NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

Date: July 8, 2014 [office use only. fee paid ____ amount $_____ date paid _____]

Property information

Tax map #: 210 ; Lot #('s): 55 & 56 ; Zoning district: Highway Commercial(HC)

Property address/location: 79 Milton Road & 2 Flat Rock Bridge Road

Name of project (if applicable): Cumberland Farms Re-Development

Size of site: 1.3 acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): Lot 55: Cumberland Farms, Inc.
Lot 56: Paul J. Navelski

Mailing address: Lot 55: 100 Crossing Blvd. Framingham, MA 01702
Lot 56: PO Box 2075, Rochester, NH 03866-2075

Telephone #: Lot 55: (508) 270-1466 Lot 55: (508) 270-1466
Lot 56: (603) Fax #: Lot 56: (603)

Applicant/developer (if different from property owner)

Name (include name of individual): Cumberland Farms, Inc.

Mailing address: Same

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): MHF Design Consultants, Inc. c/o Frank C. Monteiro

Mailing address: 44 Stiles Road, Suite One, Salem, NH 03079

Telephone #: (603) 893-0720 Fax #: (603)893-0733

Email address: fcm@mhfdesign.com Professional license #: 7152

Proposed activity (check all that apply)

New building(s): X Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: X Change of use: _____

(continued *Nonresidential Site Plan* application Tax Map: **210** Lot: **55 & 56**)

Describe proposed activity/use: **Construct a new 4,650 sf convenience store and canopy structure with 6 dispensers (12 fueling stations), 25 parking spaces and associated site work.**

Describe existing conditions/use (vacant land?): **Cumberland Farms, Inc. retail motor fuel outlet & Martin's Family Restaurant**

Utility information

City water? yes **X** no ___; How far is City water from the site? _____

City sewer? yes _X_ no **X**; How far is City sewer from the site? _____

If City water, what are the estimated total daily needs? **400** gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ___ no **X**

If City sewer, do you plan to discharge anything other than domestic waste? yes ___ no _X_

Where will stormwater be discharged? **Above ground detention basin and City drainage system**

Building information

Type of building(s): **Wood framed Convenience Store Structure, Metal Canopy Structure**

Building height: **32'** Finished floor elevation: **237.50**

Other information

parking spaces: existing: **17** total proposed: **25**; Are there pertinent covenants? ____

Number of existing employees: **4**; number of proposed employees total: **4**

Check any that are proposed: variance **X**; special exception ____; conditional use ___

Wetlands: Is any fill proposed? **No**; area to be filled: _____; buffer impact? _____

Proposed *post-development* disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	C-store: 4,650 sf Canopy: 3,486 sf	14.4%
Parking and vehicle circulation	25,794 sf	45.6%
Planted/landscaped areas (excluding drainage)	21,545 sf	38.2%
Natural/undisturbed areas (excluding wetlands)	1,000 sf	1.8%
Wetlands	N/A	–
Other – drainage structures, outside storage, etc.	N/A	–

(continued *Nonresidential Site Plan* application Tax Map: 210 Lot: 55 & 56)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

_____

_____

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I(we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Cumberland Farms, Inc. Kathleen Sousa

Kathleen Sousa, Sr. Pipeline Manager

Date: 7/8/2014

Signature of applicant/developer: Cumberland Farms, Inc. Kathleen Sousa

Kathleen Sousa, Sr. Pipeline Manager

Date: 7/8/2014

Signature of agent: Francis X Bruce (MAS)

Date: 7/8/2014

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: Cumberland Farms, Inc. Kathleen Sousa

Date: 7/8/2014

FRANCIS X. BRUTON, III
CATHERINE A. BERUBE

OF COUNSEL
JAMES H. SCHULTE

Bruton & Berube, PLLC

ATTORNEYS AT LAW

798 Central Avenue
Dover, NH 03820

TEL (603) 749-4529
(603) 743-6300
FAX (603) 343-2986

www.brutonlaw.com

July 8, 2014

VIA HAND DELIVERED

RECEIVED
JUL 08 2014
Planning Dept.

James B. Campbell, Chief Planner
City of Rochester
Second Floor City Hall
31 Wakefield Street
Rochester, New Hampshire 03867

RE: Cumberland Farms, Inc.
79 Milton Road, Rochester, NH
2 Flat Rock Bridge Road, Rochester, NH
Map 210, Lots 55 & 56

Dear Mr. Campbell:

Enclosed please find an original and twenty-two (22) copies of a Non-residential Site Plan Application together with a check in the amount of $1,008.00 [$1,008.00 = $300.00 (base fee) + $708.00 (per sq foot fee of $150.00 + $0.12 x 4,650 sf)] for the application fee, and a check in the amount of $37.80 ($37.80 = $3.78 x 10 owners/abutters/professionals) for the abutter notice fee.

We understand that this matter will be placed on the agenda of the Technical Review Group for its meeting of July 17, 2014. As such, if there are any questions regarding the enclosed application, please do not hesitate to contact me.

Sincerely,

Francis X Bruton

Francis X. Bruton, III
E-mail: fx@brutonlaw.com

FXB/mas
Enclosure

cc: Cumberland Farms, Inc.
MHF Design Consultants, Inc.

AUTHORITY LETTER

To Whom It May Concern:

Paul J. Navelski (the "Owner") is the owner of the property located at 2 Flat Rock Bridge Road, Rochester, New Hampshire 03866 (the "Property"). The Owner hereby authorizes Cumberland Farms, Inc. and/or its agents, including, but not limited to, Hinckley, Allen & Snyder, LLP and any engineering, surveying or architecture firm that the above may designate, to execute, submit and prosecute applications and any applicable materials to the City of Rochester boards, commissions, agencies and the like (including, without limitation, zoning boards, planning boards and the Rochester Board of Selectmen) on behalf of the Owner, for the purpose of obtaining municipal permits and approvals and property rezonings for the development of the Property.

OWNER:

3-5-2014
Date

By: Paul J. Navelski
Paul J. Navelski

State of NEW HAMPSHIRE
County of STRAFFORD

Personally appeared the above-named Paul J. Navelski before me this 5 day of ~~November~~ MARCH, 201~~4~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged that he/she executed the same for the purposes therein contained.

Notary Public/Justice of the Peace
My Commission Expires:

JEROME H. GROSSMAN
MY COMMISSION EXPIRES MAY 9, 2017
NOTARY PUBLIC
NEW HAMPSHIRE

CUMBERLAND FARMS, INC.
79 Milton Road
Rochester, New Hampshire
MINOR SITE PLAN APPLICATION

The Applicant, Cumberland Farms, Inc., is the current owner of the property located at 79 Milton Road in Rochester, New Hampshire. Cumberland Farms, Inc. operates an existing convenience store/gas station on the site. The property is depicted on the City of Rochester's tax maps at Map 210, Lot 55. The property consists of an existing building which contains 2,481 square feet. The property also includes gasoline dispensers, utilized for the sale of gasoline to the general public. The property is located in the Highway Commercial (HC) District. Retail sales and gas operations are permitted as a matter of right in the HC Zone.

Paul J. Navelski is the current owner of the property located at 2 Flat Rock Bridge Road in Rochester, New Hampshire. Mr. Navelski currently operates a drive-in restaurant on the site within an existing building containing 858 square feet. The property is depicted on the City of Rochester's tax maps at Map 210, Lot 56.

Cumberland Farms, Inc. intends to purchase Lot 56 from Mr. Navelski and merge the Lot with Lot 55 to completely raze and rebuild the existing convenience store/gas station building and replace the canopy and gasoline dispensers that currently exist on Lot 55. In addition, the drive-in restaurant on Lot 56 will be removed.

Copies of plans depicting the proposed project are attached hereto. The number of gas dispensers will be changed from four (4) dispensers, with eight (8) fuel pumps, to six (6) dispensers with twelve (12) fuel pumps. As a result of the improved site layout, the activity on the site will be moved further back from the frontage, thus facilitating the location of the required vegetative buffer, and increasing traffic flow within the property, resulting in a more safe environment for members of the public utilizing the business. In addition, we have enclosed copies of elevations of the proposed new building. The façade will certainly result in an increased aesthetic presentation of the property, all of which is understood to be of importance to the City, as this area represents one of the gateways to the City of Rochester.

During the course of its review, the Applicant has identified that it will need to seek certain variances. Specifically, the applicant believes it will need a variance for the proposed canopy signs and for the proposed wall signs, which matters will need to be addressed before the Zoning Board of Adjustment.

The applicant will be meeting with the City's Technical Review Group on July 17, 2014 to address any concerns that department heads may have with respect to the proposed project.

Cumberland Farms, Inc. looks forward to working with the Planning Board with respect to developing a project that is suitable not only for Cumberland Farms, Inc., but which produces a project that the City of Rochester can be proud of. Cumberland Farms, Inc. looks forward to appearing before the Planning Board in order to further discuss this project.

PROPOSED SITE RE-DEVELOPMENT PLANS

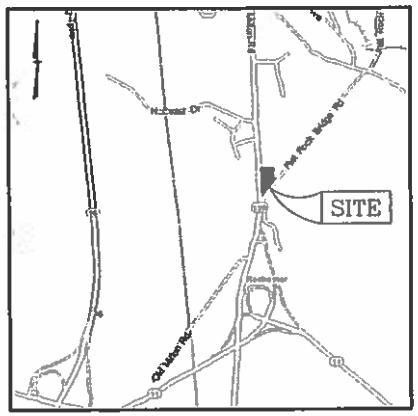
for

ASSESSORS MAP 210 - LOTS 55 & 56
79 MILTON ROAD & 2 FLAT ROCK BRIDGE ROAD
ROCHESTER, NEW HAMPSHIRE 03868

Prepared for:

Cumberland FARMS

100 CROSSING BLVD, FRAMINGHAM, MASSACHUSETTS 01702



LOCATION MAP
(NOT TO SCALE)

INDEX TO DRAWINGS

CFG01.0	TITLE SHEET
CFG02.0	EXISTING CONDITIONS PLAN
CFG03.0	DEMOLITION PLAN
CFG04.0	SITE PLAN
CFG05.0	GRADING & DRAINAGE PLAN
CFG06.0	EROSION & SEDIMENTATION CONTROL PLAN
CFG07.0	UTILITY PLAN
CFG08.0	LANDSCAPE PLAN
CFG09.0	DETAIL SHEET
CFG09.1	DETAIL SHEET
CFG09.2	DETAIL SHEET
CFG09.3	DETAIL SHEET
CFG09.4	SEWAGE DISPOSAL SYSTEM PLAN
CFG09.5	SEWAGE DISPOSAL SYSTEM DETAILS
CFG12.0	PROPOSED CANOPY PLAN & ELEVATIONS
CFG12.1	PROPOSED CANOPY DETAILS
CFG13.0	PROPOSED SIGN PLAN
CFG16.0	TRUCK TURN PLAN (TTP)
A1.1	FLOOR PLAN & PARTITION TYPES *
A3.1	EXTERIOR ELEVATIONS *
A3.2	EXTERIOR ELEVATIONS *
DS1.1	DOWNSPOUT LOCATION PLAN *
LI.1	EXTERIOR BUILDING LIGHTING PLAN *

RECEIVED
JUL 09 2014
Planning Dept.

* ARCHITECTURAL PLANS FOR PERMITTING USE ONLY. CONTRACTOR TO REFER TO STAMPED, SIGNED, SEALED PLANS LABELED "FOR CONSTRUCTION".

MHF Design Consultants, Inc.
41 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-6720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE — DAVID A. JOHNS No. 7741

REVISIONS

NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: NTS
DATE: JULY 8, 2014
FILE: 344314VR.dwg
DRAWN BY: CMT
CHECKED BY: CMT

TITLE SHEET

CFG01.0

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METES & BOUNDS DESCRIPTION (MAP 210 LOT 55)

RECORD DESCRIPTION

All that certain tract or parcel of land and premises hereinafter particularly described, situate, lying and being in the Town of Rochester, County of Strafford and State of New Hampshire

Beginning at an iron pipe on the easterly sideline of the Milton Road at the northwesterly corner of land of John Earl and running North 06° 20'-1'2" East 247.38 feet by said road to an iron pipe; thence running South 06° 06" East 134.30 feet by land of Dale R. and Earl F. Smith to an iron pin and continuing on the same course 15.00 feet by land of Herbert E. Tanner to a steel stake; thence running South 07° 18" West 222.76 feet by said land of Tanner to an iron pipe; thence running South 07° 20" West 146.36 feet by said land of Earl to point of beginning.

SURVEYED DESCRIPTION

A certain tract or parcel of land situate in the State of New Hampshire, County of Strafford and City of Rochester located on the easterly side of Milton Road (NH Route 125) and being more particularly bounded and described as follows:

Beginning at an iron pin to be set on the easterly sideline of said Milton Road at land now or formerly of Paul J. Hawelsis, said point being the southeast corner of the within described premises, thence;

Along the easterly sideline of said Milton Road N02°33'01"W two hundred forty-seven and fifty-eight hundredths (247.58) feet to an iron pipe at land now or formerly of Alan D. and Judy L. Maxfield, said pipe being the northwesterly corner of the within described premises, thence;

Partially by land of said Maxfield and partially by land now or formerly of Ronald R. Horton N63°07'43"E one hundred forty-nine and thirty-eight hundredths (149.38) feet to an iron pin, said iron pin being the northeasterly corner of the within described premises, thence;

By land of said Horton S06°47'14"E two hundred twenty-two and fifty-nine hundredths (222.59) feet to an iron pipe at land of said Maxfield, said pipe being the southeasterly corner of the within described premises, thence;

By land of said Maxfield S77°12'32"W one hundred seventy-seven and seventeen hundredths (177.17) feet to the point of beginning.

Said tract or parcel of land contains 38,650 square feet or 0.873 acres more or less.

I certify that the metes & bounds description is the same land as described in the title commitment and in book 987 page 464.

METES & BOUNDS DESCRIPTION (MAP 210 LOT 56)

RECORD DESCRIPTION

A certain tract of land with the buildings thereon, situate in Rochester, County of Strafford and State of New Hampshire, on the easterly side of Route 16, or the Milton Road, at its intersection with the Flat Rock Bridge Road, bounded and described as follows:

Beginning on the easterly side of Route 16 at the southwesterly corner of land formerly of the late Irving Crawford, now occupied by the Gulf Oil Company; thence running easterly by said Gulf Oil Company land two hundred and four (204) feet, more or less, to land of Herbert E. Tanner; thence southerly by land of said Tanner twenty (20) feet, more or less to Flat Rock Bridge Road, so-called; thence northwesterly by said Flat Rock Bridge Road two hundred thirty five (235) feet, more or less, to Road 16; thence northerly by Route 16 one hundred twenty five (125) feet, more or less, to the point of beginning.

SURVEYED DESCRIPTION

A certain tract or parcel of land situate in the State of New Hampshire, County of Strafford and City of Rochester located on the easterly side of Milton Road (NH Route 125) and the northerly side of Flat Rock Bridge Road and being more particularly bounded and described as follows:

Beginning at a point on the easterly sideline of said Milton Road at land now or formerly of Cumberland Farms, Inc., said point being the northwesterly corner of the within described premises, thence;

By land of said Cumberland Farms N77°12'32"E one hundred seventy-seven and seventeen hundredths (177.17) feet to an iron pipe at land now or formerly of Ronald R. Horton, thence;

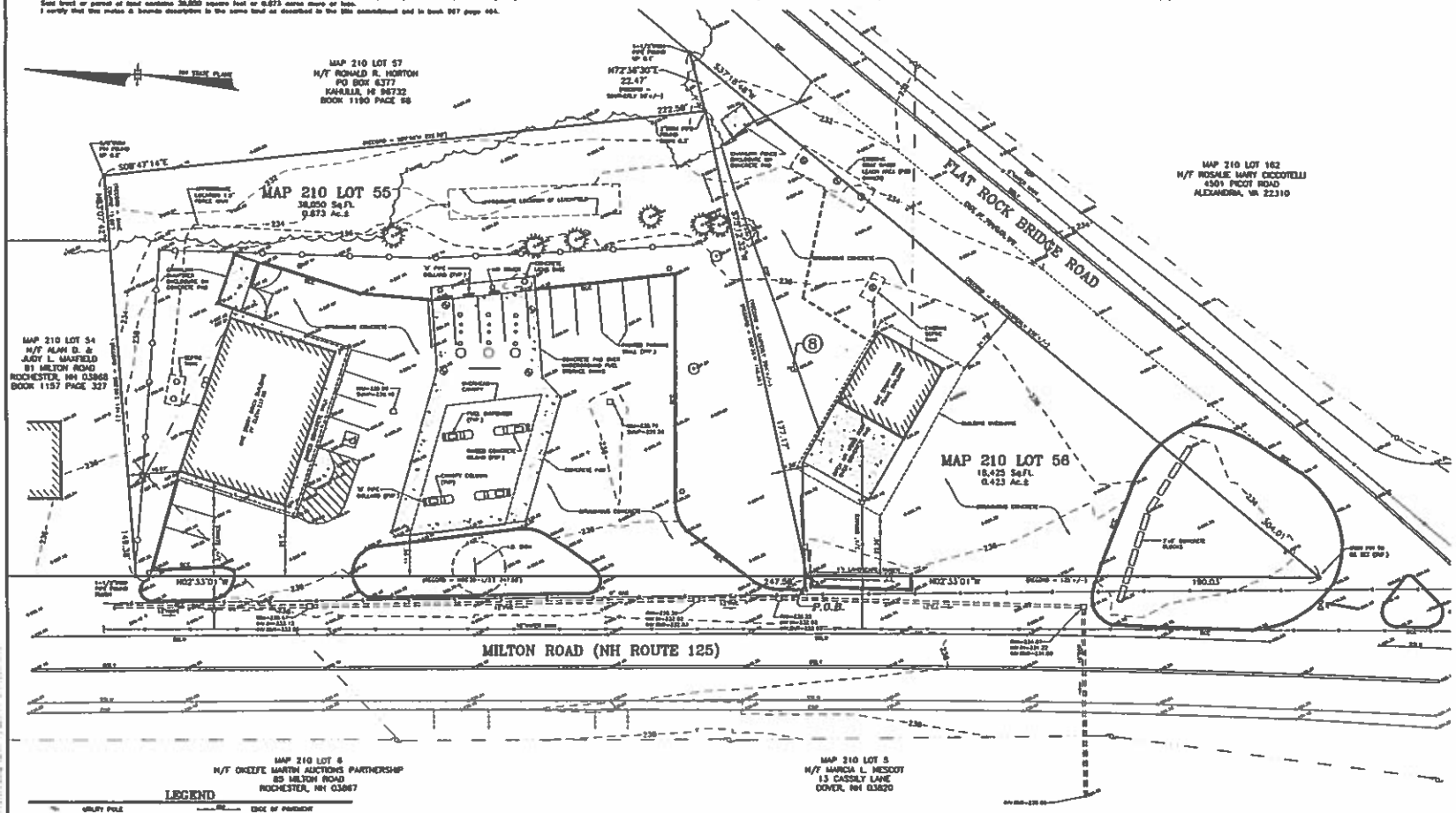
By land of said Horton N72°36'30"E twenty-two and forty-seven hundredths (22.47) feet to an iron pipe on the northerly sideline of said Flat Rock Bridge Road, thence;

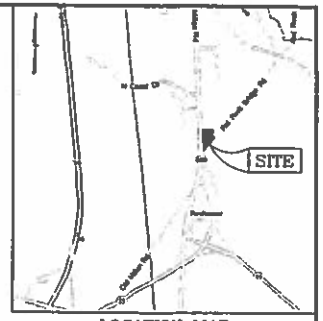
Along the northerly sideline of said Flat Rock Bridge Road S37°18'48"W three hundred four and one hundredth (304.01) feet to an iron pin to be set at the intersection with the easterly sideline of said Milton Road, thence;

Along the easterly sideline of said Milton Road N02°33'01"W one hundred ninety and three hundredths (190.03) feet to the point of beginning.

