAN SET CONSTRUCTION PRIOR TO CONSTRUCTION. CONSTRUCTION IS TO CONFORM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : NONE
DATE : MARCH 30, 2015
FILE NO. : DB 2014-149

GENERAL NOTES
FOR
21 FARMINGTON ROAD, LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, N.H.
TAX MAP 216, LOT 29

ROCHESTER PLANNING # 216-29-GRD-2015		
REVISION	DATE	DESCRIPTION



- 1) OWNER: 21 FARMINGTON ROAD LLC
500 US HIGHWAY 101D
PORTSMOUTH, NH 03801-4131
- 2) TAX MAP: 216, LOT 28
- 3) LOT AREA: 93,632 Sq. Ft., 2.15 Ac.
- 4) S.C.R.D. BOOK 1246, PAGE 628
- 5) ZONING: GPD - GRANITE RIDGE DEVELOPMENT
SETBACKS:
FRONTAGE: 90 FEET, MINIMUM
MIN. LOT AREA: NO REGULATION
MIN. LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
PAVED SETBACKS:
FRONT PAVEMENT: 10 FEET
SIDE PAVEMENT: 5 FEET
REAR PAVEMENT: 10 FEET
CONSERVATION OVERLAY DISTRICT: 50 FEET
WETLAND BUFFER:
- 6) HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THE
PLANES DOES NOT FALL WITHIN THE 1700 (RD) DATED: MAY 17, 2005 & FEMA
COMMUNITY - 33016, MAP# - 3301702020D, DATED: MAY 17, 2005
- 7) VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS.
HORIZONTAL COORDINATES BASED ON NH GRD. (CITY OF ROCHESTER NH -
CONTROL POINTS 240 & 241)
- 8) SOIL HINCKLEY LOAMY SAND, 3-8% SLOPE THROUGHOUT
SOURCE: USDA-NRCS WEBSIDE
- 9) IMPERVIOUS COVER: 50,000 Sq. Ft., 1.15 Ac., 51.3%
- 10) THIS IS A MULTI-PAGE PLAN SET WITH ADDITIONAL ENGINEERING INFORMATION PROVIDED.
LOT 24, 1/3 OF THE DATE ON FILE.
- 11) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 216,
LOT 24, 1/3 OF THE DATE ON FILE.
- 12) THE DESIGN SHOWN ON THIS PLAN MAY BE A RESULT OF A CLOSED TRAVERSE PERFORMED
BY THE OFFICE IN THE FALL OF 2014 UNDER NO SHOW COMPENSATION, WITH NO ERROR OR
OMISSION OF DESIGNER THAN 1/4" IN 10,000.

REVISION	DATE	DESCRIPTION

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (332-2863)

SCALE :	1 IN. EQUALS 30 FT.
DATE :	MARCH 30, 2015
FILE NO. :	DB 2014 -149

SHEET 2 OF 20

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

DAMON E. BURT
CMS #163

I CERTIFY THAT THIS SURVEY TITLE IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

0 100

BLUENOISE ROCK ROAD
BLUENOISE ROCK ROAD POLE LIGHT

TRICE

BLUENOISE SETBACK LINE
BLUENOISE EASEMENT LINE

OASIS TRAIL
SEVEN LANE

OVERHEAD UTILITIES
HIGHWAY FENCE

STOCK CORRAL LINE
WILSON CORRAL LINE

WETLAND BUFFER

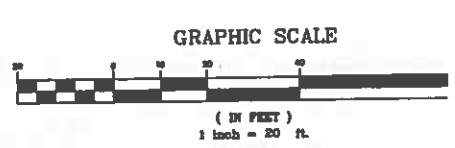
N/F COOK, H. ALLES B
C/O ROCHESTER MOTORSPORTS
23 FARMINGTON ROAD
ROCHESTER, NH 03867
SCALE BOOK 3073, PAGE 474
TAX MAP 206, LOT 28

N/F TOL, DONALD & BONNET, J
C/O TOL, DONALD & BONNET, J
23 FARMINGTON ROAD
ROCHESTER, NH 03867
SCALE BOOK 3073, PAGE 474
TAX MAP 206, LOT 28

N/F BOST-A, LLC
240 RIVERSIDE DRIVE
ROCHESTER, NH 03867
SCALE BOOK 3073, PAGE 715
SCALE BOOK 4000, PAGE 888
TAX MAP 206, LOT 28

FARMINGTON ROAD

ROUTE 11




- NOTES:
- 1) OWNER: 21 FARMINGTON ROAD LLC
548 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - 2) TAX MAP 216, LOT 28
 - 3) LOT AREA: 83,832 Sq. Ft., 2.15 AC.
 - 4) S.C.A.D. BOOK 4244, PAGE 628
 - 5) ZONING: GPD - GRANTY RIDGE DEVELOPMENT SETBACKS:
FRONTAGE: 30 FEET, MINIMUM
MIN. LOT AREA: 100,000 SQ. FT.
MIN. LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
PARKING SETBACK: NO REGULATION
SEE PAVEMENT: 10 FEET
REAR PAVEMENT: 10 FEET
CONSERVATION OVERLAY DISTRICT
WETLAND PROTECTION OVERLAY DISTRICT
ADJUTEN PROTECTION OVERLAY DISTRICT
 - 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD ZONE. (SEE CITY OF ROCHESTER, NH - CONTROL POINTS 240 & 241) MAP# - 3381700180, LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 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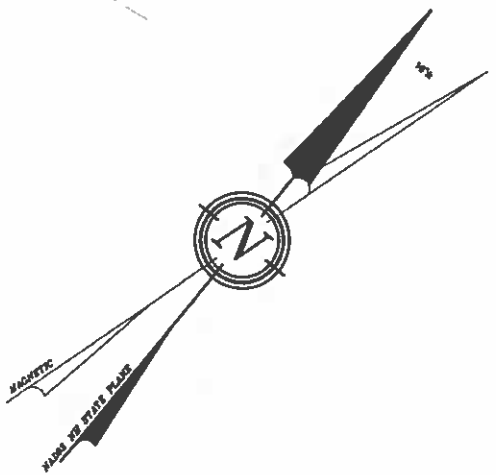
ROUTE 11




 BERRY SURVEYING
 & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 {332-2863}
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : MARCH 30, 2015
 FILE NO. : DB 2014 -149

PROPOSED GRADING & DRAINAGE PLAN
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

ROCHESTER PLANNING # 216-29-GRD-2015		
REVISION	DATE	DESCRIPTION



GRAPHIC SCALE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 30, 2015
FILE NO. : DB 2014 -149

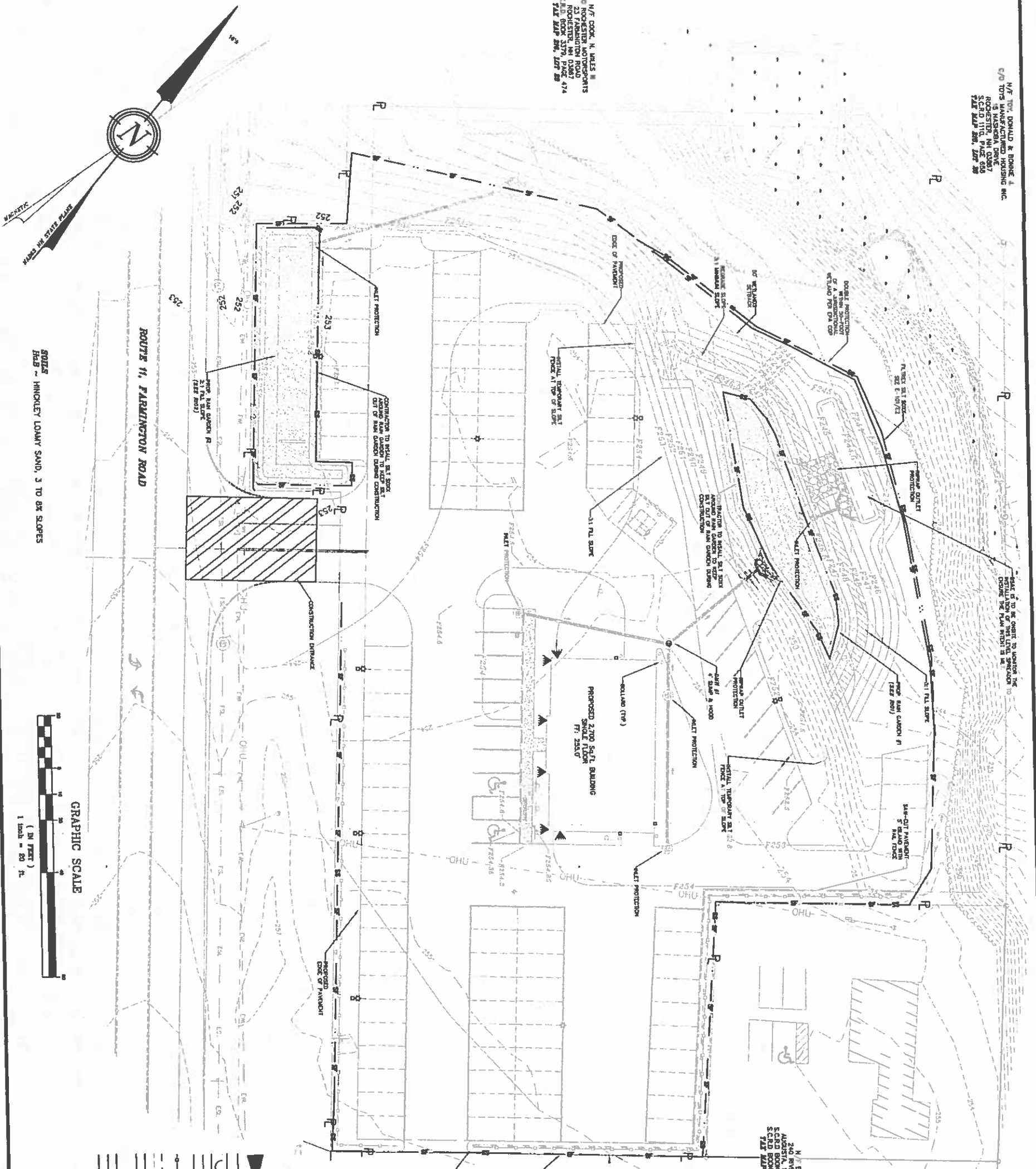
PROPOSED UTILITIES PLAN
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