Said tract or parcel of land contains 18,425 square feet or 0.423 acres more or less.

I certify that the metes & bounds description is the same land as described in the title commitment and in book 1751 page 708.





LOCATION MAP

(NOT TO SCALE)

NOTES:

1) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.

2) ELEVATIONS SHOWN HEREON ARE ON NAVD 1988. CURB ELEVATIONS SHOWN ARE AT THE "TOE" OF CURB. CURBS ARE 0.50'± HIGH.

3) THE SURVEY TRACTS ARE LOCATED WITHIN FLOOD ZONE "X" AS TAKEN FROM THE FLOOD INSURANCE RATE MAP FOR STRAFFORD COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) PANEL 203 OF 425, MAP NUMBER 33017C0203D; EFFECTIVE DATE: MAY 17, 2005.

4) FOR MAP 210 LOT 55, REFER TO: FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER NCS-656040-HOU1, EFFECTIVE DATE: MARCH 18, 2014.
FOR MAP 210 LOT 56, REFER TO: FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER NCS-658798-HOU1, EFFECTIVE DATE: MARCH 14, 2014.

5) NONE OF THE SURVEY TRACTS LIE WITHIN THE BOUNDS OF ANY ADJACENT STREETS, ROADS OR WAYS.

PLAN REFERENCES:

1) SUBDIVISION OF LAND, ROCHESTER, NH FOR: ERVIN & JOSEPH FAZEKAS; SCALE: 1"=40'; DATE: AUGUST 24, 1984 BY JOHN W. DURGIN ASSOCIATES, INC. STRAFFORD COUNTY REGISTRY OF DEEDS PLAN #24A-106.

2) SEPTIC SYSTEM DESIGN, REPLACEMENT SYSTEM ROCHESTER 87 MILTON ROAD (RTE. 125 CUMBERLAND FARMS); SCALE: 1"=20'; DATE: APPROVED 8/28/08 BY HIGHLAND SOIL SERVICES.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 1 – 3, 7(a), 7(b1), 8, 9, 10, 11(b), 12, 13 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 18, 2014.

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON FEBRUARY 8 & 22, 2012 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

7/8/14

CHRISTOPHER FRANCHER, NH LLS #734
DATE OF PLAT OR MAP: JULY 8, 2014

STATE OF NEW HAMPSHIRE
CHRISTOPHER J. FRANCHER
734
LICENSED
LAND SURVEYOR

NO.	DESCRIPTION	BY	DATE

REVISIONS

LEGEND

- UTILITY POLE
- SEPTIC MANHOLE
- CATCH BASIN
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- SPOT ELEVATION
- CONTOUR ELEVATION
- BITUMINOUS CONCRETE LIP CURBING
- EDGE OF PAVEMENT
- SINGLE SOLID LINE YELLOW
- SINGLE SOLID LINE WHITE
- SIGN
- TREELINE
- OVERHEAD SERVICE WIRES
- GENERATOR HOLD
- CHAINLINK FENCE
- (8) TITLE COMMITMENT EXCEPTION 8

SCHEDULE B-2 EXCEPTIONS

MAP 210 LOT 55:
NONE SURVEY RELATED

MAP 210 LOT 56:
(8) SUBJECT TO AN EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE IN BOOK 674 PAGE 64 TO INCLUDE TWO POLES, TWO GUYS AND TWO ANCHORS. THERE IS CURRENTLY ONLY ONE POLE LOCATED ON THE SURVEY TRACT (#319-241) AND APPEARS NOT TO BE IN USE FOR SERVICE FROM THE POLE ON FLAT ROCK BRIDGE ROAD, SHOWN HEREON.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

OWNERS OF RECORD:

MAP 210 LOT 55	MAP 210 LOT 56
CUMBERLAND FARMS INC.	PAUL J. HAVELSIS
100 CROSSING BOULEVARD	P.O. BOX 2075
FRAMINGHAM, MA 01702	ROCHESTER, NH 03866
BOOK 987 PAGE 464	BOOK 1751 PAGE 708

ALTA/ACSM LAND TITLE SURVEY

ASSESSORS MAP 210 LOTS 55 & 56
79 MILTON ROAD & 2 FLAT ROCK BRIDGE ROAD
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
CUMBERLAND FARMS GROUP
100 CROSSING BOULEVARD
FRAMINGHAM, MASSACHUSETTS 01702

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS

SCALE: 1"= 20'	DATE: JULY 8, 2014	SHEET SIZE 24x36x1/2
DRAWN BY: JJW	CHECKED BY: CJF	PROJECT NO. 344313
SHEET NO. CFG02.0		

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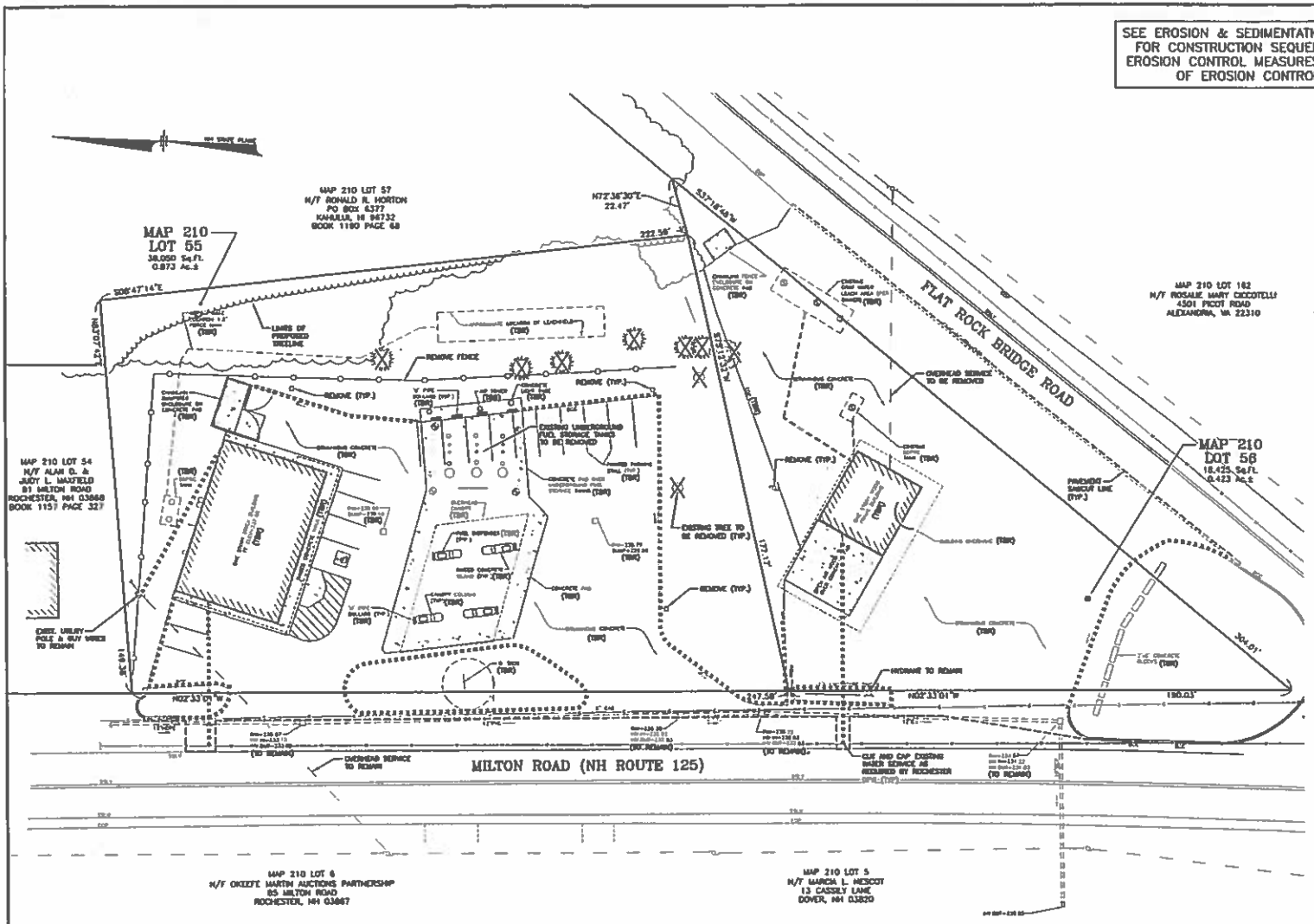
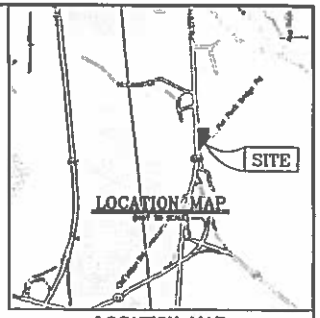
SEE EROSION & SEDIMENTATION CONTROL PLAN FOR CONSTRUCTION SEQUENCE, TEMPORARY EROSION CONTROL MEASURES, AND LOCATION OF EROSION CONTROL DEVICES.





NOTES:

1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE CITY OF ROCHESTER PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
4) DEMOLISH CONCRETE IN ALL SECTIONS.
5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO MINIMIZE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
9) USE MATERIAL, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
11) COMPLETELY FILL BELOW GRADE AREAS AND WORK RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, LANDWORK ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, UNMANAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SUBSTANCES. REMOVED MATERIALS MAY NOT BE BURNED, SOLD OR BURIED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
13) DISCONNECT, SEAL OFF AND SEAL ALL UTILITIES BEYOND THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR PROTECTION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED DISCONNECTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE COORDINATION OF SERVICE.
14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE NEXT SHEETS FOR EROSION CONTROL DEVICES.
15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO CITY OF ROCHESTER AND NHDOT STANDARDS.
16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

LEGEND

UTILITY POLE	OVERHEAD SERVICE WIRES
DRAIN MANHOLE	DOUBLE SOLID YELLOW LINE
SEWER MANHOLE	SINGLE SOLID WHITE LINE
TELEPHONE MANHOLE	SIGN
CATCH BASIN	OBSERVATION WELL
WATER LINE	TREELINE
WATER VALVE	CONTOUR ELEVATION
FIRE HYDRANT	GAS LINE
GAS VALVE	(TBR) TO BE REMOVED
	TO BE REMOVED

DIG SAFE
DIG SAFE
1-888-344-7233
72 HOURS PRIOR TO DIGGING
NH 1-888-DIG-SAFE
ME 1-800-452-4672
VT 1-800-551-1105

OWNERS OF RECORD:

MAP 210 LOT 55
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 897 PAGE 484

MAP 210 LOT 56
PAUL J. MAVELSKI
P.O. BOX 2075
ROCHESTER, NH 03868
BOOK 1781 PAGE 708

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE
DAVID R. ZUPKOS
No. 7779
LICENSED
PROFESSIONAL ENGINEER
7/14/14

REVISIONS			
NO	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

MHF Design Consultants, Inc.
44 Silver Road, Suite One
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ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland Farms
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 344339P.dwg
DRAWN BY: CCC
CHECKED BY: CMT

DEMOLITION PLAN

CFG03.0

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LEGEND

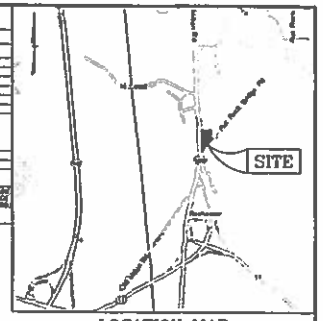
IRON PIN FOUND	BIKELANE	SIGN
CONCRETE BOUND FOUND	UTILITY POLE	BENCHMARK HOLE
RAILROAD SPIKE FOUND	DRAIN MANHOLE	TEST PIT
DRILL HOLE FOUND	SEWER MANHOLE	TEST BORING
VERTICAL GRANITE CURB	TELEPHONE MANHOLE	PERCOLATION TEST
SLOPED GRANITE CURB	CATCH BASIN	LIGHT POLE
BITUMINOUS CONCRETE LIP CURBING	WATER LINE	UNDERGROUND ELECTRIC AND TELEPHONE
BITUMINOUS CONCRETE BERM	WATER VALVE	WETLAND LINE
CONCRETE BERMS/ WALKS	FIRE HYDRANT	SPOT ELEVATION
DOUBLE SOLID YELLOW LINE	GAS VALVE	CONTOUR ELEVATION
SINGLE SOLID WHITE LINE	GAS LINE	
BROKEN WHITE LINE	UNDERGROUND TELEPHONE LINE	

TABLE OF ZONING REGULATIONS – ROCHESTER, NH

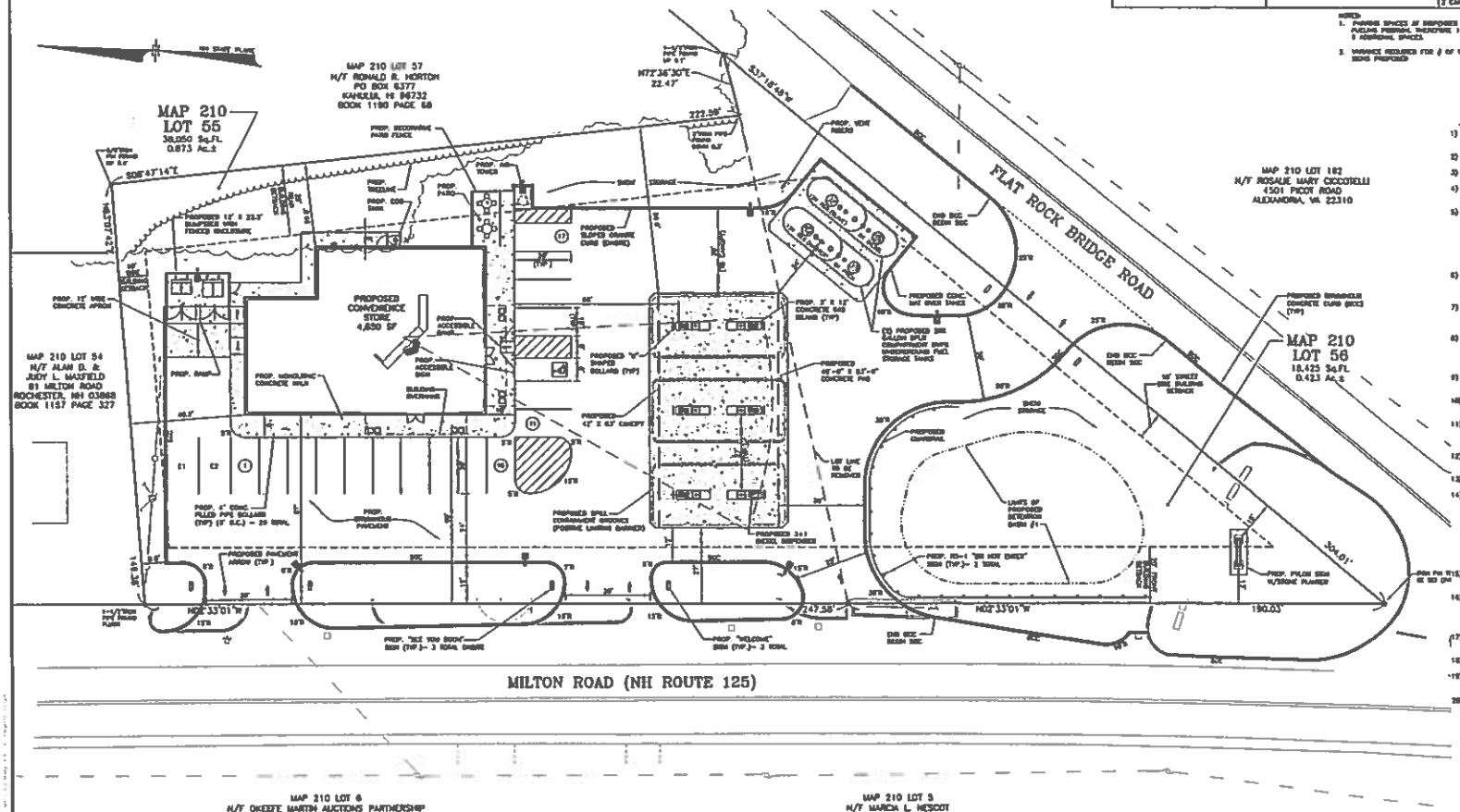
ZONE: HIGHWAY COMMERCIAL

DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA (Sq.Ft.)	43,560 SF	56,475 SF
MINIMUM LOT FRONTAGE	200'	332.84'
MINIMUM FRONT YARD BUILDING SETBACK	30'	56.6' (Building) 37.8' (Canopy)
MINIMUM SIDE YARD BUILDING SETBACK	15'	25.7' (Building)
MINIMUM REAR YARD BUILDING SETBACK	30'	26.8' (Building) 24.5' (Canopy)
MAXIMUM BUILDING COVERAGE	25%	12.9%
MINIMUM NUMBER PARKING SPACES	CONVENIENCE STORE: 1 SPACE/200 SF GFA = 4,030 SF ÷ 1 SP./200 SF = 20 SP. REQ.	25 SPACES (INCLUDING 2 EMPLOYEE & 6 SPACES AT DISPENSER ISLANDS)
MAXIMUM BUILDING HEIGHT	3 STORIES	1½
MAXIMUM SIGN SQUARE	50 SF	33.5 SF (Wall)
FREESTANDING SIGN AREA/HEIGHT/SETBACK	1 POLE SIGN, 100 SF MAX (TWO FACES), 40' HEIGHT, 20' MAX HEIGHT	24.5 SF, 40 SQ. FT. OF AREA, 17.5'Height
WALL SIGN AREA	1 SF PER LINEAR FOOT OF BUILDING FRONTAGE (84.5' FACING MILTON ROAD=434.5 SF ALLOWED)	1 SIGN PROPOSED FOR EACH FACING (37.5 SF FACING ROUTE 125 SIGN SHOWN ABOVE & 27.5 SF FACING MILTON RD) 2 CANOPY SIGNS @ 11SF/SIGN

NOTES:
1. PARKING SPACES AT DISPENSER ALLOW 1/2 SPACE PER FUELING POSITION, THEREFORE 12 DISPENSERS ALLOW FOR 6 ADDITIONAL SPACES.
2. VARIANCE REQUIRED FOR # OF WALL SIGNS & CANOPY SIGNS PROPOSED



LOCATION MAP
(NOT TO SCALE)



NOTES:

1) THE BOUNDARY INFORMATION SHOWN HEREON FOR MAP 210 LOTS 55 & 56 IS THE RESULT OF A STANDARD BOUNDARY SURVEY BY THIS OFFICE.
2) ASSESSORS MAP 210 LOTS 55 & 56
3) ZONING DISTRICT: HIGHWAY COMMERCIAL
4) LOT AREA = 56,475 Sq.Ft. = 1.296 Ac.±
5) EXISTING USE: LOT 55 IS CURRENTLY OCCUPIED BY A CUMBERLAND FARMS RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 2,481 SF CONVENIENCE STORE AND A FUEL DISPENSING AREA WITH 6 DISPENSERS (12 FUELING POSITIONS) AND AN OVERHEAD CANOPY & LOT 56 IS CURRENTLY OCCUPIED BY MARTINS FAMILY RESTAURANT.
   PROPOSED USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 4,030 SF CONVENIENCE STORE AND A FUEL DISPENSING AREA WITH 6 DISPENSERS (12 FUELING POSITIONS) AND AN OVERHEAD CANOPY.
6) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY 26, 1991, REVISED JULY 23, 2004.
7) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT GUARANTEED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
8) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL NOT ENLARGE WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
9) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
10) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER AND THE STATE OF NEW HAMPSHIRE.
11) THE SURVEY WHICH IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN FROM THE FLOOD INSURANCE RATE MAP FOR STRAFFORD COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) PANEL 303 OF 455, MAP NUMBER 33017C0303D, EFFECTIVE DATE: MAY 17, 2005.
12) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY CUMBERLAND FARMS.
13) A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
14) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
15) ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
16) ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
17) ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE UNSIGHTLY STORED ON PROPERTY.
18) NRCS SOILS DESIGNATION FOR STRAFFORD COUNTY: Hub—HINCKLEY LOAMY SAND.
19) EXISTING IMPERVIOUS COVERAGE: 33,196 SF (58.7%). PROPOSED IMPERVIOUS COVERAGE: 33,836 SF (60.0%).
20) FOR MORE INFORMATION ABOUT THIS SITE PLAN CONTACT FRANK C. HOMERO, MHF DESIGN CONSULTANTS, INC.

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

DIG SAFE

OWNERS OF RECORD:

MAP 210 LOT 55
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 597 PAGE 464

MAP 210 LOT 56
PAUL J. MAYELSKI
P.O. BOX 2075
ROCHESTER, NH 03866
BOOK 1751 PAGE 708

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE — FRANK C. HOMERO No. 7770

REVISIONS			
NO	DATE	REV. BY	DESCRIPTION

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79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SITE PLAN

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 344SP.dwg
DRAWN BY: CCE
CHECKED BY: CMT

CFG04.0

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LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BituMINOUS CONCRETE UP CURBING
- BituMINOUS CONCRETE BERM
- OVERHEAD SERVICE WIRES
- SOLID YELLOW LINE
- SOLID WHITE LINE
- BROKEN WHITE LINE
- BORE
- OBSERVATION WELL
- TEST PIT
- TEST BORING
- PERCOLATION TEST
- BUILDING
- UTILITY POLE
- GUYS ANCHOR
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- LIGHT POLE
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- WETLAND LINE
- SPOT ELEVATION
- CONTOUR ELEVATION

NH STATE PLANE

DRAINAGE STRUCTURES

CB-1
Rim=135.75
INV.IN=133.25

CB-2
Rim=136.35
INV.IN=132.60(SOUTH)
INV.IN=133.50(WEST)
INV.OUT=132.50

CB-3
Rim=136.40
INV.IN=133.00(NW)
INV.OUT=133.40

CB-4
Rim=136.30
INV.OUT=132.60

OCS-1
OUTLET CONTROL STRUCTURE (# OCS-1)
Rim=135.00
INV.IN=130.50
INV.OUT=129.50
(SEE DETAIL SHEET)

TRENCH DRAIN (# TD-1)
Rim=135.50-135.40
INV.OUT=131.50

FD-1
INV.=134.95

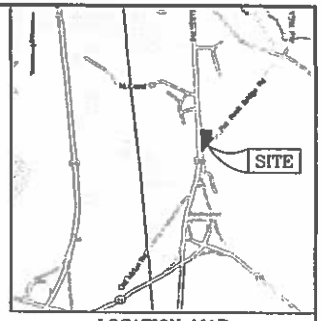
(FD)-STRUCTURE FOR
LOW PROFILE FRAME, GRATE & TOP SLAB

Rim=1
Rim=135.40
INV.IN=132.04(NW)
INV.IN=132.31
INV.OUT=132.31

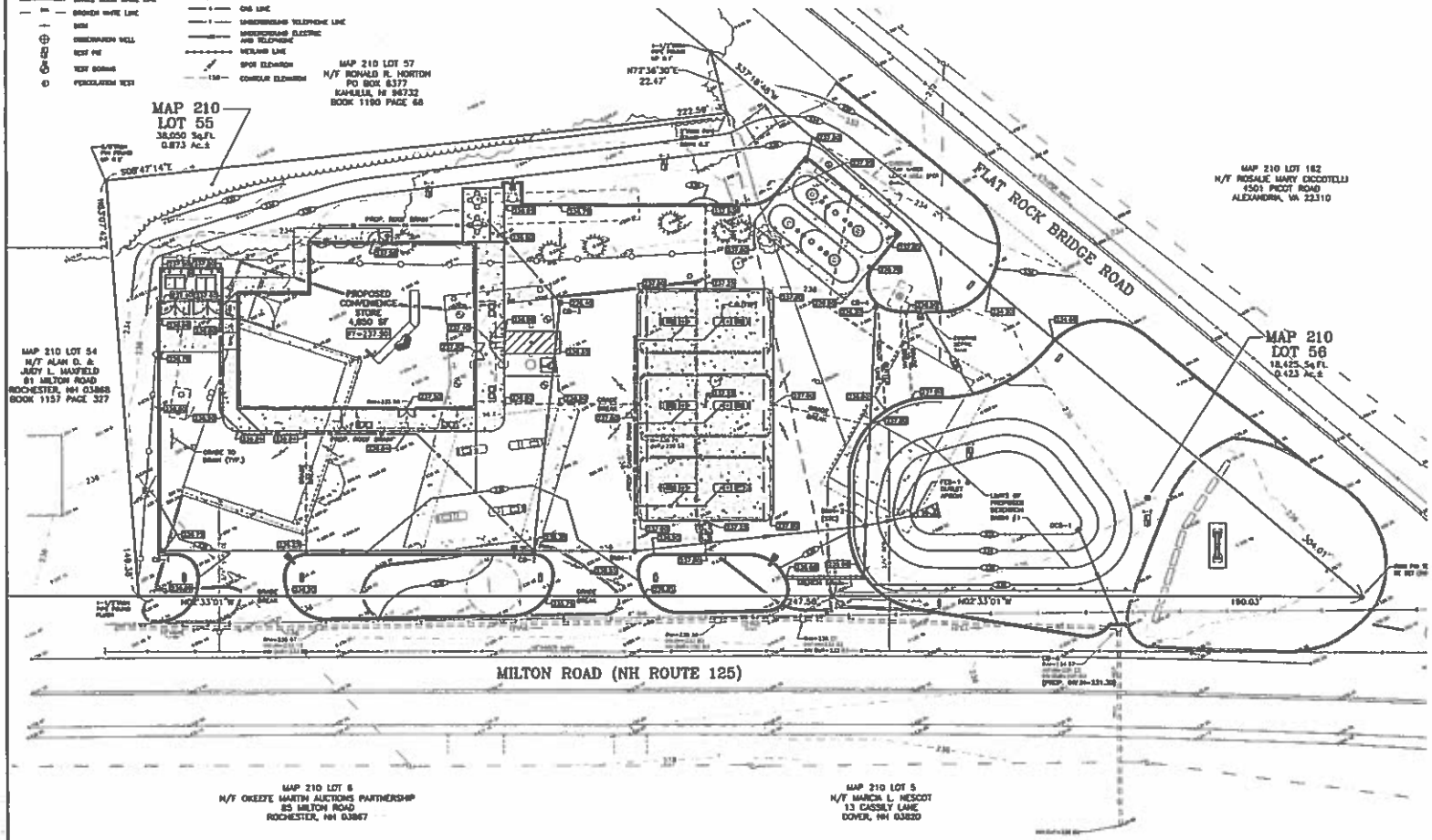
Rim=2 (FD)
Rim=136.30
INV.'B' Rim=136.00
INV.OUT=129.65

DRAINAGE PIPE SCHEDULE

FROM: STRUCTURE NUMBER	PIPE SIZE (inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	SLOPE OF PIPE (ft./ft.)	TO: STRUCTURE NUMBER
CB-1	12	HDPE	120	0.005	CB-2
CB-2	12	HDPE	12	0.010	CB-3
CB-3	12	HDPE	37	0.010	Rim=1
Rim=1	12	HDPE	12	0.010	Rim=2
CB-4	12	HDPE	79	0.012	Rim=1
Rim=1	12	HDPE	14	0.01	Rim=2
Rim=2	12	HDPE	14	0.010	FD-1
OCS-1	12	HDPE	24	0.005	FD, CB-2



LOCATION MAP
(not to scale)



NOTES:

1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, SOIL-TIGHT, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLANS.
2) ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35).
3) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
4) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
5) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE ENGINEER PRIOR TO INSTALLATION.
6) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST GRADE (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INVERTS POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL SPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
8) THE CONTRACTOR SHALL CALL DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
9) THIS SITE WILL NOT REQUIRE A UNIQUE NPDES POINT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE DOES NOT EXCEED ONE ACRE (ACTUAL DISTURBANCE = 24,000 SF).
10) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MAINE AND ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
11) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE, RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND ADA PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
12) SEE UTILITIES PLAN FOR DETAILED UTILITY LAYOUT.
13) CONTRACTOR IS TO FIELD ADJUST GRADES FOR THE TIRE PAD TO SHED WATER.
14) CONTRACTOR TO REFER TO THE INSPECTION & MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT SYSTEMS DURING AND AFTER CONSTRUCTION.
15) CHERRY CATCH BASINS SHALL HAVE 4" DEEP SUMPS AND HOODED OUTLETS.

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

DIG SAFE
DIG SAFE
1-888-344-7233
(1-888-DIG-SAFE)
NH 1-888-344-7233
ME 1-888-722-7233
VT 1-888-772-7233

OWNERS OF RECORD:

MAP 210 LOT 55
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 897 PAGE 464

MAP 210 LOT 56
PAUL J. MAYELSKI
P.O. BOX 8075
ROCHESTER, NH 03868
BOOK 1151 PAGE 708

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

STATE OF NEW HAMPSHIRE
DAVID H. JORDAN
No. 7771
LICENSED
PROFESSIONAL ENGINEER
7/18/14

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

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SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 344339.dwg
DRAWN BY: CDC
CHECKED BY: CMT

GRADING & DRAINAGE PLAN
CFG05.0

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MHF PROJECT NO. 344313 SHEET 5 OF 14

TEMPORARY EROSION CONTROL MEASURES:

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. ANY SILT BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED DURING AND THAT ARE TO BE MAINTAINED AND CLEANED UNTIL ALL DISPOSED WASTE IS HEALTHY STAND OF GRASS.
3. DUST ANY AREA SHALL BE WATERED OR ACCEPTABLE MEASURES GIVEN, FREE FROM GRASSES WITH NO WHEEL DRIVE, AND SHALL BE DRY NO SILT NOT SHALL BE USED.
4. ALL MATERIAL SHALL BE FREE FROM STRAPS, WIRES, ROPES, ETC.
5. STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. BALE BARRIERS SHALL SURROUND ALL MATERIAL AND BEEN PLACED ON EXPOSED DRY SOIL.
6. ALL DISTURBED AREAS SHALL BE GRADED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
8. STREET SURFACES SHALL BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN GRATES WILL BE PROTECTED WITH SILT SACKS DURING CONSTRUCTION.
10. ALL EROSION CONTROL DEVICES WILL BE INSPECTED AND CLEANED AS REQUIRED, BEFORE THE BEGINNING OF EACH OPERATIONAL DAY.
11. ALL DEWATERING OPERATIONS SHALL BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA.
12. ANY SURFACE OR SUBSURFACE DRAINAGE SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

CONSTRUCTION SEQUENCE NOTES:

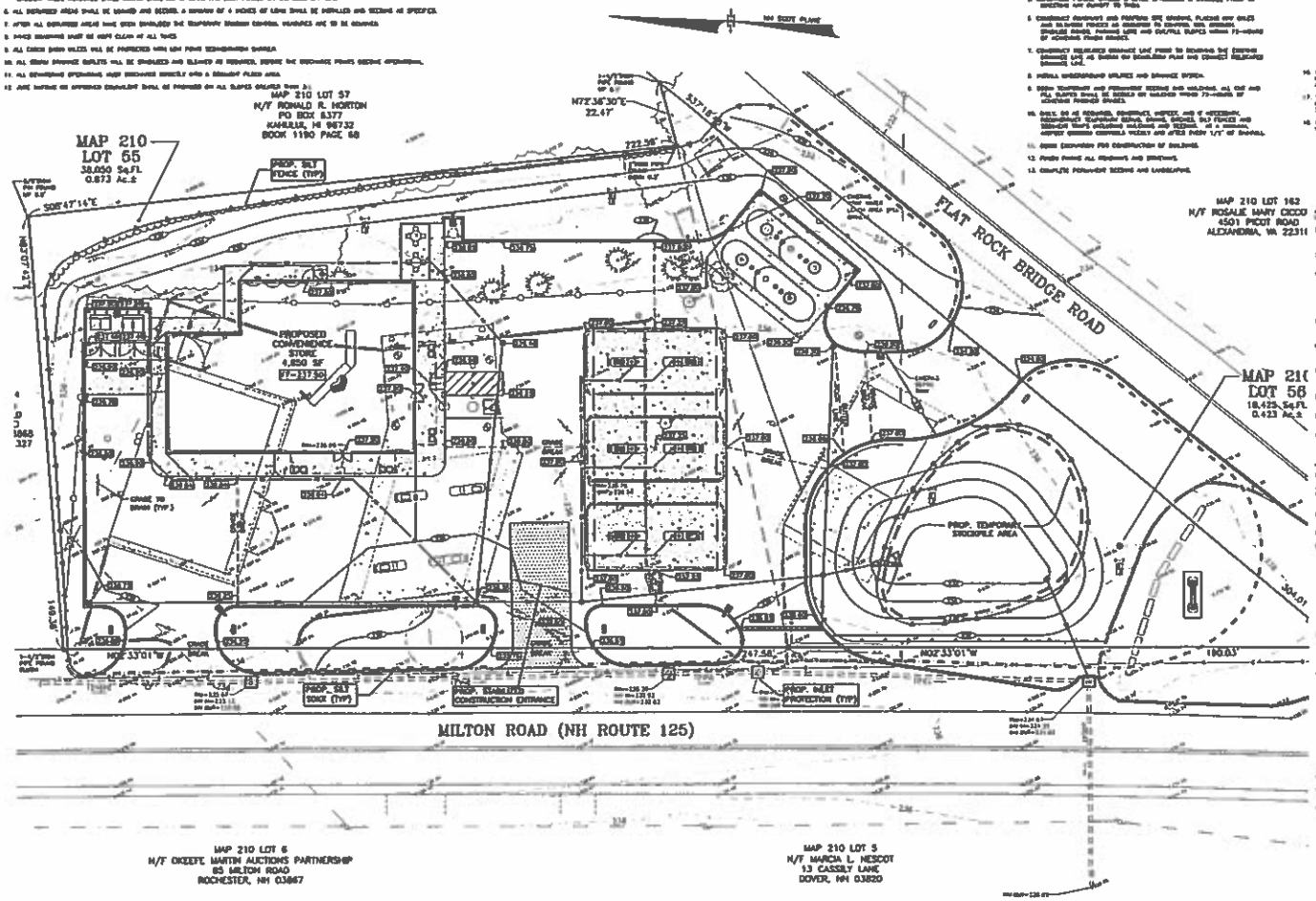
1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AS PLACED, ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEM AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE SHEET.
3. CUT AND STRIP AREA OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
5. CONSTRUCT FOUNDATION, INSTALL A LEVEL EXPLANATION A STABILIZE FROM TO BUILDING AND PLACE TOPSOIL.
6. CONSTRUCT DRIVEWAYS AND PARKING SITE GRADING, PLACING ANY GRADE AND BUILDING FOUNDATION AS DESIGNED TO CONTROL SOIL EROSION, STABILIZE STOCKPILE PARKING LOTS AND DISTURB SLOPES WITHIN 72-HOURS OF ACHIEVING FINAL GRADES.
7. CONSTRUCT REQUIRED DRAINAGE LINE FROM TO REMOVING THE EXISTING DRAINAGE LINE AS SHOWN ON DEMOLITION PLAN AND CONNECT REQUIRED DRAINAGE LINE.
8. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
9. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINAL GRADES.
10. DAILY, AS AS REQUIRED, PERIMETER, INSPECT AND IF NECESSARY, REPAIR/REPLACE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING AS A MINIMUM, INSPECT DRAINAGE CHANNELS WEEKLY AND AFTER EACH 1/2" OF RAINFALL.
11. BEGIN CONSTRUCTION FOR CONSTRUCTION OF BUILDINGS.
12. FINISH PAVING ALL ROADWAYS AND STRUCTURES.
13. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
14. AFTER GRADE AND SEED HAVE BEEN ESTABLISHED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
15. APPLICATION OF GRASS SEED, FERTILIZER AND MULCH SHALL BE ACCOMPLISHED BY QUALIFIED PERSONS IN ACCORDANCE WITH THE DATA SHEETS BELOW:

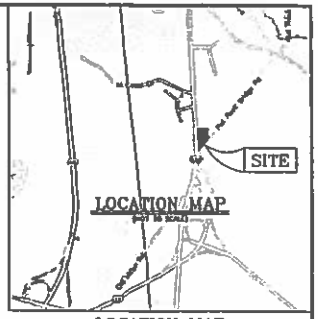
   Limestone: 120 lbs./1,000 sq.ft.
   Fertilizer: 12.0 lbs./1,000 sq.ft.
   (Use this mixture approximately 3 lbs/1,000 sq.ft. [illegible] fertilizer mixture of sand)

   Preferred Seed Mix
   Kentucky Blue Grass 50-75%
   Red Fescue 25-50%
   Perennial Rye 10-20%
   TOTAL 100%

   Substitution Seed Mix
   Winter Rye Grass 10-Sept. 15
   Rye Grass 15-Sept. 15
   Oats 15-Sept. 15
   Barley 15-Sept. 15

16. NEWLY SEEDED AREAS REQUIRED SLIGHT PROTECTION BY USE OF MULCHING. SEEDING MULCH SHALL BEGINNING WITHIN 48 HOURS OF THE ACCOMPLISHMENT OF THE WORK THAN 1 BALE PER ACRE.
17. THE CONTRACTOR AND EMPLOYEES MUST ENSURE THE PROJECT TO MEET THE REQUIREMENTS AND ASPECT OF THE 43B(3) AND ARE BEING RELEASED BY CHANGE ORDERS.
18. PROPER DUST MUST BE CONTROLLED IN ACCORDANCE WITH SECTION 1000.





LOCATION MAP
(NOT TO SCALE)

EROSION CONTROL NOTES:

1. THE GRADING CONTROL PERMANENT SOIL COVERED ON THE AS CONSTRUCTED PLANS, VOLUME 2, EROSION & SEDIMENT CONTROL CONSTRUCTION GUIDELINES DATED
2. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSED AREA SHALL BE KEPT TO THE SMALLEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE OWNER. LAND SHALL NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
3. LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA SHALL BE KEPT ACTUALLY WORKED DURING WINTER IS TO BE LESS THAN 2 ACRES DURING THE WINTER SEASON.
4. ALL PERMANENT EROSION CONTROL STRUCTURES SHALL BE STABILIZED PRIOR TO DIVERTING FLOW AND THEN ALL AREA SHALL BE COMPLETED SHALL 2 DAYS OF THE FOLLOWING AND DOCUMENTED.
   a) THE COVERS SHALL HAVE BEEN INSTALLED IN AREAS TO BE PAVED
   b) A MINIMUM OF 80 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
   c) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
   d) THE EROSION CONTROL ELEMENTS HAVE BEEN PROPERLY INSTALLED.
5. SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM AND DURING DEVELOPMENT. THESE FENCES, IN A MANNER OF A SILT FENCE SHALL BE INSTALLED AND SHALL BE INSTALLED ALL SLOPES FROM A HEIGHT OF GRADE.
6. ALL STOCKPILES AND CUT AND FILL SLOPES WHICH ARE PROPOSED DURING, WITH THE PURPOSE CONSTRUCTION TO TAKE PLACE, SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4 1/2" OF LOAM SHALL BE INSTALLED WITH AND LESS THAN ONE FOOT OF GRADE FOR SEEDING PURPOSES OF AREA THE SEEDED AND SHALL BE AS A DESIGNATED BELOW.
7. DURING GRADING OPERATIONS WHERE THAT ARE TO BE LEFT TEMPORARILY, AND SHOULD WILL BE DISTURBED LATER DURING CONSTRUCTION SHALL BE MULCHED AND SEEDED WITH THE GRADE TO PREVENT EROSION. THE MINIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS, AND THE EROSION GRADE SHALL BE APPLIED TO ALL PROPERLY SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE. MULCH SHALL BE MAINTAINED, AND GRADES, AND FREE FROM WEEDS, SEEDING AND AND ORGANIC MATERIAL.
8. DURING GRADING OPERATIONS WHERE THAT SOIL DISTURBED ALONG SIDE OF SLOPE OF FILL AREAS WHERE DURING DISTURBED ARE TO BE MAINTAINED DURING, DISTURBED AREAS ARE PROPER ON GRADES.
9. THE FILL MATERIAL SHALL BE OF APPROVED SOIL THAT FREE FROM STRAPS, WIRES, ROPES, ETC. TO BE PLACED IN 12" LAYER AS AS SPECIFIED BULDOZERS, TRACKS, TRACTORS, OR SIMILARLY AND ARE USED FOR COMPACTION OF EQUIPMENT THE EQUIPMENT TO ALL AREAS OF THE FILL SHALL BE COMPACTED.
10. AREAS THE USE OF PERMANENT OPEN SPACES ALONG A WORK WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL NOT BE DAMAGED OF PERMANENT GRADES.

WINTER STABILIZATION NOTES:

MAINTENANCE REQUIREMENTS:

INSPECTIONS: INSPECTIONS SHALL BEGINNING AS DURING CONSTRUCTION CONTRACTORS, INCLUDING THE SUBCONTRACTORS DURING AFTER EACH RAINFALL, SNOWMELT, OR PERIOD OF RAINFALL AND PERIODICALLY. THE INSPECTIONS SHALL CONSIST OF THE INSPECTION OF ALL DISTURBED GRADED AREAS, STOCKPILES, AND DEWATERING DEVICES AS NOTED IN THE WORK PLAN DURING CONSTRUCTION.

THE AREAS AND AREA ENCLOSED BY TEMPORARY OR PERMANENT SEDIMENT TRAPS TO THE SHEET OF THE GRADED SLOPES, THE CONTRACTOR SHALL CONDUCT AN INSPECTION IN THE OPTION TO DETERMINE THE CONDITION OF VEGETATIONS GRADES, AND REPAIR ANY DRAINAGE AREAS OR GRADE SPOTS AND NOTED AS REQUIRED TO ADJUST AN ESTABLISHED VEGETATIONS GRADES OR SPECIFICATIONS.

TO MAINTAINED PROPERLY GRADED QUALITY DURING COLD WEATHER AND DURING SPRING TIMELY, THE FOLLOWING PRECAUTIONARY MEASURES SHOULD BE EXPLORED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.

1. THE AREA OF EXPOSED, UNDISTURBED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THE SECTION PRIOR TO THAT DAY OR DURING WILL DURING, SUBJECT TO APPLICABLE REGULATIONS. THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVELY AND CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER ACCORDING TO PRACTICES TO THE STATE OF NEW HAMPSHIRE BY A CERTIFIED PROFESSIONAL, A ENGINEER AND SEDIMENT CONTROL, AS DEFINED BY THE CERTIFIED COUNCIL OF ENGINEERS PROFESSIONAL, ETC.
2. DEVELOPMENT OF PERMANENT SEEDING SHOULD BE COMPLETED WITHIN 3 DAY OF TERMINATING THE GRADE THAT IS FINAL OR THAT DEVELOPED WILL START FOR WORK THAN 3 DAYS.
3. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% SHALL BE SEED AND MULCHED. A MINIMUM OF 4 INCHES VEGETATED GROWTH OF DESIRED TYPE, OR WHICH ARE DEVELOPED AFTER DECEMBER 15TH, SHALL BE SEEDED AND MULCHED WITH 2 TO 3 BALE OF HAY OR STRAW WHICH HAS BEEN SEEDED WITH ANCHORED MATERIAL, OR 2 INCHES OF GRADED COVERED, AND SEED DESCRIPTION OF GRADING GRADING, AND SEEDING FOR WINTERING, DEVELOPMENT.
4. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% SHALL BE AND COVERED A MINIMUM OF 4 INCH VEGETATED GROWTH OF DESIRED TYPE, OR WHICH ARE DEVELOPED AFTER DECEMBER 15TH, SHALL BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED GRADING STRAW, BLANKET OR TYPE A EXPANDED 2 INCH THICKNESS OF GRADING COVERED, AS, WHICH GRADING DEVELOPED OR THE CONSTRUCTION, NOTE THAT DEVELOPED PLACEMENT SHALL NOT EXCEED 2 INCHES OF THICKNESS OR THAT ARE DEVELOPED.
5. ALL STONE-LINED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
6. INSTALLATION OF ANCHORED ARE WHICH ON GRADING CONTROL, AND SHOULD ARE DEVELOPED SHOULD BE DONE ON DEPTH.
7. ALL BALED STRAW GRADING STRAW SHOULD BE ANCHORED BY, OR METAL, TRACKING, WOOD, PROPER PEGS.
8. INSTALLATION OF SOIL MATERIALS SHOULD BE INSTALLED PRIOR THAT STRAW PROPER PROPER AND ARE STRAW AT THICK THE GRADING AREA OR WITH A PROPERLY LAYER OF GRADING GRADING, AND SHOULD SHOULD BE PLACED STRAW GRADING WITH MULCHING WITHIN AND PLACE PRIOR AND INSTALLING ON GRADE WHICH PERMANENT AREA.
9. PROPER MATERIALS, SEED, PROPER LAYER THAT IS GRADING STRAW, TRACKS CONSTRUCTION, SHOULD BE DISCHARGED DIRECTLY AND IN A MANNER THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. DISCHARGES OF PROPER GRADING, CAN FALL IN THE GRADING AND DEVELOPED STOCKPILE, AND DISCHARGE TO DRAINAGE AREA OR THE TOPS.
10. INSTALLATION OF GRADING CHANNEL, BLANKETS SHOULD NOT OCCUR OVER STRAW OF GRADED THAN ONE INCH OR DEPTH ON ON PROPER GRADING.
11. ALL STONE-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES AND GRADED SHOULD BE AND EXCEED A MINIMUM OF ONE HUNDRED LENGTH BY OCTOBER 15TH, OR WHICH ARE DEVELOPED AFTER DECEMBER 15TH, SHOULD BE STABILIZED IMMEDIATELY WITH STRAW OR GRADING CHANNEL BLANKETS, APPROPRIATE FOR THE DESIGN FLOW CHANNELS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN GRADING AND SEDIMENT CONTROL, AS DEFINED IN THE CERTIFIED COUNCIL OF ENGINEERS PROFESSIONAL, INC. P.E. STRAW BASED TO RECEIVING, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STRAW.
12. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
13. AFTER DECEMBER 15, INCORPORATE SEED ON PERMANENT SURFACES. WHERE PERMANENT AND STARTED FROM THE WINTER SEASON, SHALL BE PROVIDED WITH A MINIMUM OF 2 INCHES OF GRADED COVER, PER SHEET SEED 304.3.
14. STRAW-BALE BARRIERS THAT ARE INSTALLED DURING PROPER GRADING, SHOULD CONSIST OF EROSION CONTROL, AND SERVE, ON CONTINUOUS DEPRESSED SEAM. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN PROPER GRADING PROVIDE PROPER ENCLOSURE OF THESE DAMAGES.

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

LEGEND

	IRON PIN FOUND		BASELINE		SIGN
	CONCRETE BOUND FOUND		UTILITY POLE		LIGHT POLE
	BUILDING SPIKE FOUND		DRAIN MANHOLE		HYDRANGEON WELL
	DRILL HOLE FOUND		SEWER MANHOLE		TEST PIT
	VERTICAL GRANITE CURB		TELEPHONE MANHOLE		TEST BORING
	SLOPED GRANITE CURB		CATCH BASIN		PERCOLATION TEST
	DEPRESSED CONCRETE LIP CURBING		WATER LINE		UNDERGROUND ELECTRIC AND TELEPHONE
	DEPRESSED CONCRETE BERM		WATER VALVE		WETLAND LINE
	SHEDDING SERVICE WIRES		FIRE HYDRANT		SPOT ELEVATION
	DOUBLE SOLID YELLOW LINE		GAS VALVE		CONTOUR ELEVATION
	SINGLE SOLID WHITE LINE		GAS LINE		
	BROKEN WHITE LINE		UNDERGROUND TELEPHONE LINE		

OWNERS OF RECORD:

MAP 210 LOT 54
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 897 PAGE 464

MAP 210 LOT 58
PAUL J. MAYELSKI
P.O. BOX 2076
ROCHESTER, NH 03866
BOOK 1751 PAGE 708

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE — DAVID G. JOHNSON No. 9770 — LICENSED — 7/11/14

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-6720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 34433P.dwg
DRAWN BY: CCC
CHECKED BY: CMT