ROCHESTER PLANNING # 216-29-GRD-2015

REVISION	DATE	DESCRIPTION

N/F 10% DONALD & BONNE
C/O 3075 JAMESVILLE HOUSING INC.
3 JAMESVILLE DRIVE
ROCHESTER, NH 03867
SC&D BOOK 3075, PAGE 658
TAX MAP 216, LOT 29

N/F COOK, N. LUIS
C/O ROCHSTER NOTARIES
100 STATE STREET
ROCHESTER, NH 03867
SC&D BOOK 3379, PAGE 474
TAX MAP 216, LOT 29



N/F 10% LUCAS
C/O 3075 JAMESVILLE HOUSING INC.
3 JAMESVILLE DRIVE
ROCHESTER, NH 03867
SC&D BOOK 3075, PAGE 658
TAX MAP 216, LOT 29

- NOTES:
- 1) OWNER: 21 FARMINGTON ROAD, LLC
 - 2) DEVELOPER: 21 FARMINGTON ROAD, LLC
 - 3) CITY OF ROCHESTER TAX MAP 216, LOT 29
 - 4) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE EROSION AND SEDIMENT CONTROL MEASURES FOR THE PROPOSED PROJECT.
 - 5) UNDESIGNED UTILITY LOCATIONS ARE SHOWN USING BEST AVAILABLE INFORMATION AND ARE NOT FIELD VERIFIED. THE ENGINEER'S RESPONSIBILITY IS TO LOCATE UTILITIES TO THE EXTENT POSSIBLE. ANY UTILITIES NOT SHOWN ON THIS PLAN SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 6) THE CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS AND STANDARDS. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 7) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE ENGINEER SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THESE MEASURES.
 - 8) ALL EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ALLOW FOR THE PROPOSED DEVELOPMENT.
 - 9) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE CITY OF ROCHESTER FOR REVIEW AND APPROVAL.
 - 10) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE STATE OF NEW HAMPSHIRE FOR REVIEW AND APPROVAL.
 - 11) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE FEDERAL AGENCY FOR REVIEW AND APPROVAL.
 - 12) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE LOCAL AGENCY FOR REVIEW AND APPROVAL.
 - 13) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE ADJACENT PROPERTY OWNERS FOR REVIEW AND APPROVAL.
 - 14) THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THIS PLAN TO THE ADJACENT PROPERTY OWNERS FOR REVIEW AND APPROVAL.

- LEGEND:
- 3/4" REBAR W/NO CAP TO BE SET
 - IRON BOUND (RND)
 - GRANITE BOUND (RND)
 - UTILITY POLE
 - EXISTING FIRE HYDRANT
 - EXISTING SEWER MANHOLE
 - EXISTING WATER VALVE
 - BENCHMARK
 - PROPOSED CATCH BASIN
 - PROPOSED OUTLET & FLARED END SECTION
 - APPROXIMATE LOCATION OF WATER LINE
 - APPROXIMATE LOCATION OF SEWER LINE
 - EDGE OF PAVEMENT (EXISTING - TH)
 - EDGE OF PAVEMENT (PROPOSED)
 - PROPOSED STOCKADE FENCE
 - EXISTING MAJOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - SILT FENCE / EROSION MIX BERM
 - OUTLET 12" SILT SOX
 - ORANGE CONSTRUCTION PERIMETER FENCE
 - RIP RAP STONE CHECK DAM
 - LEVEL SPREADER
 - DETAIL SHEET / DETAIL

ROCHESTER PLANNING # 216-29-GRD-2015

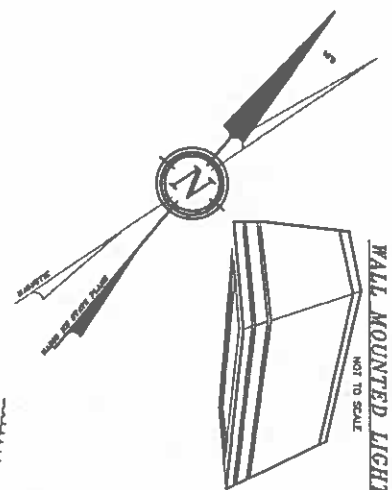
REVISION	DATE	DESCRIPTION

PROPOSED SEDIMENT & EROSION CONTROL
PLAN
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 [332-2863]
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 30, 2015
FILE NO. : DB 2014-149