EROSION & SEDIMENTATION CONTROL PLAN
CFG06.0

MHF PROJECT NO. 34313 SHEET 8 OF 14

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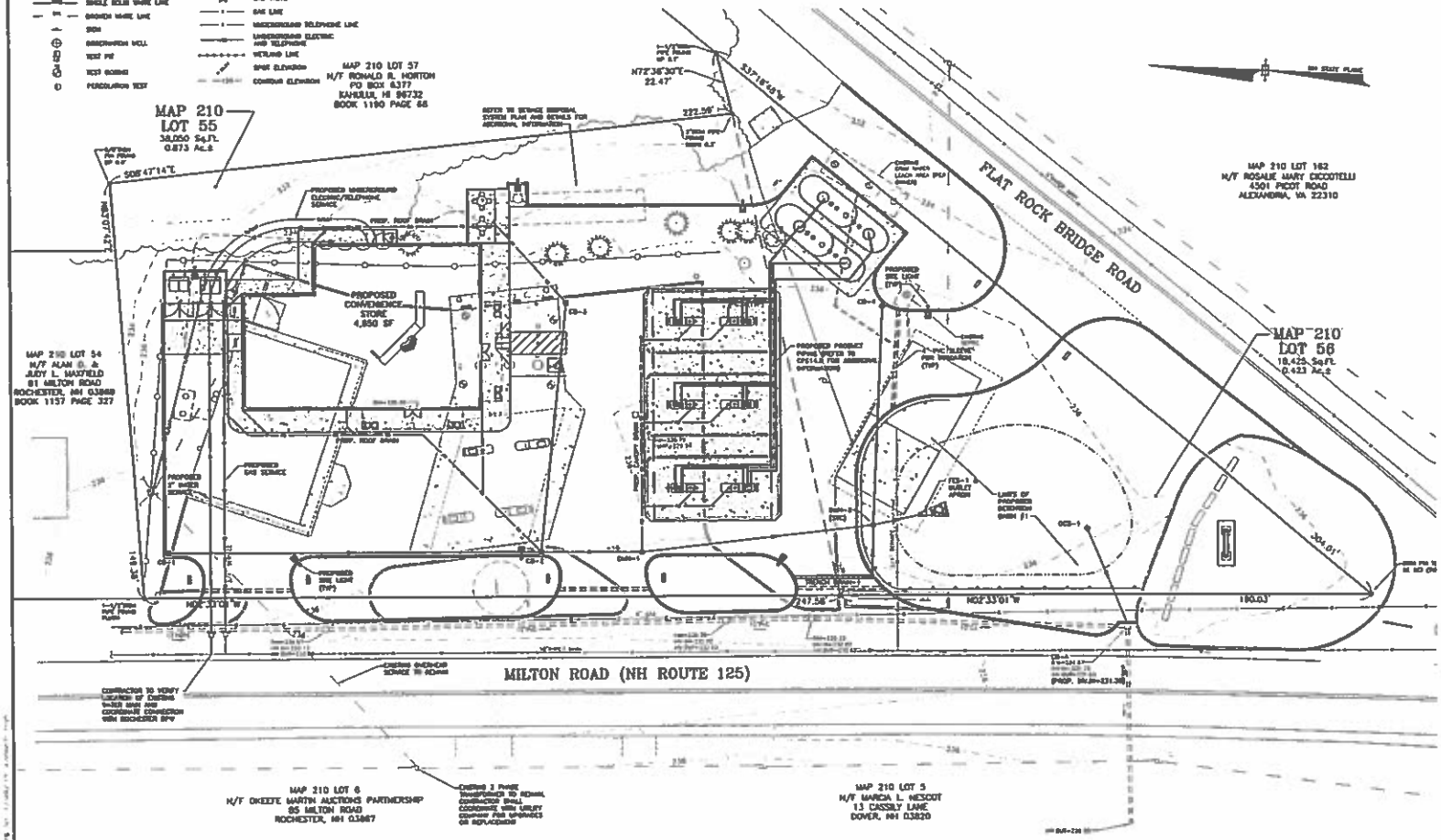
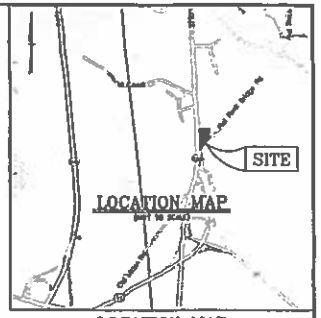
LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- MAGNAIL SPIKE FOUND
- DRILL HOLE FOUND
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BITUMINOUS CONCRETE UP GRANITE
- BITUMINOUS CONCRETE CURB
- CHAINLINK SEPARATE FENCE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- DASHED WHITE LINE
- SIGN
- BOREHOLE HOLE
- TEST PIT
- TEST BORING
- PERCOLATION TEST
- BUILDING
- UTILITY POLE
- GRATE MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- LIGHT POLE
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- OVERHEAD LINE
- SPOT ELEVATION
- CONTOUR ELEVATION





LOCATION MAP
(NOT TO SCALE)

NOTES:

1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
3) ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
8) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
9) NEW WATER TAPS SHALL BE INSTALLED BY THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS. ALL WATER, SEWER AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCHESTER WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
10) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
11) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
12) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
13) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
14) ELECTRICAL CONDUIT WITHIN 20' OF TANKS OR DISPENSERS MAY NEED TO BE RIGID METAL CONDUIT WITH CONCRETE ENCASEMENT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND/OR TOWN ELECTRICAL INSPECTOR AS REQUIRED.

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

BIG SAFE

OWNERS OF RECORD:

MAP 210 LOT 55
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 997 PAGE 464

MAP 210 LOT 54
PAUL J. MAYELSKI
P.O. BOX 2873
ROCHESTER, NH 03866
BOOK 1761 PAGE 798

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE
DAVID A. CORSON
No. 7776
LICENSED
PROFESSIONAL ENGINEER

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
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79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 344359.dwg
DRAWN BY: DCC
CHECKED BY: CMT

UTILITY PLAN

CFG07.0

MHF PROJECT NO. 344313 SHEET 7 OF 14

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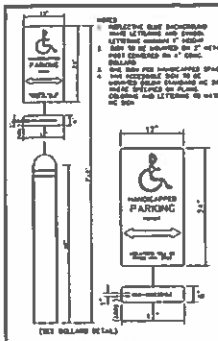
LEGEND

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- BITUMINOUS CONCRETE CURB
- BITUMINOUS GRANITE CURB
- BITUMINOUS SURFACE WAVES
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BROKEN WHITE LINE
- SIGN
- CONDENSATION WELL
- TEST PIT
- TEST BORING
- PERCOLATION TEST
- TREELINE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- LIGHT POLE
- GUYED LINE
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- WETLAND LINE
- SPOT ELEVATION
- CONTOUR ELEVATION

PLANTING SCHEDULE

PLANT QUTY		BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
SHRUBS					
[illegible]		[illegible]	[illegible]	[illegible]	[illegible]



ACCESIBLE SIGN DETAIL
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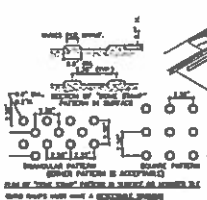

DETECTABLE WARNING SURFACE
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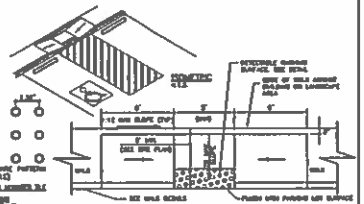

ACCESSIBLE PARKING RAMP
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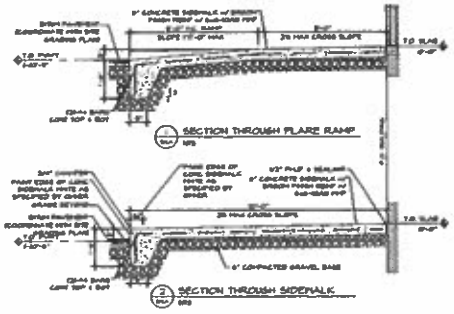
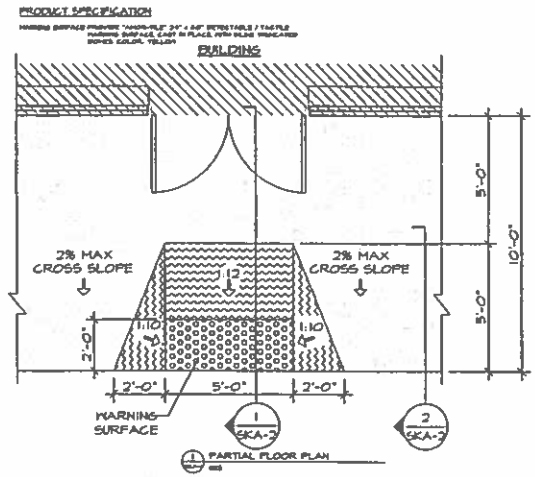
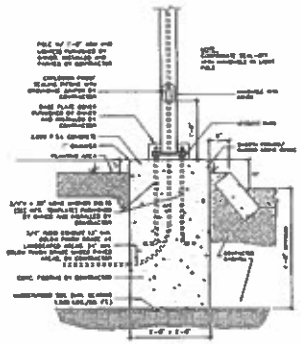


FLARE RAMP AT ENTRANCE DETAILS
NOT TO SCALE

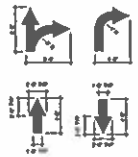


FLARE RAMP AT ENTRANCE PLAN
NOT TO SCALE



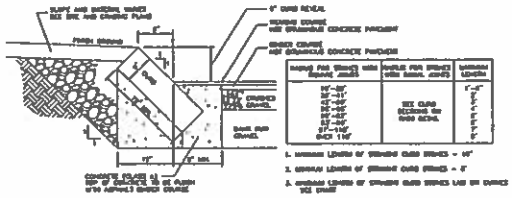
LED CROSSOVER AREA LIGHT BY LSI
(ESNA FULL CUTOFF

LIGHT POLE DETAIL
NOT TO SCALE



ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.

ON-SITE PAVEMENT MARKING DETAILS
NOT TO SCALE



SLOPED GRANITE CURB
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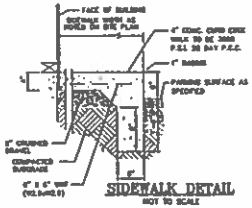

SIDEWALK DETAIL
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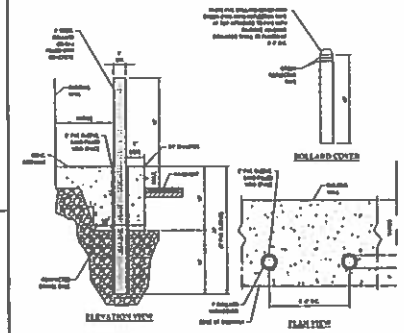

BOLLARD SET IN CONCRETE WALK DETAIL
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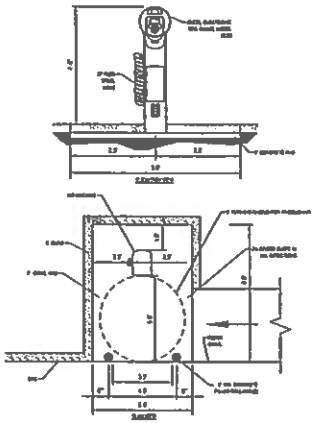

AIR TOWER ASSEMBLY DETAIL
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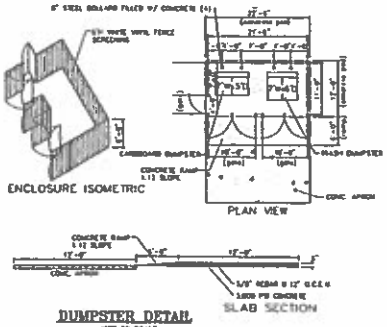
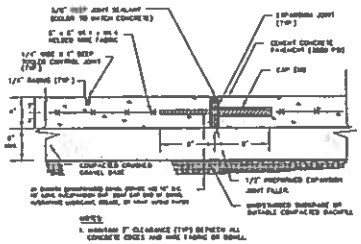


ENCLOSURE ISOMETRIC

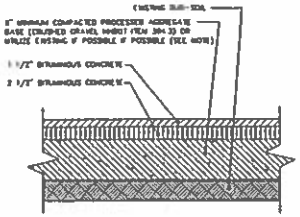
PLAN VIEW

SLAB SECTION

DUMPSTER DETAIL
NOT TO SCALE



CEMENT CONCRETE SIDEWALK – ON SITE SECTION AND JOINT DETAILS
NOT TO SCALE



PARKING LOT PAVEMENT DETAIL
NOT TO SCALE

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET	
1.296 ACRES	
V# 0899	
Store# 5401	
Gas Station# 2823	

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ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: N.T.S.	
DATE: JULY 8, 2014	
FILE: 344306T.dwg	
DRAWN BY: DMP	
CHECKED BY: CMT	

DETAIL SHEET — CFG09.0

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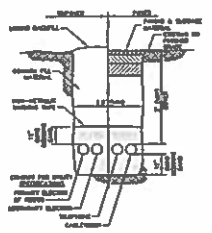
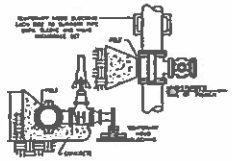
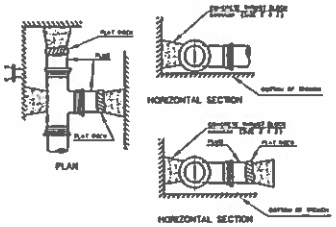


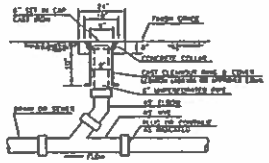
UTILITY TRENCH
NOT TO SCALE



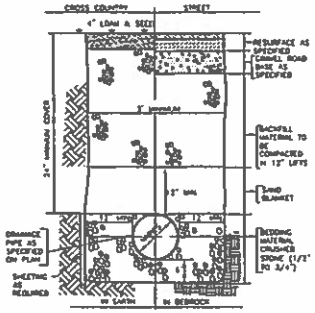
TAPPING VALVE AND SLEEVE DETAIL
NOT TO SCALE



THRUST BLOCK DETAILS
NOT TO SCALE



TYPICAL CLEANOUT
NOT TO SCALE



TYPICAL TRENCH SECTION FOR STORM DRAIN
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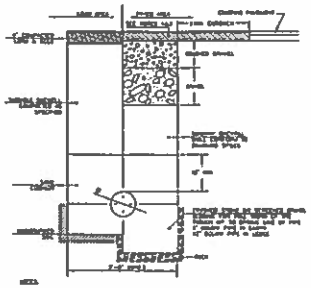

TYPICAL SEWER TRENCH DETAIL
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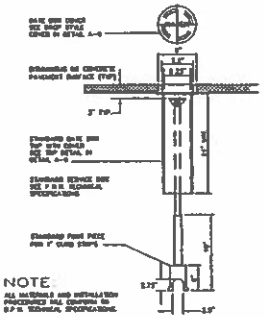
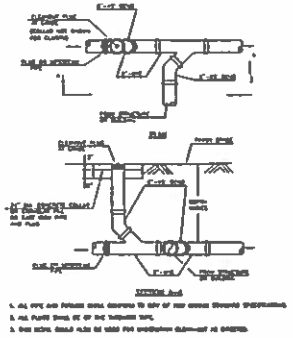
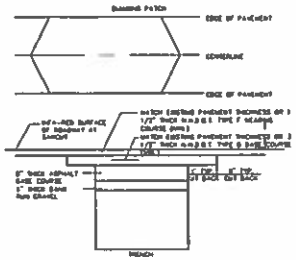


SERVICE BOX INSTALLATION IN PAVEMENT
NOT TO SCALE



SEWER LATERAL CLEAN-OUT
NOT TO SCALE



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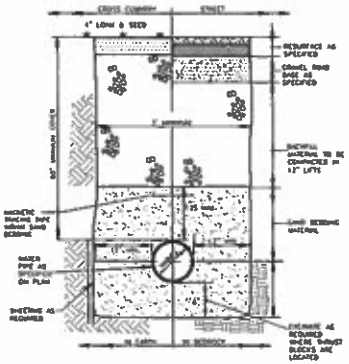
NOT TO SCALE



TYPICAL TRENCH SECTION FOR WATER SERVICE
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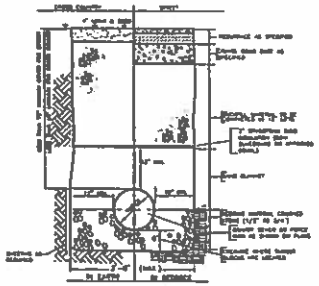
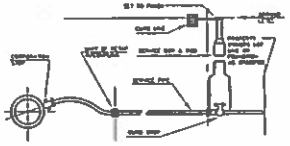


TYPICAL TRENCH SECTION FOR SANITARY SEWER SERVICE WITH LESS THAN 6' OF COVER
NOT TO SCALE



TYPICAL SERVICE CONNECTION
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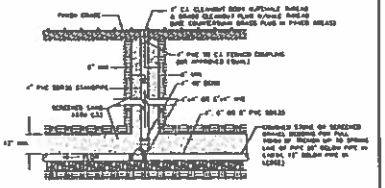

TYPICAL SEWER SERVICE CLEANOUT
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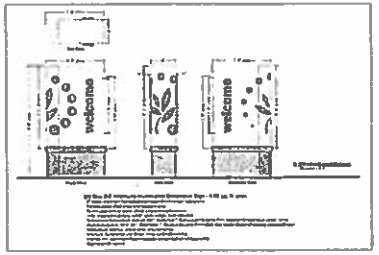
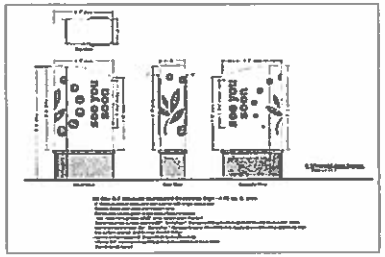


WELCOME DIRECTIONAL SIGN DETAIL
NOT TO SCALE



SEE YOU SOON DIRECTIONAL SIGN DETAIL
NOT TO SCALE

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

STATE OF NEW HAMPSHIRE
DAVID R. CARLSON
No. 7775
7/11/14

REVISIONS			
NO	DATE	REV. BY	DESCRIPTION

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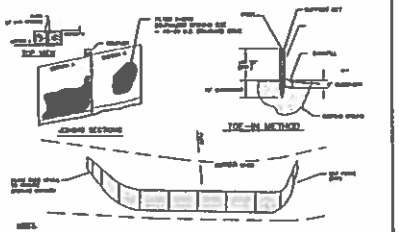
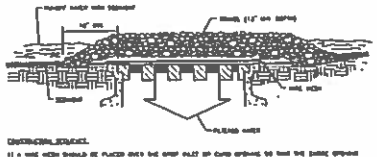
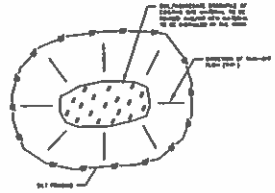