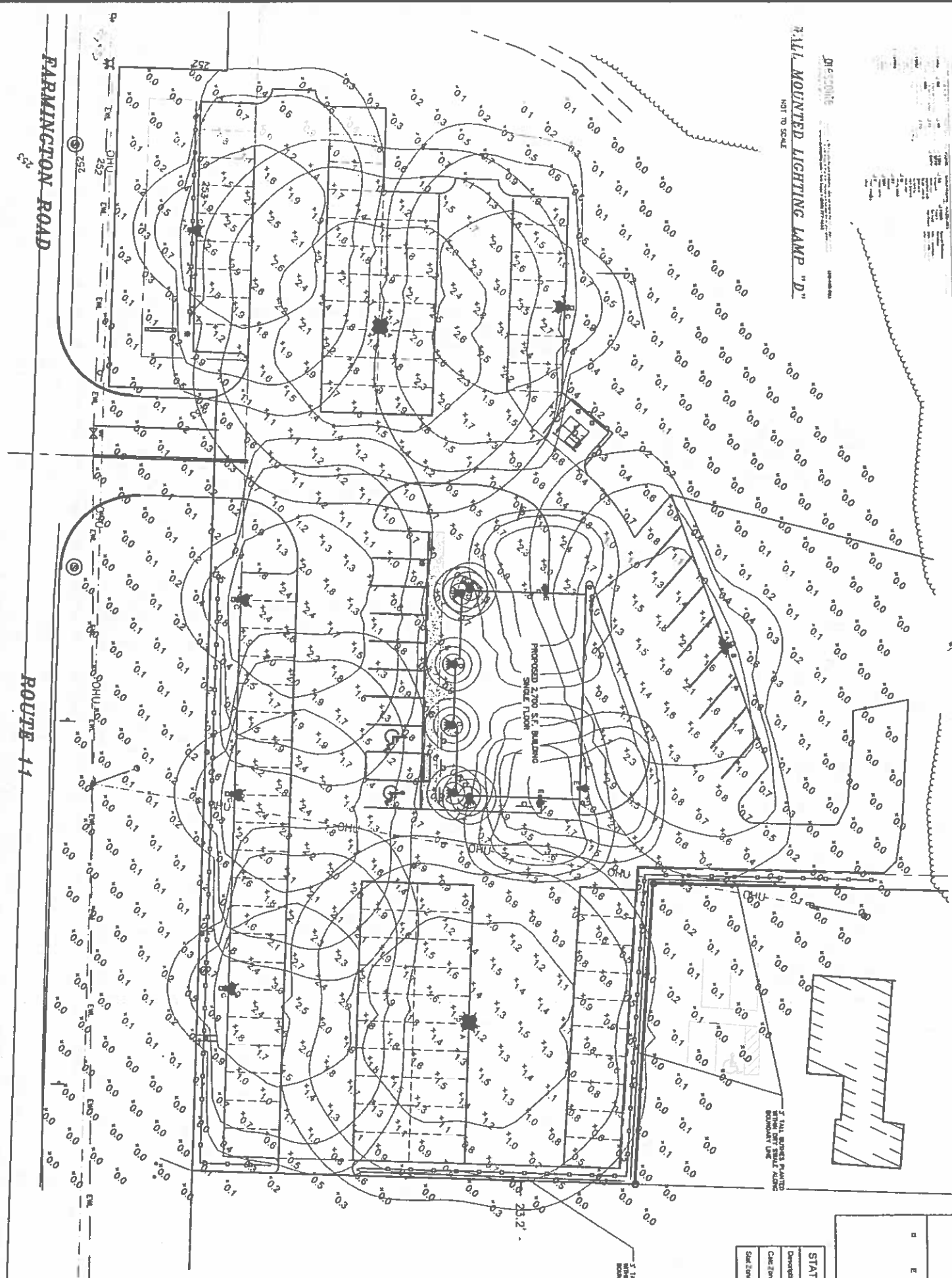
SHEET 8 OF 20



WALL MOUNTED LIGHTING LAMP "E"

- NOTES:
- 1) OWNER: 21 FARMINGTON ROAD LLC
348 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - 2) TAX MAP 216, LOT 29
 - 3) LOT AREA: 93,832 SQ. FT., 2.15 AC.
 - 4) S.C.R.D. BOOK 4248, PAGE 628
 - 5) REFER TO THE SITE PLAN FOR POLE PLACEMENT AND HEIGHTS.
 - 6) ALL LAMPS ARE NIGHT SKY COMPLIANT AND ARE TO BE DOWN LIT AND SHIELDED.

WALL MOUNTED LIGHTING LAMP "D"



LUMINAIRE SCHEDULE					
Symbol	Label	Qty	Catalog Number	Description	Lamp
A	2	1000	LED 4000K	DATA LED WITH 120° TYPE T8 OPTIC, 4000K, @ 1000LM	LED
B	1	1000	LED 4000K	DATA LED WITH 120° TYPE T8 OPTIC, 4000K, @ 1000LM	LED
C	3	1000	LED 4000K	DATA LED WITH 120° TYPE T8 OPTIC, 4000K, @ 1000LM	LED
D	3	1000	LED 4000K	DATA LED WITH 120° TYPE T8 OPTIC, 4000K, @ 1000LM	LED
E	3	1000	LED 4000K	DATA LED WITH 120° TYPE T8 OPTIC, 4000K, @ 1000LM	LED

STATISTICS				
Description	Symbol	Avg	Min	Max
Calc Totals	1	0.8 E	0.0 E	0.0 E
Calc Totals	2	1.5 E	0.4 E	0.0 E

D-Series Size 0 LED Area Luminaire

Specifications:

- Beam Angle: 120°
- Color Temperature: 4000K
- Power: 100W
- Life: 50,000 hours

Example: DATA LED 4000K 100W 120° T8 OPTIC

POLE MOUNTED LIGHTING LAMP "A.B.C."

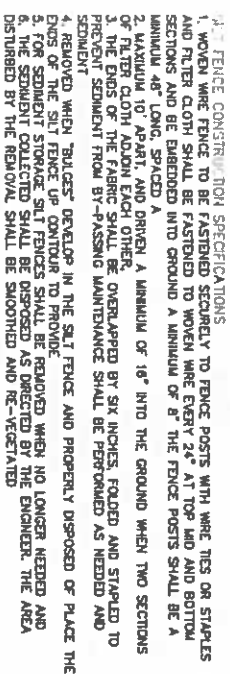


BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}

SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 30, 2015
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PROPOSED LIGHTING PLAN
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

ROCHESTER PLANNING # 216-29-GRD-2015		
REVISION	DATE	DESCRIPTION

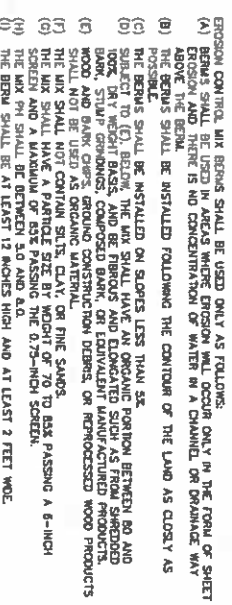


1. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME
2. INSPECTIVE DURING THE EXPECTED LIFE OF THE FENCE THE FABRIC SHALL BE REPLACED PROPERLY. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE
4. FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.



CONSTRUCT AT
ANGLE OF REPOSE

EROSION CONTROL MIX

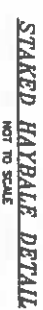


ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

NOT TO SCALE



NOT TO SCALE



1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOADED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
(SEE SEED SPECIFICATION E102)
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 90 DAYS, AT ANY ONE TIME, NO MORE THAN 5 ACRES. (217,800 Sq. Ft.) WILL BE DISTURBED.
5. SKI FENCES AND STRAW OR HAY BALES BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA RESTORED BY THE REMOVAL, SHOOTING AND RE-VEGETATED
7. PER THE EPA REQUIREMENTS THERE WILL BE A LOG OF THE EROSION CONTROL IMPLEMENTATION EVERY 7-14 DAYS PLEASE FIND SWPPP PREPARED BY DSAE (ATTOR LOCAL APPROVAL)
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DRAINING RUNOFF TO THEM.
9. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER .05" OR GREATER RAIN EVENT

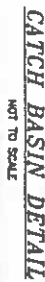
ROCHESTER PLANNING FILE: 216-29-GRD-2015

21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
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BRICKS TO BE USED TO ACHIEVE
FINISH FRAME AND GRATE ELEVATION.
1 BRICK MINIMUM, 3 BRICKS MAXIMUM.
FRAME TO BE SET IN FULL BED OF
MORTAR.



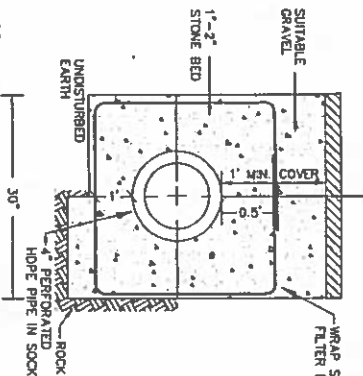
USE NON-FLAME
FIBRE GRATE TO BE
SYMMETRICAL ABOUT
CROSSING IN STRUCTURE.

The drawing shows a rectangular grate structure composed of a grid of rectangular openings. The grid is 4 units wide and 4 units high. Dimensions are provided for the overall structure and individual components:

- Overall width: 21"
- Overall height: 21"
- Width of one grate unit: 21 3/16" GRATE
- Width of one grate unit (labeled below the grid): 23 3/16" GRATE
- Width of one grate unit (labeled below the grid): 23 11/16"

CATCH BASIN GRATE DETAILS (N.T.S)

UNDERDRAIN TRENCH DETAIL



1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

9

DRILL ANTI-SIPHON VENTILATION HOLE

THE ELIMINATOR

INSERT

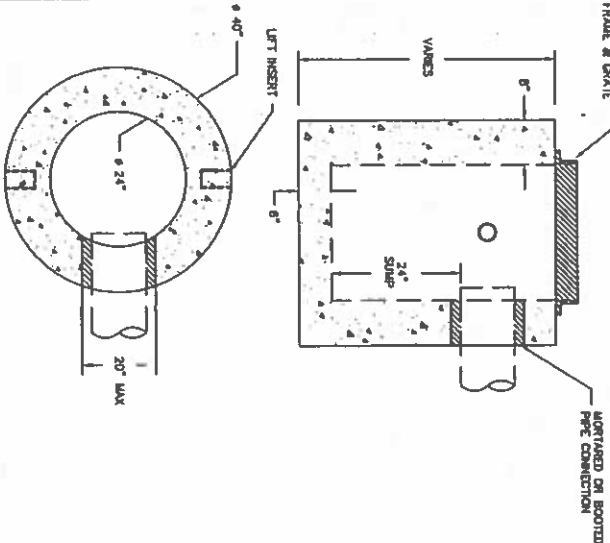
SIZES AVAILABLE FROM 8 - 18 INCHES

1. HOOD SHALL BE THE ELIMINATOR, OIL & FLOATING BEANS TRAP, AS SHOWN IN THE DRAWING. SEE RESCUE, INC., QUINCY, ILL. TEL. 617-775-1121 ON THE WEB @ WWW.RESCUEINC.COM

CATCH BASIN HOOD DETAIL

1. HOOD SHALL BE THE ELIMINATOR OIL & FLOATING DEBRIS TRAP AS MANUFACTURED BY GROUND WATER RESCUE, INC., QUINCY, MA. TEL. 617-773-1123 ON THE WEB @ WWW.KLEANSYSTEM.COM

**D10 2' DIAMETER DROP
INLET BASIN** NOT TO SCALE



Technical drawing of a stone masonry pier with reinforced concrete. The drawing shows a cross-section of the pier, which is 12 inches wide at the base and tapers to 6 inches at the top. The pier is composed of stone masonry with a 1-inch mortar cap. A 1-inch diameter hole is located in the center of the pier. The hole is 24 inches from the left and right edges and 16 inches from the bottom edge. The hole is 1 1/2 inches deep. The pier is reinforced with a 1/2 inch diameter steel bar. The pier is 18 inches high. The drawing is labeled "STONE MASONRY" and "REINFORCED CONCRETE".

HEADWALLS

(MASONRY & CONCRETE)

NOT TO SCALE

D-101

REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE CITY OF ROCHESTER PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING. (603) 432-2863

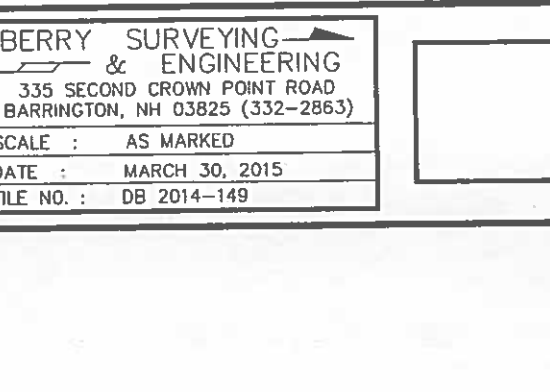
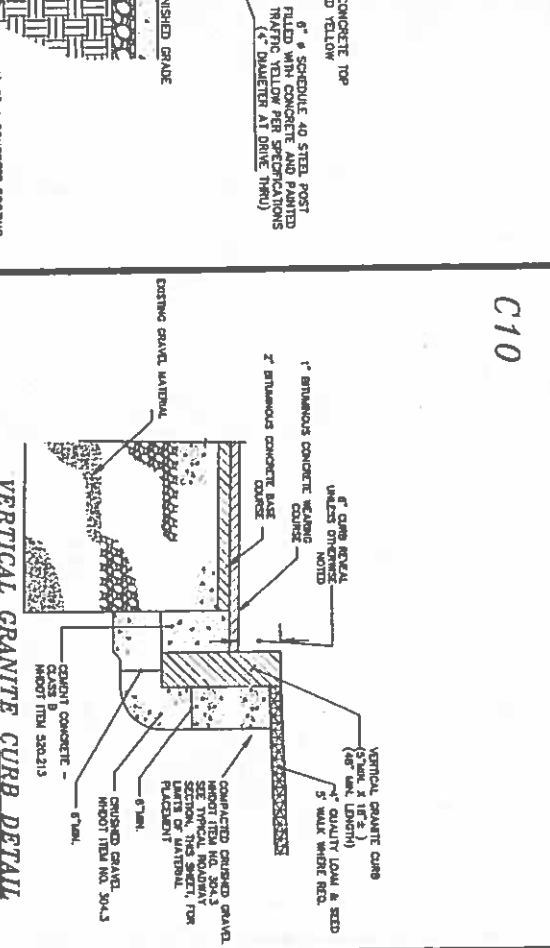
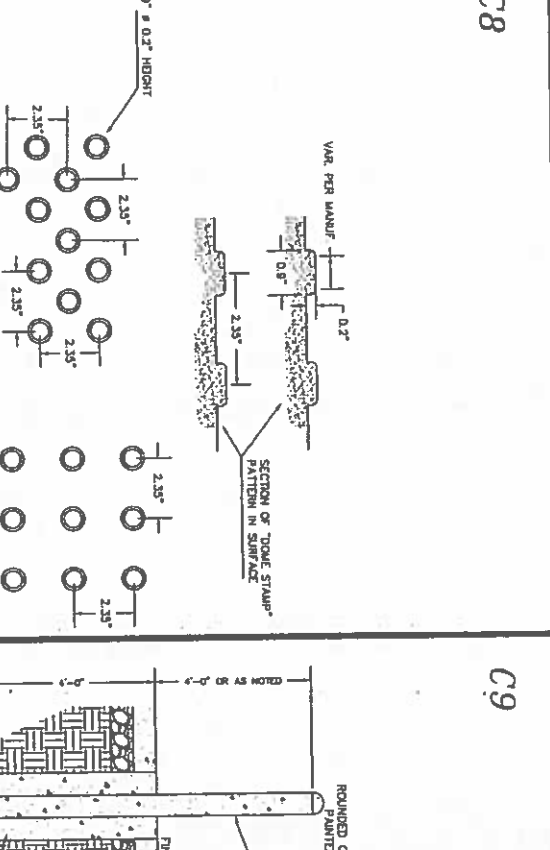
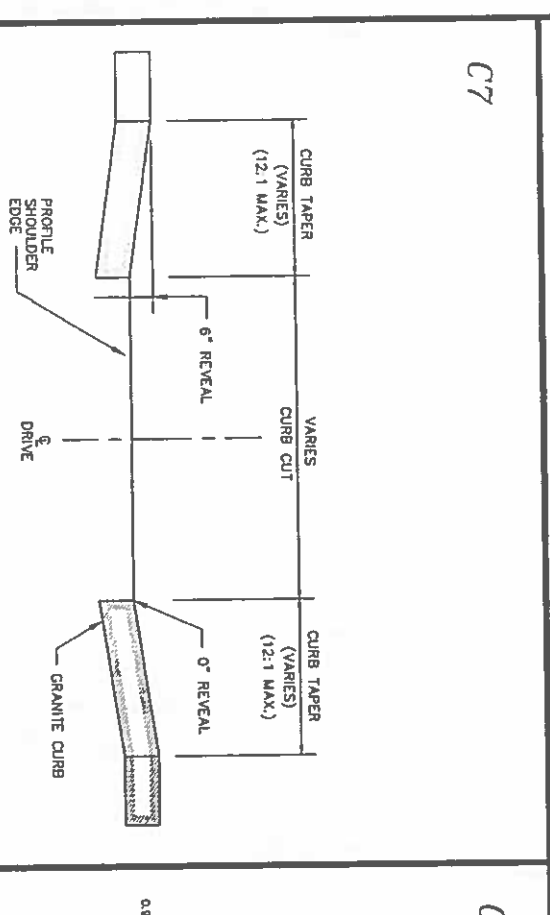
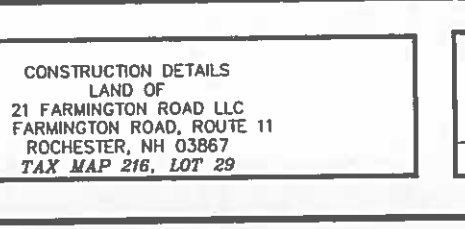
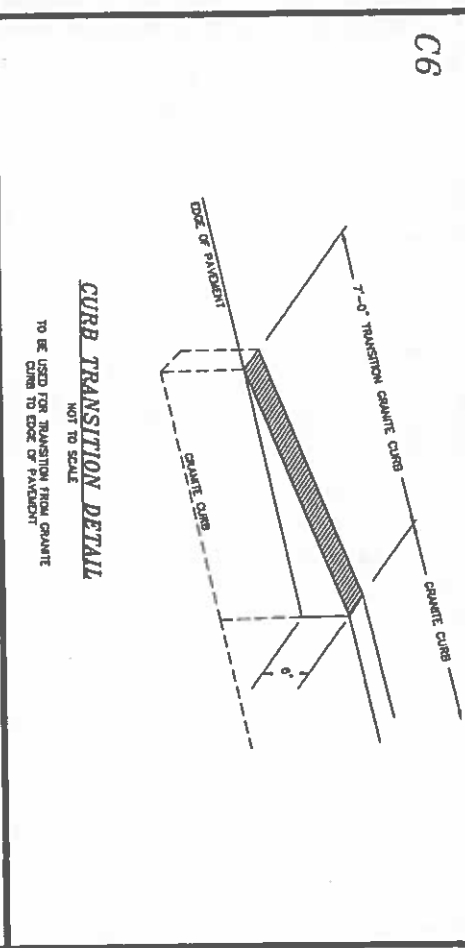
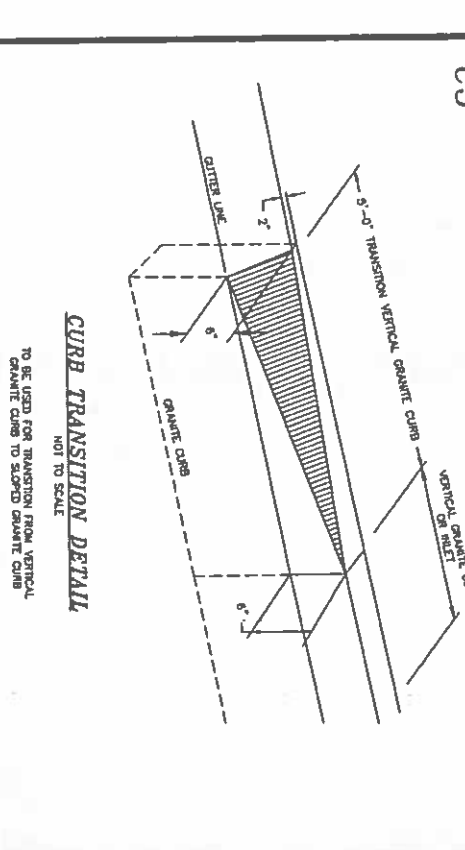
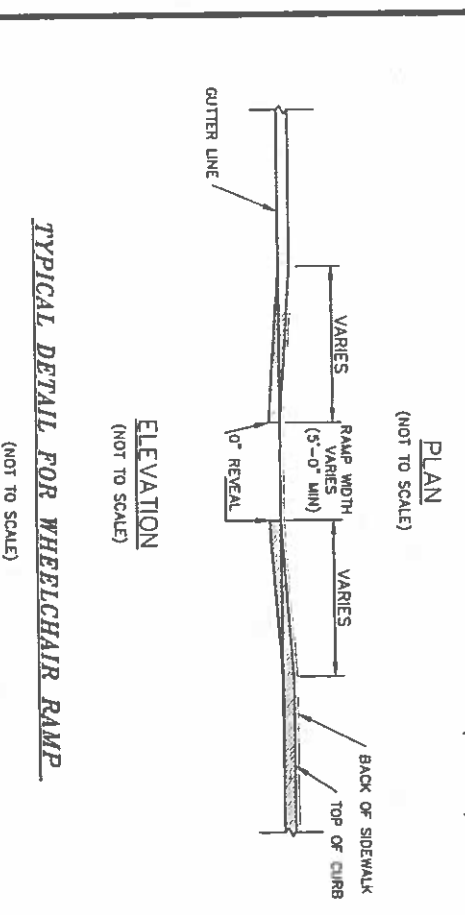
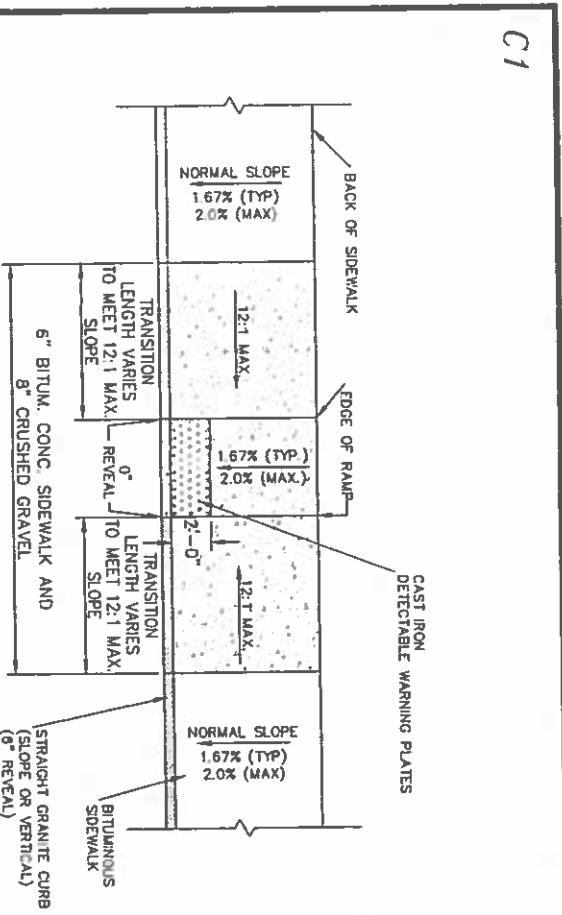
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (332-2863)