SEDIMENT CONTROL FENCE
NOT TO SCALE



ON-SITE INLET PROTECTION DETAIL
NOT TO SCALE



MATERIALS STOCKPILE DETAIL
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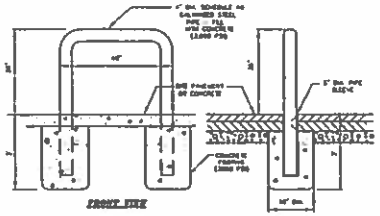

BOLLARD DETAIL
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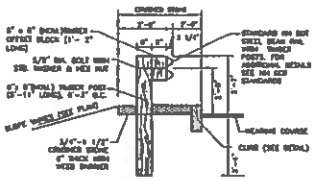
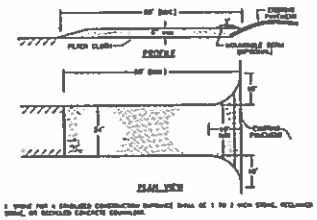
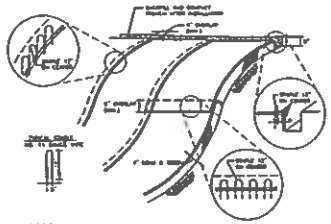


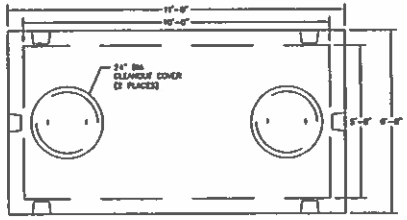
GUARD RAIL DETAIL
NOT TO SCALE



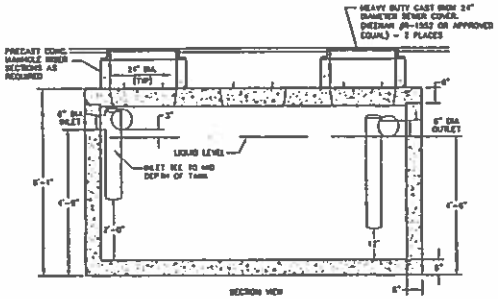
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



BLANKET SLOPE PROTECTION FOR EROSION CONTROL
NOT TO SCALE



PLAN VIEW



SECTION VIEW

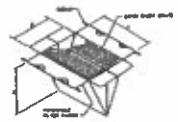
NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. FINAL DESIGN OF GREASE TRAP TO MEET ALL LOCAL AND STATE REQUIREMENTS.
3. ALL REINFORCEMENT PER ASTM C1227-03.
4. DESIGNED FOR H-20 LOADING.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. TEES AND BAFFLES SOLD SEPARATELY.
7. GREASE TRAP AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUAL.
8. CONTRACTOR TO PROVIDE DESIGN ENGINEER SHOP DRAWINGS PRIOR TO CONSTRUCTION.

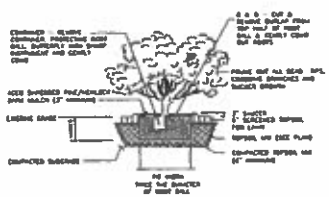
SHEA BEM NO. TX-619308C

1,500 GALLON GREASE TRAP DETAIL
(H-20 LOADING)

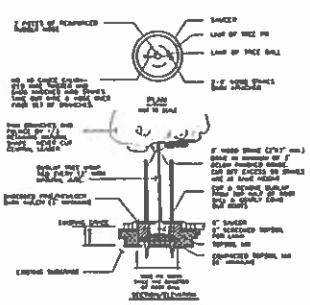
COMMERCIAL LINE TANK
1500 GALLON MONOLITHIC



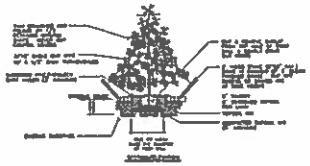
OFF-SITE INLET PROTECTION
NOT TO SCALE



TYPICAL SHRUB PLANTING
NOT TO SCALE



TYPICAL TREE PLANTING
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING
NOT TO SCALE

TEST PIT DATA

Client: Cumberland Farms
Project Address: 79 Milton Road/1 Flat Rock Bridge Road
Town/State: Rochester, NH
Job Number: 344314
Date: June 2, 2014
Performed by: Dave Pentewalter

Test Pit No.	6-1	SCS Soil	Hinckley
ESHWT:	>120"	Standing Water:	None
Refusal:	>120"	Roots:	None

Depth	Horizon	Soil Texture	Color	Consistence	Mottles; Quantity/Contrast
0-3"	Pavement				
3-6"	Pavement				
6-120"	Gravel C	Sand	2.5y 6/3	FR	None visible

Test Pit No.	6-2	SCS Soil	Hinckley
ESHWT:	>120"	Standing Water:	None
Refusal:	>120"	Roots:	None

Depth	Horizon	Soil Texture	Color	Consistence	Mottles; Quantity/Contrast
0-2"	Pavement				
2-7"	Pavement				
7-120"	Gravel C	Sand	2.5y 6/3	FR	None visible

Test Pit No.	6-3	SCS Soil	Hinckley
ESHWT:	84"	Standing Water:	108"
Refusal:	>120"	Roots:	None

Depth	Horizon	Soil Texture	Color	Consistence	Mottles; Quantity/Contrast
0-15"	A	Loamy Sand	10yr 3/2	FR	
15-31"	B	Loamy Sand	10yr 5/6	FR	
31-120"	C	Sand	2.5y 6/3	FR	@ 84" Dutaxi

Test Pit No.	6-4	SCS Soil	Hinckley
ESHWT:	>120"	Standing Water:	None
Refusal:	>120"	Roots:	None

Depth	Horizon	Soil Texture	Color	Consistence	Mottles; Quantity/Contrast
0-14"	A	Loamy Sand	10yr 3/2	FR	
14-30"	B	Loamy Sand	10yr 5/6	FR	
30-120"	C	Coarse Sand	2.5y 6/3	FR	None visible

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SCALE: N.T.S.
DATE: JULY 8, 2014
FILE: 344314DET.dwg
DRAWN BY: DMP
CHECKED BY: CHT

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FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

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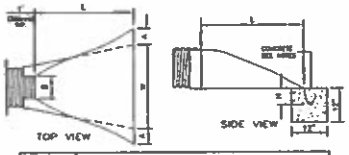


PIPE DIAMETER	DIMENSIONS, INCHES (mm)					
	WEIGHT KGS.	A ±1 (25)	D (mm)	B, ±1 (25)	C, ±1/2 (13)	H, ±1 (25)
12", 15" (300,380)	1010 (4)	4.5 (114)	10 (254)	8.0 (203)	20 (510)	20 (508)
18" (450)	1010 (4)	7.5 (190)	10 (254)	8.0 (203)	20 (510)	20 (508)
24" (600)	1010 (4)	7.5 (190)	10 (254)	8.0 (203)	20 (510)	20 (1140)
30" (750)	2040 (9)	10.5 (267)	NA	7.0 (178)	32 (1340)	30 (1720)
36" (900)	2040 (9)	10.5 (267)	NA	7.0 (178)	32 (1340)	30 (1720)

CONSTRUCTION SPECIFICATIONS:

PIPE BEDDING

INSTALL MATERIAL AROUND THE END SECTION AS THE BASE OF THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BEDDING MATERIAL ON THE BEDDING AS SHOWN ABOVE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE THE BOTTOM. BEDDING AS WELL AS THE BEDDING UNDER THE PIPELINE WILL BE SAME THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE PIPELINE AS SHOWN IN THE PROFILE HORIZONTALLY.

PLACE END SECTION OF PIPE.

LOWER THE END SECTION COLLAR AND SEAT IT OVER THE THE PIPE CONNECTIONS. GUIDE THE END SECTION IN PERPENDICULAR ONCE TO HAVE SURE THAT THE WEIGHT OF THE END SECTION MATCHES THE SLOPE OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE PIPELINE AS SHOWN.

INSTALL THE END SECTION

SLIP THE STAINLESS STEEL AND TIGHTEN THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR THE GAP SHOULD BE BETWEEN THE COLLAR OF THE END CONNECTIONS. PLACE A GASKET ON EITHER END OF THE END. PLACE A BAND ON EITHER END OF THE END AND TIGHTEN WITH A WRENCH.

BACKFILL THE TRENCH

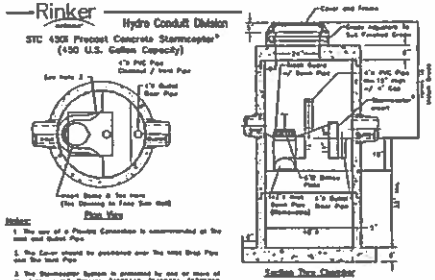
TO PROTECT MATERIALS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TRENCH BE BACKFILLED WITH CONCRETE. FROM CONCRETE TO THE BOTTOM UP TO THE LEVEL OF THE TRENCH ON EACH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TRENCH.

FINISH BACKFILL.

FINISH BACKFILL AROUND THE END SECTION UP TO THE 3 INCH LAYERS EQUALLY ON BOTH SIDES. COMPACT IT TO ELIMINATE VOIDS. THAT WILL 3 FULL-FACED CONNECTION ON EACH EQUIPMENT BEFORE THE FINAL STEPS. CONTINUE PLACING AND COMPACTING THE BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAL IT WELL WITH THE GROUND.

FLARED END SECTION HIGH DENSITY POLYETHYLENE (HDPE)

NOT TO SCALE



Notes:

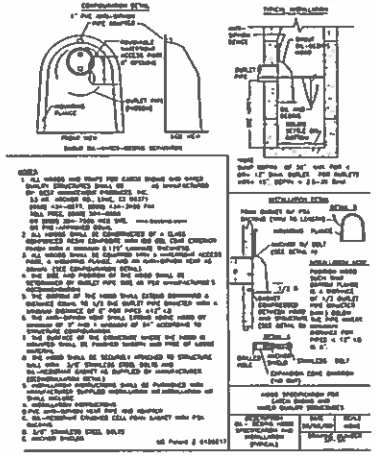
1. The use of a Flexible Connection is recommended at the inlet and Outlet Pipe.
2. The Cover should be positioned over the inlet Drop Pipe and the inlet Pipe.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: 5985146, 5998221, 6723708, 6723115, 6904161, 6986745, 6837408. Contact a Hydro Conduit representative for further details not found on this sheet.

Rinker 027

1) CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

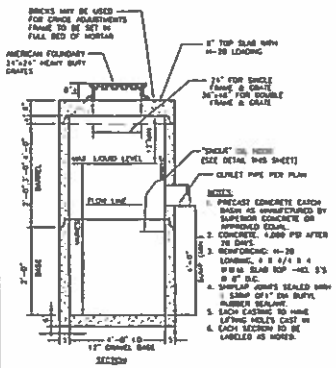
STORMCEPTOR DETAIL (STC-4501)

NOT TO SCALE



SNOUT - OIL - WATER - DEBRIS SEPARATOR

NOT TO SCALE

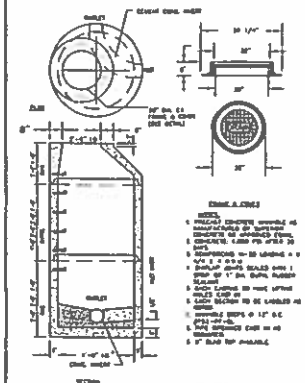


NOTES:

1. PRECAST CONCRETE CATCH BASIN AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 6 X 6/4 X 4 W10 X W4 SLAB TOP -#21, 3'S @ 6" O.C.
4. SHIPLAP JOINTS SEALED WITH 1 SBMP OF 1" DOW BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. EACH SECTION TO BE LABELED AS MARKED.

PRECAST CONCRETE CATCH BASIN WITH HOOD

NOT TO SCALE

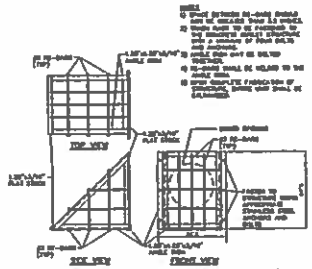


NOTES:

1. PRECAST CONCRETE MANHOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 6 X 6/4 X 4 W10 X W4 SLAB TOP -#21, 3'S @ 6" O.C.
4. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DOW BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. EACH SECTION TO BE LABELED AS MARKED.
7. MANHOLE STEPS @ 12" O.C. (#32-#4-#4).
8. PIPE OPENINGS CAST IN AS REQUIRED.
9. 5" SLAB TOP AVAILABLE.

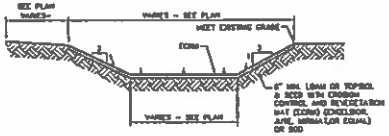
PRECAST CONCRETE DRAIN MANHOLE

NOT TO SCALE



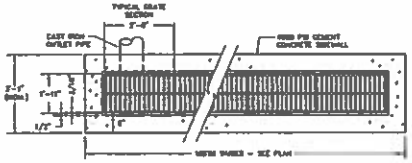
TRASH RACK DETAIL

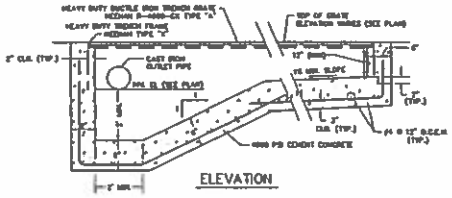
NOT TO SCALE



DETENTION BASIN - TYP. CROSS SECTION

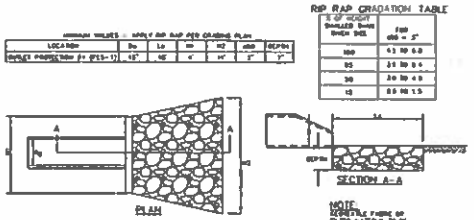
NOT TO SCALE





TRENCH DRAIN WITH SUMP

NOT TO SCALE



RIP RAP GRADATION TABLE

% OF WEIGHT SMALLER THAN THIS SIZE	FOR d50 = 3"
100	4.5 TO 6.0
85	3.5 TO 5.5
50	2.0 TO 4.0
15	0.5 TO 1.5

NOTE:
NONWOVEN FABRIC OR FILTER MATERIAL TO BE PLACED BENEATH ALL AND RIP-RAP

CONSTRUCTION SPECIFICATIONS

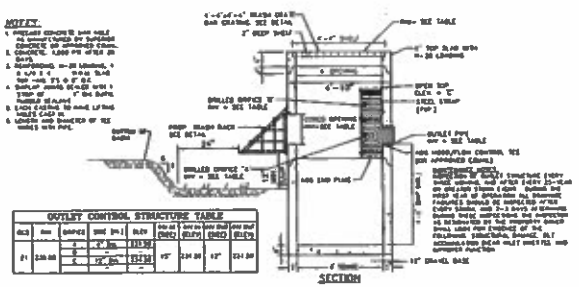
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE SIZE OF GRAVEL USED FOR FILTER OR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRIC SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LINER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. RIPRAP SHALL BE PLACED ALONG THE EXISTING SLOPES OF THE CHANNEL TO DIMENSIONS SEE DRAINAGE PLAN.