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**DRAINAGE DETAILS
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29**

ROCHESTER PLANNING FILE: 216-29-GRD-2015

REVISION	DATE	DESCRIPTION



REVISION DATE DESCRIPTION

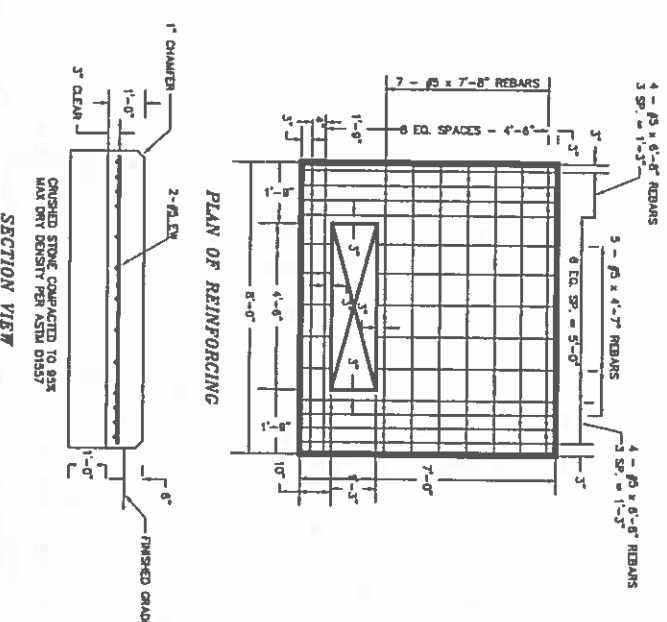
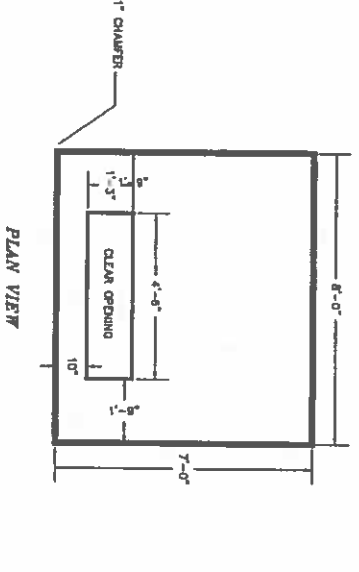
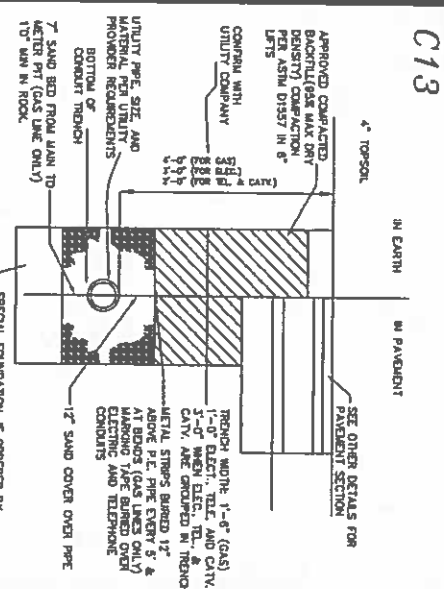
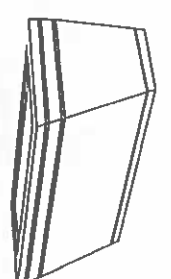
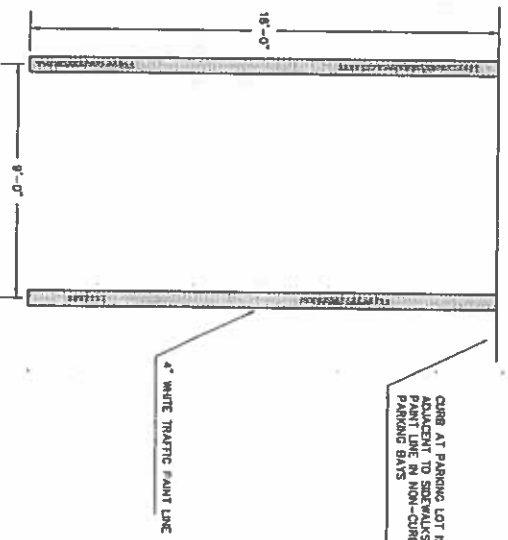
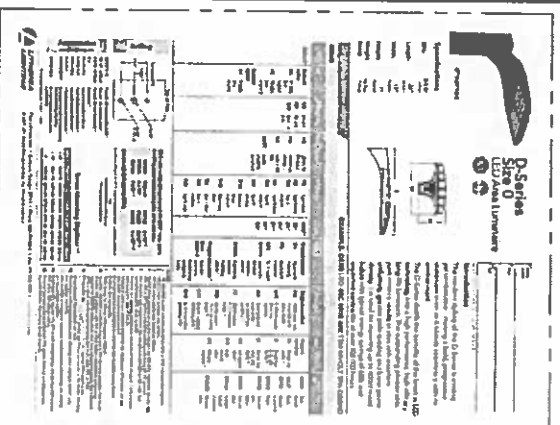
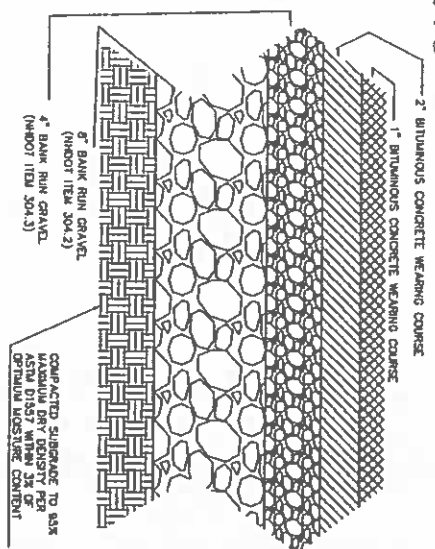
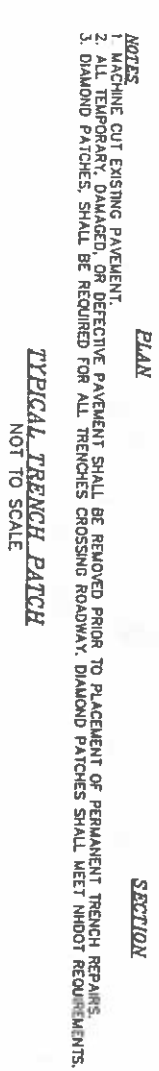
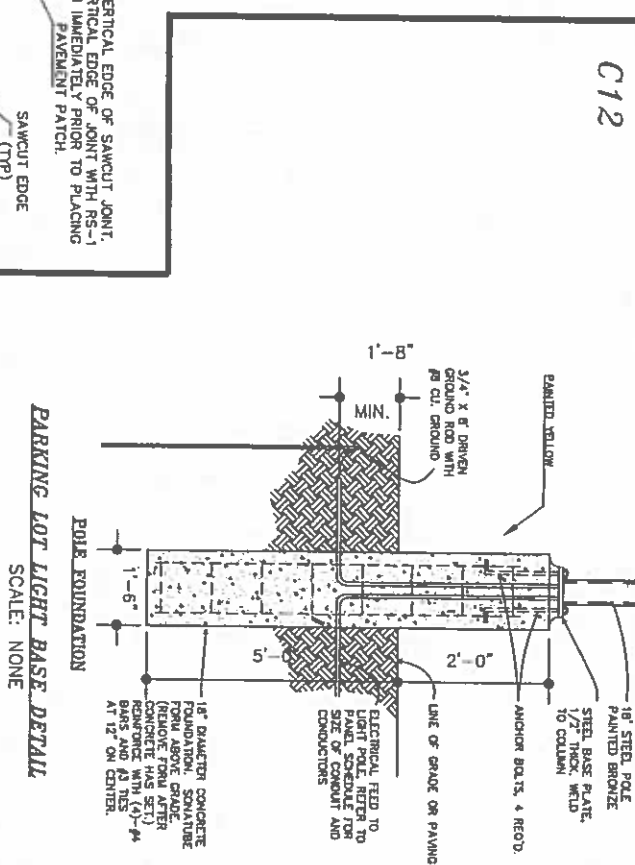
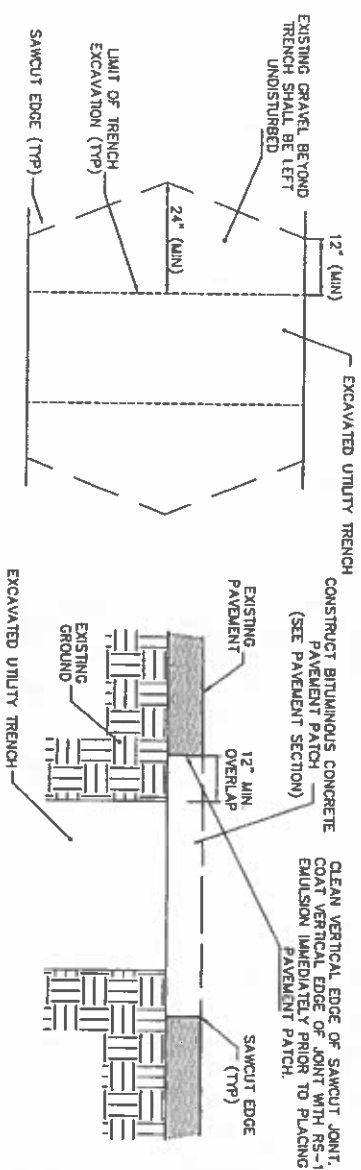
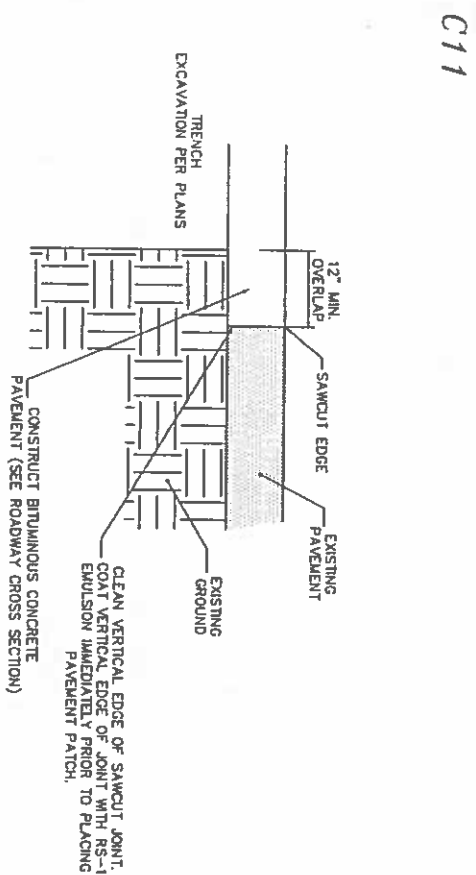
ROCHESTER PLANNING FILE: 216-29-GRD-2015

CONSTRUCTION DETAILS
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOT 29

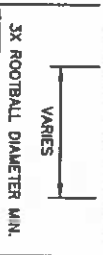
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (332-2863)
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C-101

SHEET 14 OF 20

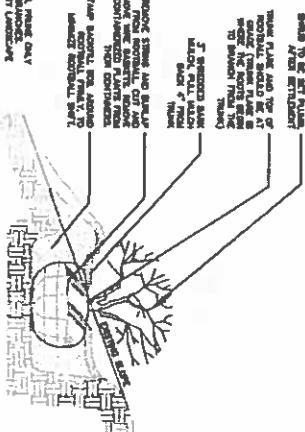


TREE TO BE SET PLUMB,
AFTER SETTLEMENT



- NOTES:
1. DO NOT STAKE EVERGREEN TREES.
2. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
3. TAMP BACKFILL SOIL AROUND ROOFTOP FRILLY TO MINIMIZE ROOFTOP SHIFT.

L4

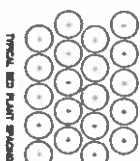


1. DO NOT LEAVE PLANT ROOM AT PLANTING. PLANT ONLY CROSSBRED LARVAE AND DIVULGED ON FIELD BLOSSOMS.
2. PLANT WITH TALL, MOIST AS INDICATED BY UNDERLYING ADVERTISING.
3. SHOWS A CROSSBRED PLANTED ALONGSIDE TO CITY BLOSSOMS NEED TO BE PLACED IN THE PLANT, AT THEIR PLANTING HEIGHT & WORK, WILL NOT DISCLOSED AND BE CITY'S SECRET.

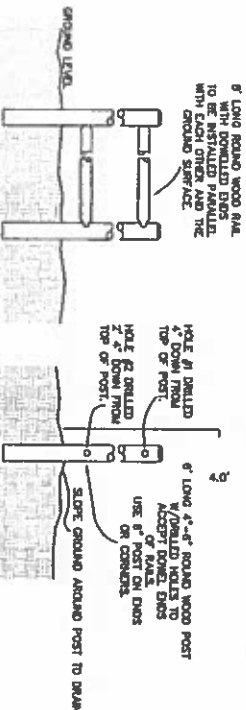
TYPICAL SHRUB PLANTING



TYPICAL PERENNIAL PLANTING



47



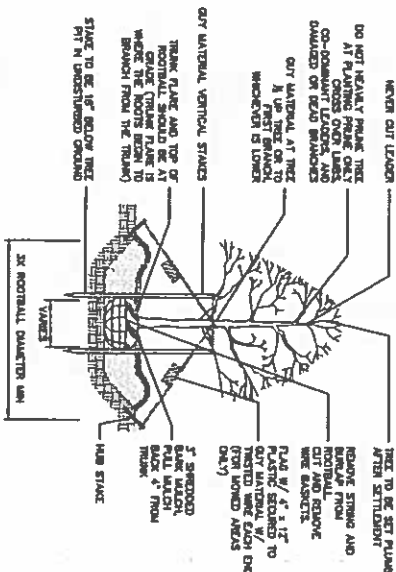
TYPICAL POST & RAIL FENCE DETAIL

DO NOT HEAVILY PRUNE TREE
AT PLANTING. PRUNE ONLY
CO-DOMINANT BRANCHES AND
DAMAGED OR DEAD BRANCHES.

DO NOT WATER AT TREE
BASE. WATER ONLY
A FEET OR TWO FROM
TRUNK. WATERING
NEVER DRY LEAVES.

REMOVE STUMP AND
ROOTS. DO NOT
REINSTALL
STUMP. STUMP
PLUG W/ 1" x 1 1/2"
PLASTIC SECURED TO
TRUNK. WATER 1/2" DEEP

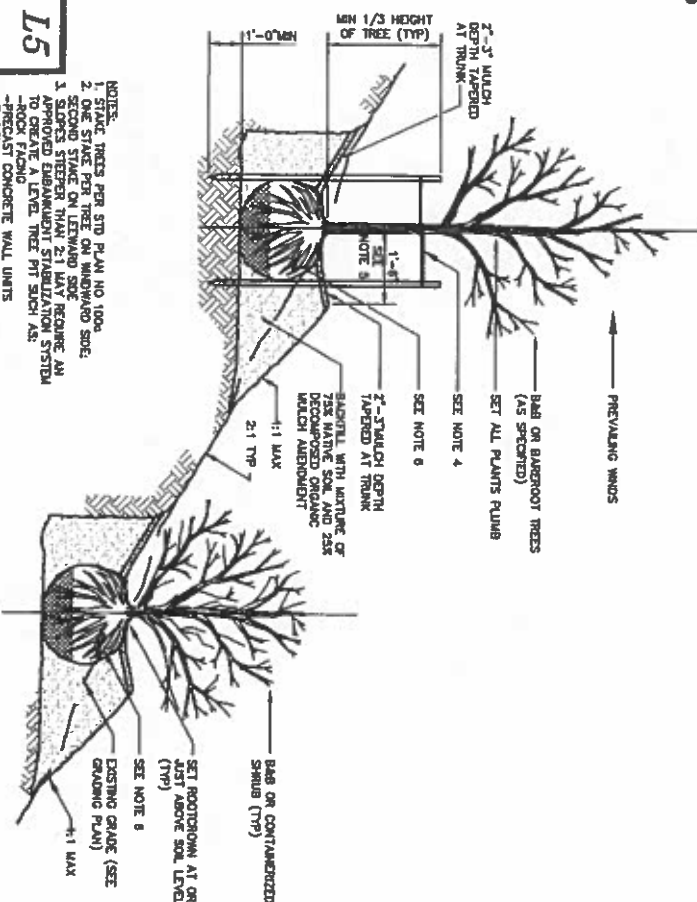
TRUNK TO BE SET PLUMB
AT 1/2" TOLERANCE



1. PLANTING AND STAKING TO BE RETURNED IN THE FIELD BY THE LANDSCAPE ARCHITECT. THE NECESSITY OF STAKING CHARACTERISTICS WILL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
2. TYPICALLY ONLY TREES WITH 5" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN 5" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
3. ONLY LIVE TREES AS REQUIRED BY LANDSCAPE ARCHITECT.
4. ALL TREES PLANTED SHALL BE PLANTED AT THE CORNER OF THE LOT.
5. LOT FOR ADJACENT SHALL BE ADJACENT AS REQUIRED BY LANDSCAPE ARCHITECT. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, SHALL BE PLANTED AT MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY STREET.

DECIDUOUS TREE PLANTING

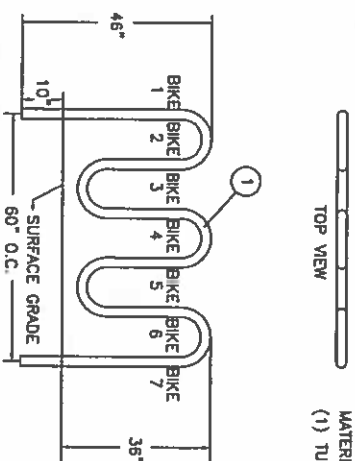
PREVALING WINDS



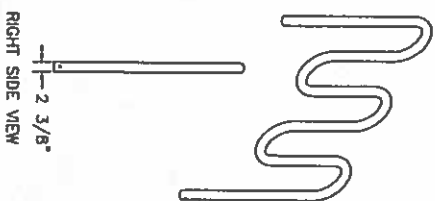
1. STAKE TRACES PER STD PLAN NO. 100.
2. THE STAKE PER TREE ON WINDWARD SIDE.
3. STAKE PER TREE ON LEeward SIDE.
4. SLOPE STEEPER THAN 2:1 MAY REQUIRE APPROVED EMBANKMENT STABILIZATION STRATEGY TO CREATE A LEVEL TREE PIT SLOPE AS -ROCK FACING.
5. 12" CONC RETAINMENT WALL UNITS -THUNDER WALL.
6. MANUFACTURED SLOPE REINFORCEMENT UNITS -CHALKOUT TREE THE LEED EACH THE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR SLOPE GROWTH.
7. SHALE GROWTH 1' QUARTER OF ROOTBALL DIAMETER, WHOLE TREE IS GREATER, WINDWARD SIDE.
8. REMOVE ALL WIRE AND STRING, REMOVE TOP 2/3 OF BUILDUP.