MAINTENANCE

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAN OF OBSTRUCTIONS SUCH AS FALLEN TREES, BRUSH, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR LEAD TO DEPRIVE THE PIPE. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

RIPRAP OUTLET DETAIL

NOT TO SCALE

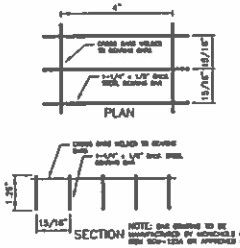


OUTLET CONTROL STRUCTURE TABLE

ELEV	AREA	ORIFICE	WEIR (W-1)	ELEV	WEIR (W-2)	ELEV	WEIR (W-3)	ELEV
21	2,215.00	3 - 2" Dia.	23.1 (W)					
		1 - 6" Dia.	23.1 (W)					
		1 - 12" Dia.	23.1 (W)	22"	23.1 (W)	22"	23.1 (W)	

CONCRETE OUTLET CONTROL STRUCTURE (OCS#1)

NOT TO SCALE



NOTE: ONE GRATE TO BE MANUFACTURED BY WINCHELL OR EQUAL WITH 1/2" BAR APPROVED EQUAL

TRASH GRATE BAR DETAIL @ OUTLET STRUCTURE

NOT TO SCALE

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

REVISIONS			
NO	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

MHF Design Consultants, Inc.
41 Silver Road, Suite One
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79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

DETAIL SHEET

SCALE: N.T.S.
DATE: JULY 8, 2014
FILE: 314-3DET.dwg
DRAWN BY: DMP
CHECKED BY: CMT
CFG09.3

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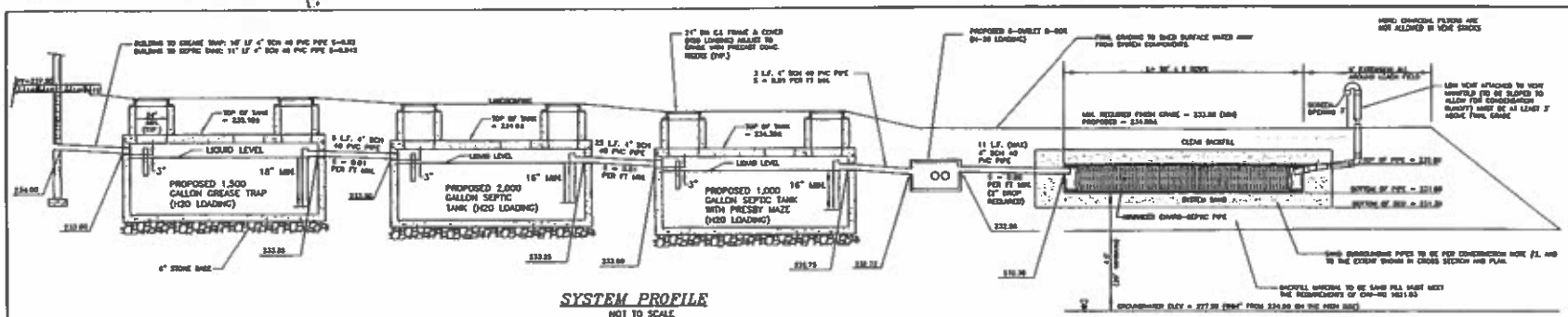

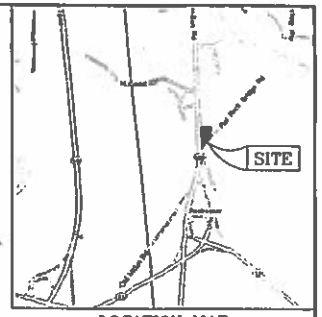

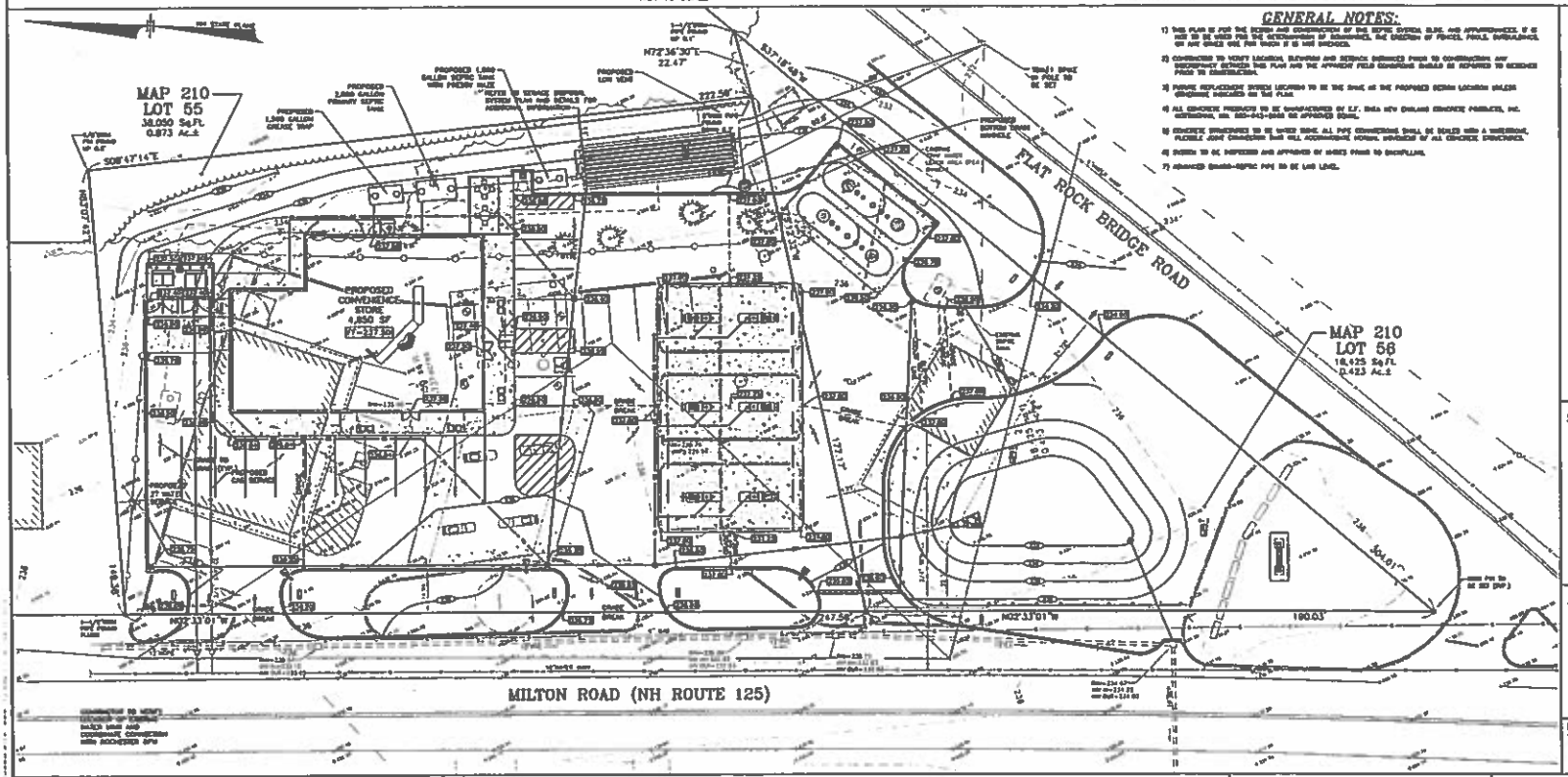

GENERAL NOTES:

1) THIS PLAN IS FOR THE DESIGN AND CONSTRUCTION OF THE SEPTIC SYSTEM ONLY, AND ATTACHMENTS, IF IT MAY BE USED FOR THE DETERMINATION OF BUILDINGS, THE LOCATION OF FENCES, POLES, OVERHANGS, OR ANY SHAPE OTHER THAN WHICH IT IS NOT INTENDED.

2) CONTRACTOR TO VERIFY LOCATION, ELEVATION AND DETAILS DEPICTED PRIOR TO CONSTRUCTION. ANY DISCREPANCY BETWEEN THIS PLAN AND THE APPARENT FIELD CONDITIONS SHALL BE REPORTED TO DESIGNER PRIOR TO CONSTRUCTION.

3) PARTIAL REPLACEMENT SYSTEM LOCATED TO BE THE SAME AS THE PROPOSED SYSTEM LOCATION UNLESS OTHERWISE INDICATED ON THE PLAN.

4) ALL CONCRETE PRODUCTS TO BE MANUFACTURED BY L.F. SULLIVAN CONCRETE PRODUCTS, INC. SUTTONSVILLE, NH. 603-642-5568 OR APPROVED EQUAL.

5) CONCRETE STRUCTURES TO BE WATER TIGHT. ALL PIPE CONNECTIONS SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTION THAT WILL ACCOMMODATE POSSIBLE MOVEMENT OF ALL CONCRETE STRUCTURES.

6) SYSTEM TO BE INSPECTED AND APPROVED BY OWNER PRIOR TO BACKFILLING.

7) ADVANCED EMITTER-SEPTIC PIPE TO BE LAID LEVEL.

DESIGN NOTES:

1) SEPTIC TANK:
BOTTOM OF ADVANCED EMITTER-SEPTIC PIPE TO BE ON MORE THAN 3' BELOW EXISTING GRADE ON THE HIGH SIDE. EXISTING GRADE ON THE HIGH SIDE ASSUMED TO BE ELEVATION 234.00

2) SERVICE LOADING:
a. ONE BEDROOM: 0 BEDROOMS x 75 GPD/BEDROOM = 000 GPD
b. SEPTIC STORAGE: 4,500 SF x 0 GPD/100 SF = 000 GPD
c. 0 SEATS X 30 GPD/SEAT = 000 GPD
d. CONVENIENCE: 4 X 30 GPD/CONVENIENCE = 120 GPD
TOTAL LOAD = 120 GPD

3) DESIGN PERCOLATION RATE: 3 MINUTES PER INCH

4) LEACHING AREA:
REQUIRED LENGTH OF ADVANCED EMITTER-SEPTIC PIPE:
120 GPD X 42 LF/100 GPD = 415.17
PROVIDED: 8 ROWS X 50'/ROW = 400 LF (CAPACITY = 1,071 GPD)

5) SEPTIC TANK:
REQUIRED: (TABLE 15 @ >= 24 MINUTE FLOW) PRIMARY TANK: 1,344 GALLONS AND MAZE TANK: 756 GALLONS (BASED ON 963 GPD FLOW)
PROVIDED: 1-2,000 GALLON PRIMARY TANK AND 1-1,000 GALLON MAZE TANK H-20 LOADING

6) GREASE TRAP:
REQUIRED MINIMUM 1,000 GALLONS
PROVIDED: 1,500 GALLONS H-20 LOADING

7) DISTRIBUTION BOX: 6 OUTLETS MIN (WITH FLOW EQUALIZERS)

8) WATER SUPPLY: MUNICIPAL

9) LEACH FIELD PROXIMITY TO NEARBY FEATURES:
NEAREST SURFACE WATER: > 75'
NEAREST PROPERTY LINE: > 25'
NEAREST WELL: > 100'

10) FOUNDATION DRAINS: NONE

11) GROUND SEPARATION:
REQUIRED: NONE (FLOW < THAN 1,000 GPD)
PROVIDED: > 11'

12) SUBDIVISION APPROVAL: N/A – OWN LOT CREATED PRIOR TO 1967

CONSTRUCTION NOTES:

1) SYSTEM TO BE INSTALLED IN ACCORDANCE WITH ADVANCED EMITTER-SEPTIC PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS. FOR PRODUCT INFORMATION CONTACT ADVANCED EMITTER-SEPTIC ENGINEERING, INC. 1-800-473-4300

2) MINIMUM OF 6" OF MEDIUM TO COARSE SAND MIN LESS THAN 3 X PIPE DIA. AND 1 FOOT BELOW ADVANCED EMITTER-SEPTIC PIPES. (SEE SCHED AND INSTALLATION MANUAL FOR COMPLETE SAND AND FILL SPECIFICATIONS) CONCRETE SAND MUSTBE NEW 0-30 MAY BE USED

3) ALL PVC CONNECTIONS (INCLUDING PIPES CONNECTIONS) TO BE GLUED OR MECHANICALLY FASTENED.

4) INSTALLER ADVISED TO CONTACT THE DATE PRIOR TO CONSTRUCTION.

5) DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.

6) NO GRADE, NOT TRAIL, DRAINS, DRIVEWAY DEPRESSIONS, ETC. SHALL BE PERFORMED NEAR THE SYSTEM.

7) PROPOSED SEPTIC SYSTEM SHALL BE STAKED PRIOR TO CONSTRUCTION.

OPERATING REQUIREMENTS:

1) SYSTEM IS NOT DESIGNED TO HANDLE A GARBAGE DISPOSAL.

2) THE SEPTIC TANK SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SCUM AT LEAST ONCE EVERY YEAR. WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM FORMS 1/3 OR MORE OF THE TANK DEPTH, THE TANK SHALL BE PUMPED BY A LICENSED SEPTIC TANK PUMPER.

3) TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND LEACH FIELD DRAINAGE AND SLUDGE WASTES SHALL NOT BE PUMPED OR DRAINED INTO THE SEPTIC SYSTEM.

4) PIPES AND MANUFACTURED MATERIALS SHALL NOT BE DISTURBED INTO THE SEPTIC SYSTEM.

5) DO NOT ALLOW VEHICULAR TRAFFIC OVER ANY COMPONENT OF THE SYSTEM UNLESS THAT STRUCTURE IS DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.

LOT LOADING:

SOIL GROUP: 1 (MONADNOCK)
SLOPE = 0-8%
FACTOR = 1.0
LOADING DESIGN FLOW = 963 GPD
AREA OF LOT = 18,425 SF + 38,050 SF = 56,475 SF (1.296 AC)
MAX. LOT FLOW = 1,296 GPD * ACRES/FACTOR
= 2000*1.296/1.0 = 2,592 GPD
DESIGN FLOW IS LESS THAN MAXIMUM FLOW ALLOWED

GRAPHIC SCALE

OWNERS OF RECORD:

MAP 210 LOT 55
CUMBERLAND FARMS INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 997 PAGE 464

MAP 210 LOT 56
PAUL J. MAVELSKI
P.O. BOX 3076
ROCHESTER, NH 03866
BOOK 1751 PAGE 708

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
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ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 34435P.dwg
DRAWN BY: CCC
CHECKED BY: CMT

SEPTIC SYSTEM PLAN
CFG9.4

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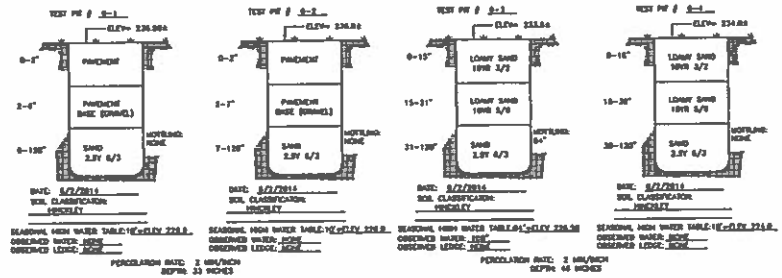
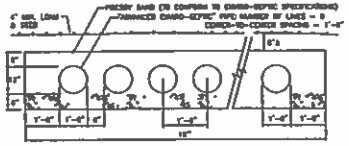
TEST PIT DATA



LEACH FIELD CROSS SECTION
NOT TO SCALE



PRESBY MAZE DETAIL
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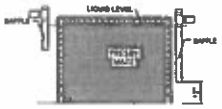
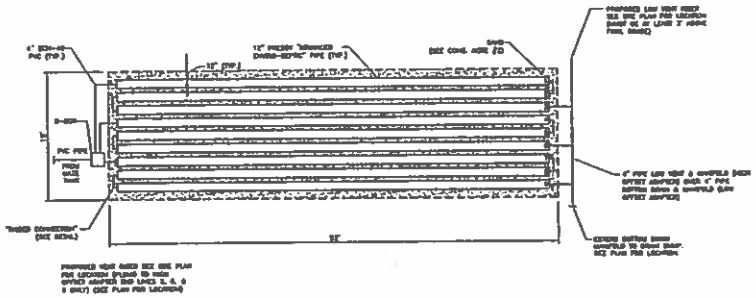
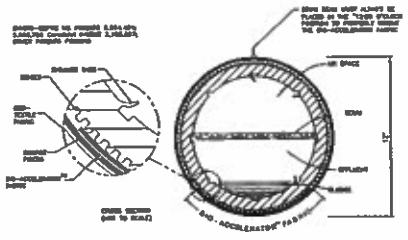


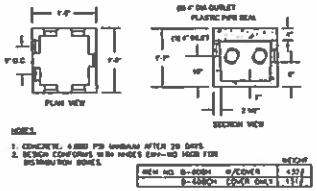
SCHEMATIC LEACH FIELD PIPING DETAIL – SEE PLAN VIEW
NOT TO SCALE



ADVANCED ENVIRO-SEPTIC LEACHING SYSTEM
CROSS SECTION – NOT TO SCALE



6 OUTLET D-BOX DETAIL (H20 LOADING)
NOT TO SCALE



LOW VENT DETAIL
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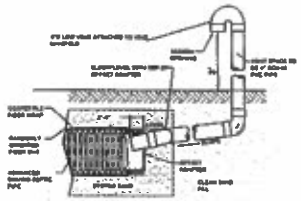
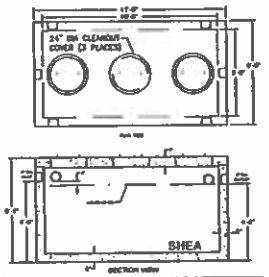


PROPOSED 1,500 GALLON GREASE TRAP
NOT TO SCALE



PROPOSED 2,000 GALLON SEPTIC TANK
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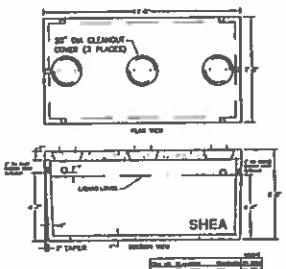

PROPOSED 1,000 GALLON MAZE TANK
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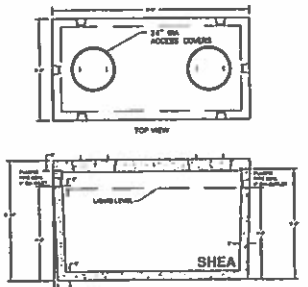
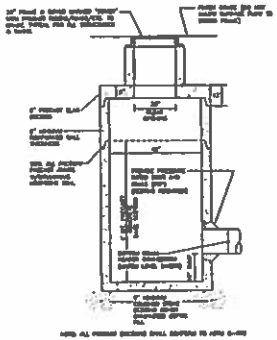


BOTTOM DRAIN ACCESS MANHOLE
NOT TO SCALE



RAISED CONNECTION
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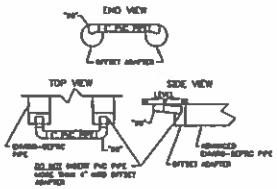