TREE PLANTING ON SLOPES

16

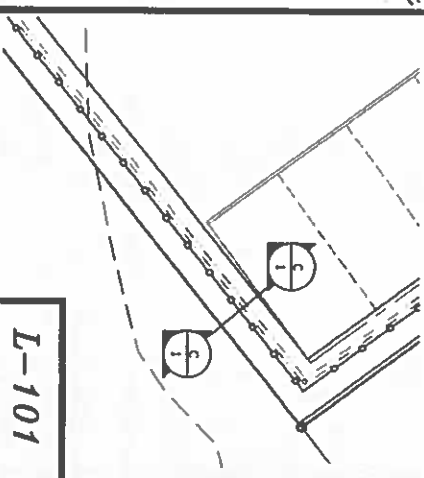
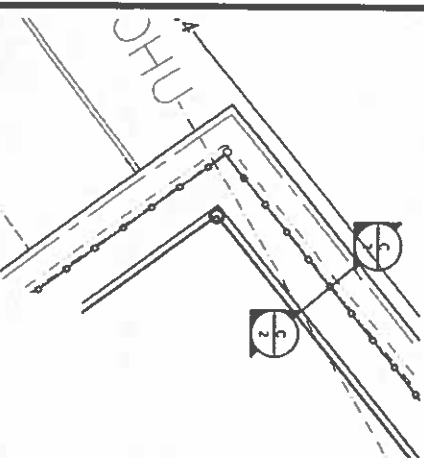


BIKE RACK



MATERIALS LIST

(1) TUBING - ϕ 2 3/8" x .154" Wall Steel Tubing



L-101



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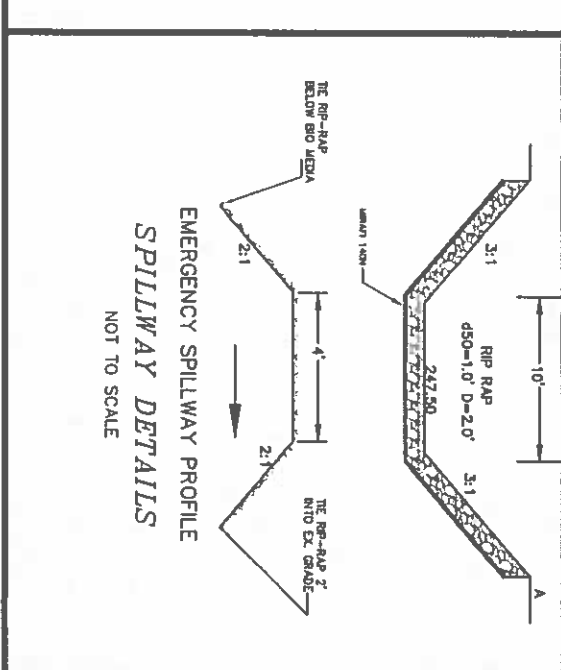
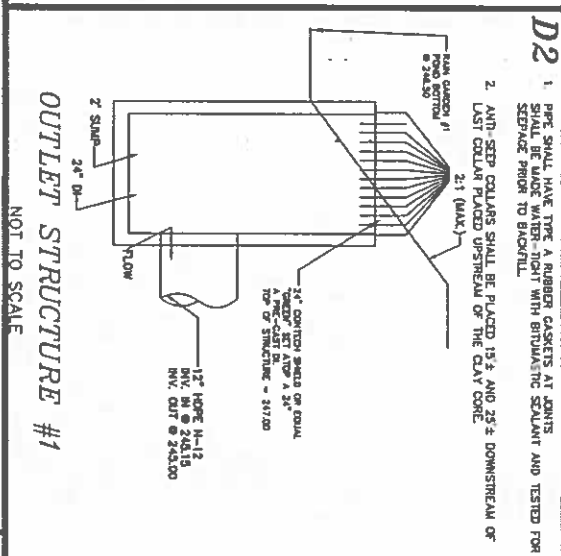
LANDSCAPING DETAILS
LAND OF
21 FARMINGTON ROAD LLC
21 FARMINGTON ROAD, ROUTE 11
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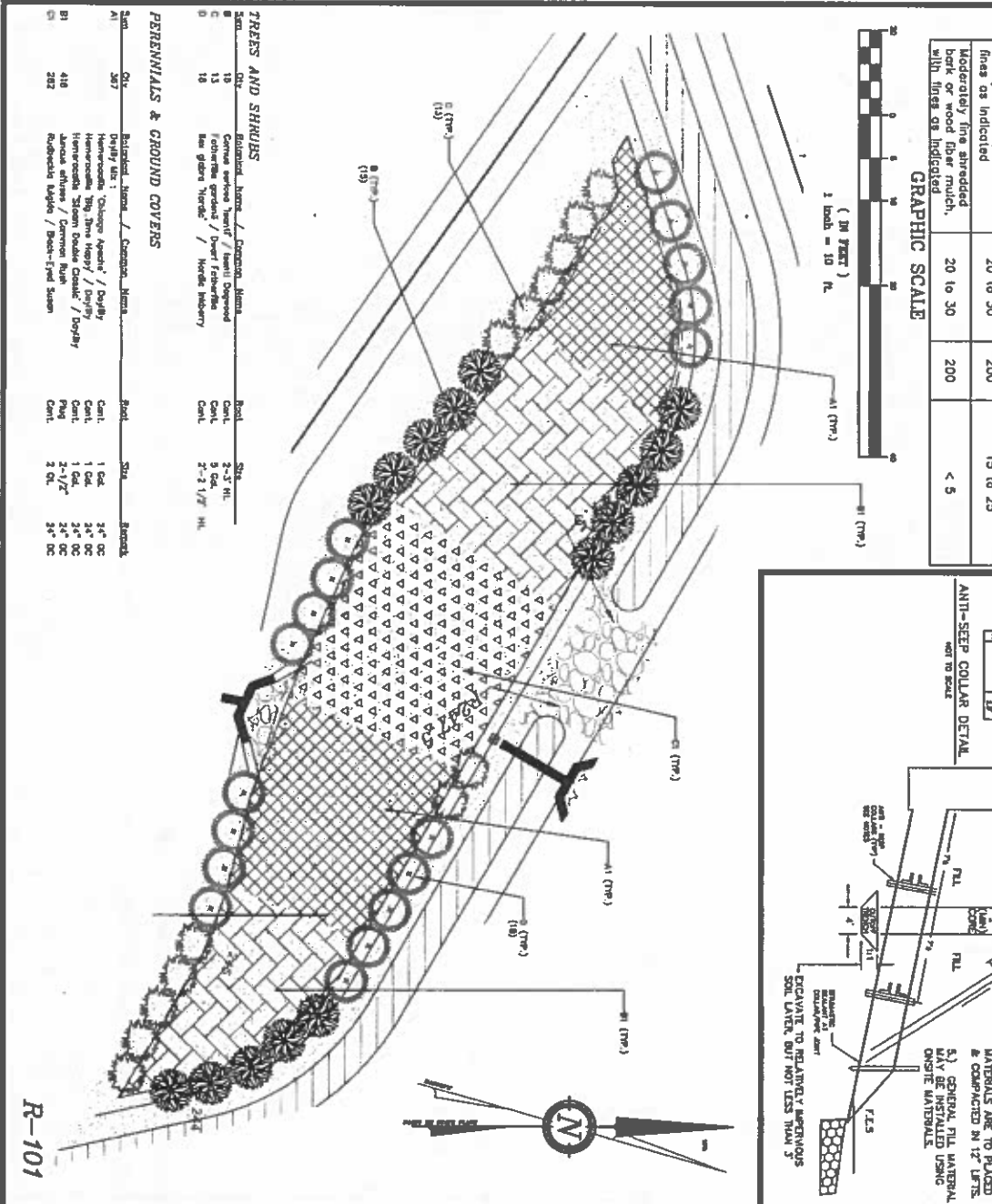
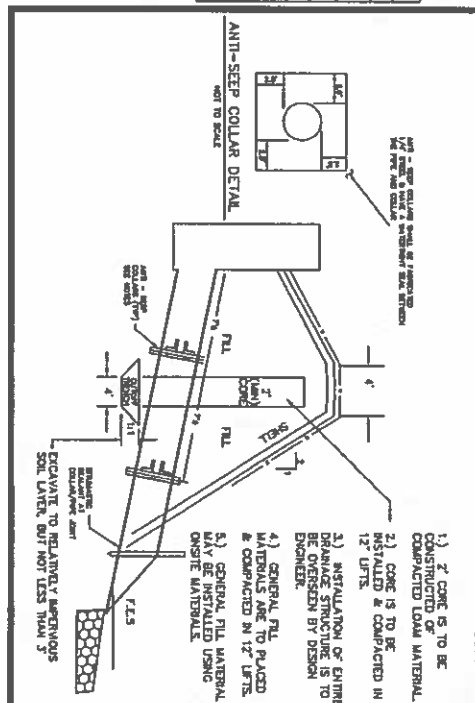
REVISION	DATE	DESCRIPTION

D2

CONSTRUCT A SOLE FROM
SILICA, CONDUCT TO 548 US
"BEEF FOOT HOLE".
RECT FROM WITHIN MATERIAL,
AT LEAST 4 BELOW EX. GRADE



FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand, loessal, with fines as indicated	20 to 30	200	15 to 25
Moderately fine, air-dried bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5



TREES AND SHRUBS		Root	Size
Species	Scientific Name / Common Name		2-3' Ht.
10	Genual service Yew? / Laurel	Dark.	9' Ht.
13	Coleridge garden / Sweet / Rosemary	Dark.	9' Ht.
16	San glenns / Herod. /	Dark.	2-2 1/2' Ht.
18	Medea /		