DESIGNER'S STAMP

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CHECKED BY: DRJ

SEPTIC SYSTEM DETAILS
CFG9.5

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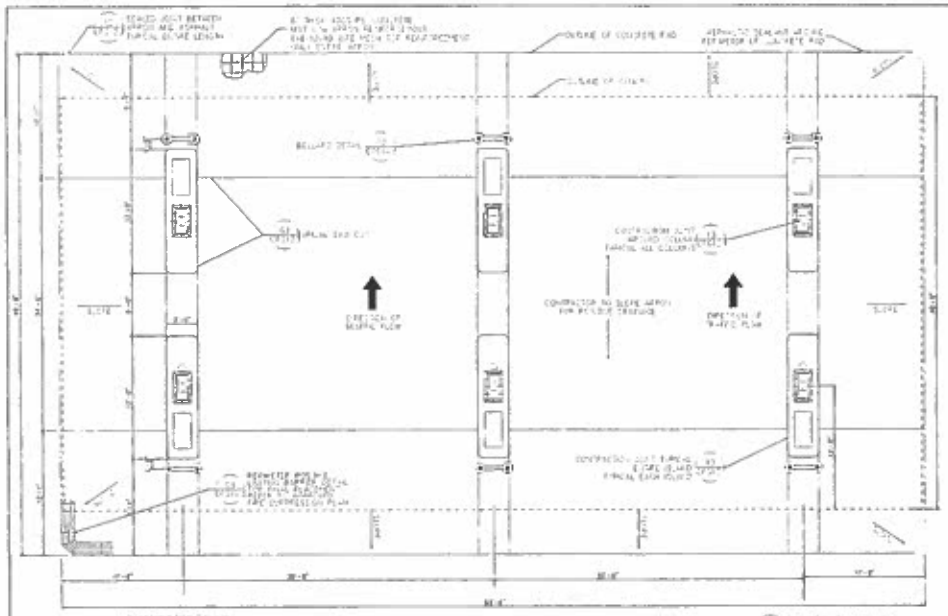
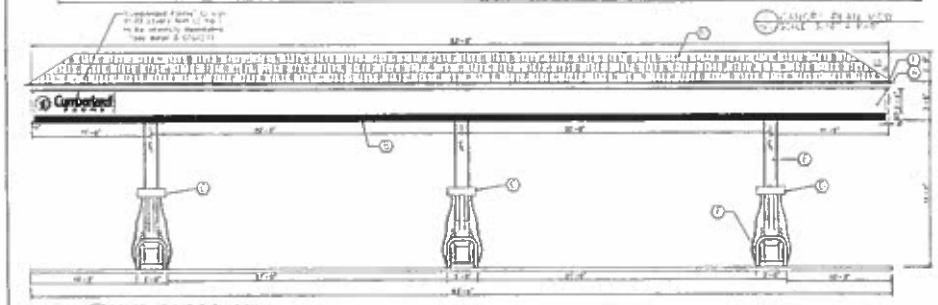
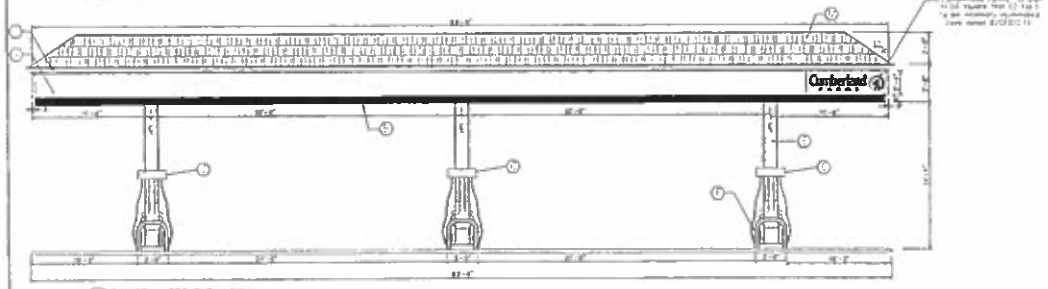
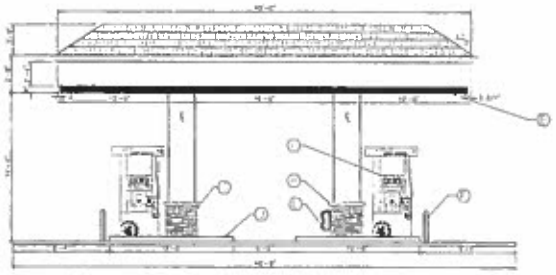
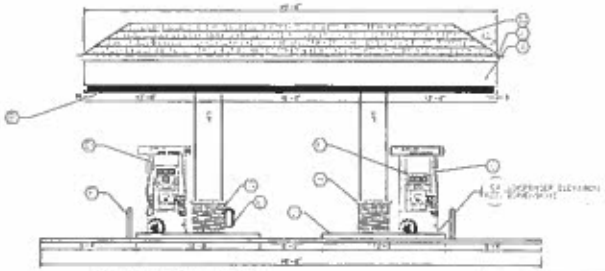
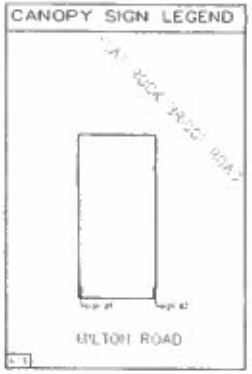












NOTES

1. CONTRACTOR VERIFY DIMENSIONS AND FIELD CONDITIONS ALL FIELD DIMENSIONS.
2. DISPENSER TANKS TO BE SET IN PLACE AND USED AS A FORM TO POUR CONCRETE AROUND.
3. CONCRETE SPECIFICATIONS.
   - SEE GENERAL CONCRETE NOTES AS PER GEOTECHNICAL REPORT.
   - MINIMUM 4000PSI @ 28 DAYS 25 TO 27 SLUMP.
   - PROCEDURE SHOULD FOLLOW ACI 305 COLD WEATHER CONCRETE.
   - CONCRETE PROTECTION SHOULD FOLLOW ACI 306 COLD WEATHER PROTECTION.
4. USE COMPANY INSTALLATION MANUAL FOR INSTALLATION SPECIFICATIONS.
5. ALL EQUIPMENT AND CONSTRUCTION ARE NEW AND FOUND TO BE ACCURATE.
6. REFER TO CANOPY MANUFACTURERS DRAWINGS FOR SPECIFIC CANOPY MOUNTING DETAILS.
7. REFER TO CANOPY MANUFACTURERS DRAWINGS FOR ARCHITECTURAL DETAILS ON CANOPY AND COLUMNS.
8. SEE CIVIL PLANS FOR DIMENSIONS OF SITE AND FOR GRADING PLAN.
9. REFER TO CANOPY DETAIL SCHEDULE ON SHEET CFG2.0 FOR ADDITIONAL INFORMATION.

REVISIONS			
DATE	REV. BY	DESCRIPTION	

V#0899
Store# 5401
Geo Station# 852803

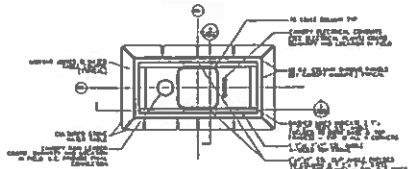
UPLTON ROAD
ROCHESTER, NH

Cumberland FARMS

CANOPY PLAN & ELEVATIONS

CFG12.0

NMF PROJECT NO. 34013 SHEET 1 OF 1



1 PLAN SECTION @ COLUMN SHROUD
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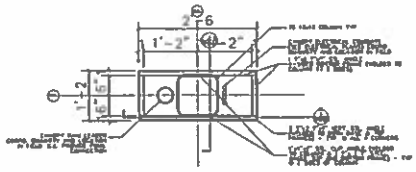

2 PLAN VIEW OF STEEL FRAME
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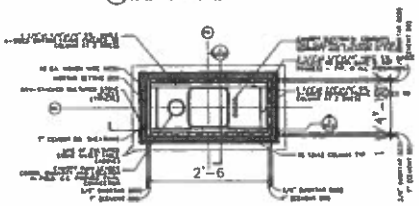

3 PLAN SECTION @ CULTURED STONE BASE
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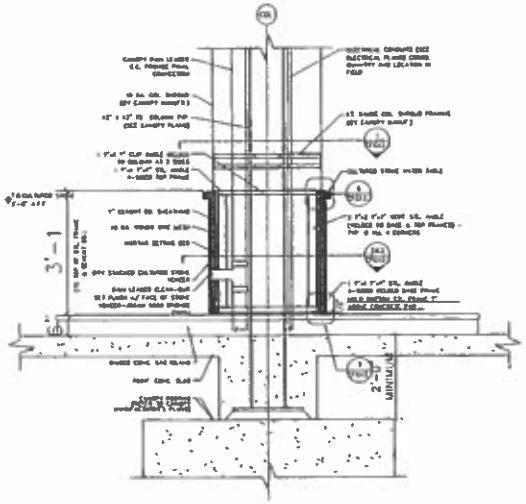

5 SECTION @ BASE OF GAS ISLAND COLUMN WRAP
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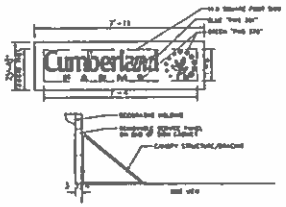

6 CANOPY SIGN DETAIL
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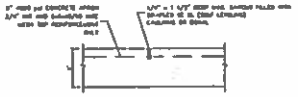

8 TYPICAL SAWCUT DETAIL
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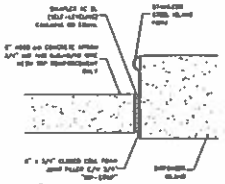

10 TYPICAL ISLAND/APRON DETAIL
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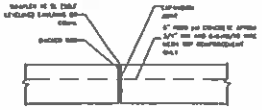

9 TYPICAL EXPANSION JOINT DETAIL
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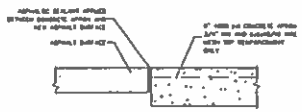

11 TYPICAL CONCRETE/ASPHALT DETAIL
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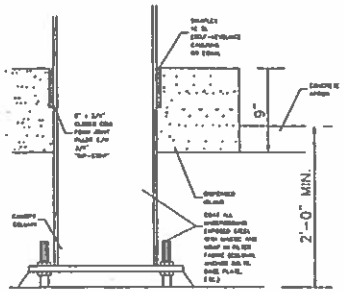

12 ISLAND COLUMN DETAIL
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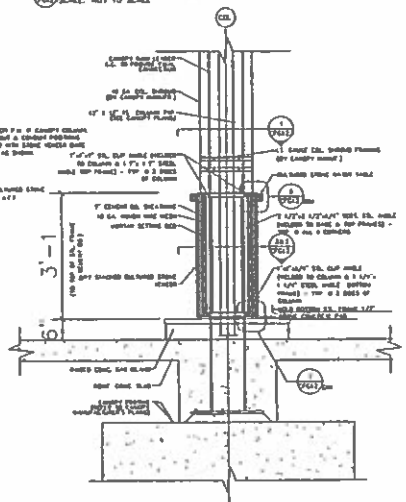
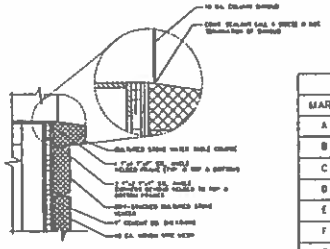
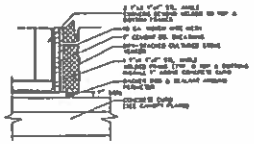


4 SECTION @ BASE OF GAS ISLAND COLUMN WRAP
VERTICAL: NOT TO SCALE



6 DETAIL @ STONE WATER TABLE
VERTICAL: NOT TO SCALE



7 DETAIL @ BASE OF COLUMN WRAP
VERTICAL: NOT TO SCALE

CANOPY DETAIL SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	QUANTITY	REMARKS
A	Canopy Fascia	ALCOA	ACM: Aluminum	Shell White	Per Plan	
B	Canopy Striping	3M	#160-10	PMS 376C	Per Plan	6" Trans. Vinyl Stripe
C	Multi-Product Dispenser	Wayne	Ovation 812	———	4	
D	3+1 Diesel Dispenser	Wayne	Ovation 823	———	1	
E	Canopy Columns/Shrouds	See Canopy Manufacturer	———	Shell White	5	12"x12" column with 17"x35" shrouds
F	"U"-Shaped Bollard	Universal	4" OD 36"H x 56"H	Shell White	5	Steel bollard with PVC sleeve
G	Cultured Stone Veneer	Owens Corning Cultured Stone	CSV-2028 Southern Ledgestone	Fog	Per Plan	
H	Cultured Stone Watertable	Owens Corning Cultured Stone	CSV-2028 Southern Ledgestone	Fog	Per Plan	
I	Decorative Moulding	See Canopy Manufacturer	———	Shell White	Per Plan	
J	Dispenser Island Form	Riverside Steel	———	Stainless Steel	5	3'Wx12'Lx8"H with 6" radius corners
K	Dispenser LED Pump Topper	ABLE	———	Black w/ Red, Green, & White LEDs	5	SmartPay Marquee

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-8720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

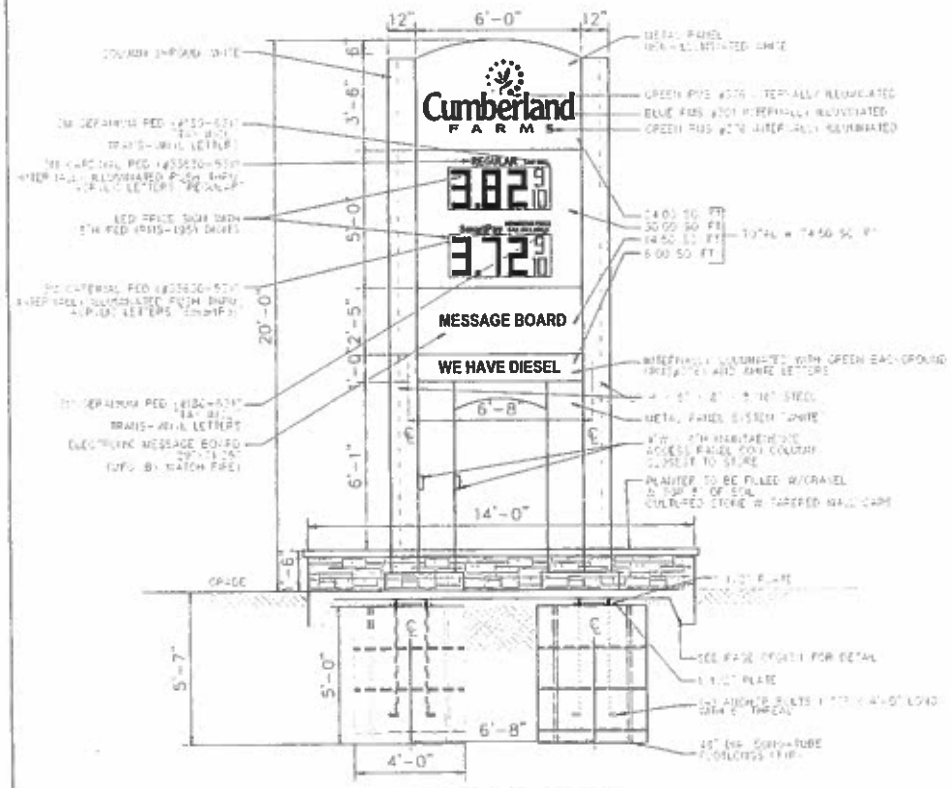
79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland Farms
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

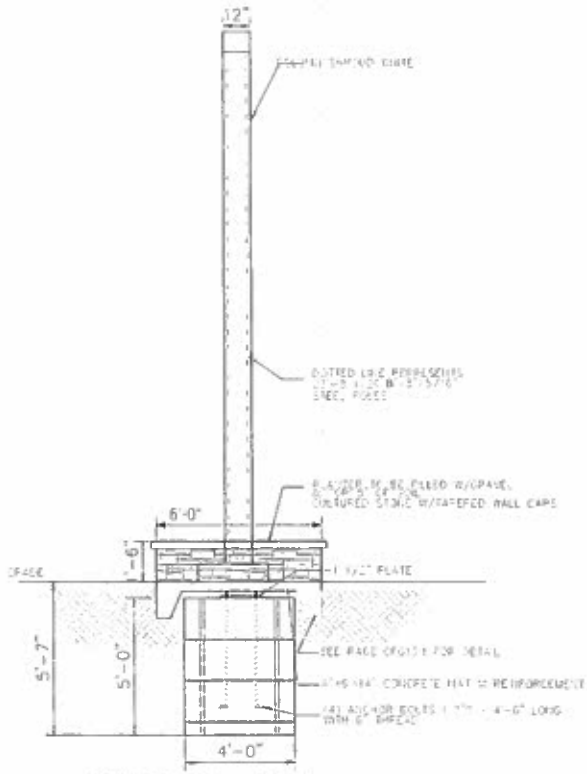
SCALE: NTS
DATE: JULY 8, 2014
FILE: 344316 13.1.dwg
DRAWN BY: CMT
CHECKED BY: CMT

PROPOSED CANOPY DETAILS
CFG12.1

MHF PROJECT NO. 344316 SHEET 1 OF 1



FRONT VIEW



%USIDE VIEW

REVISIONS			
DATE	REV. BY	DESCRIPTION	

Vg 0899
Store# 5401
Gas Station# 852623

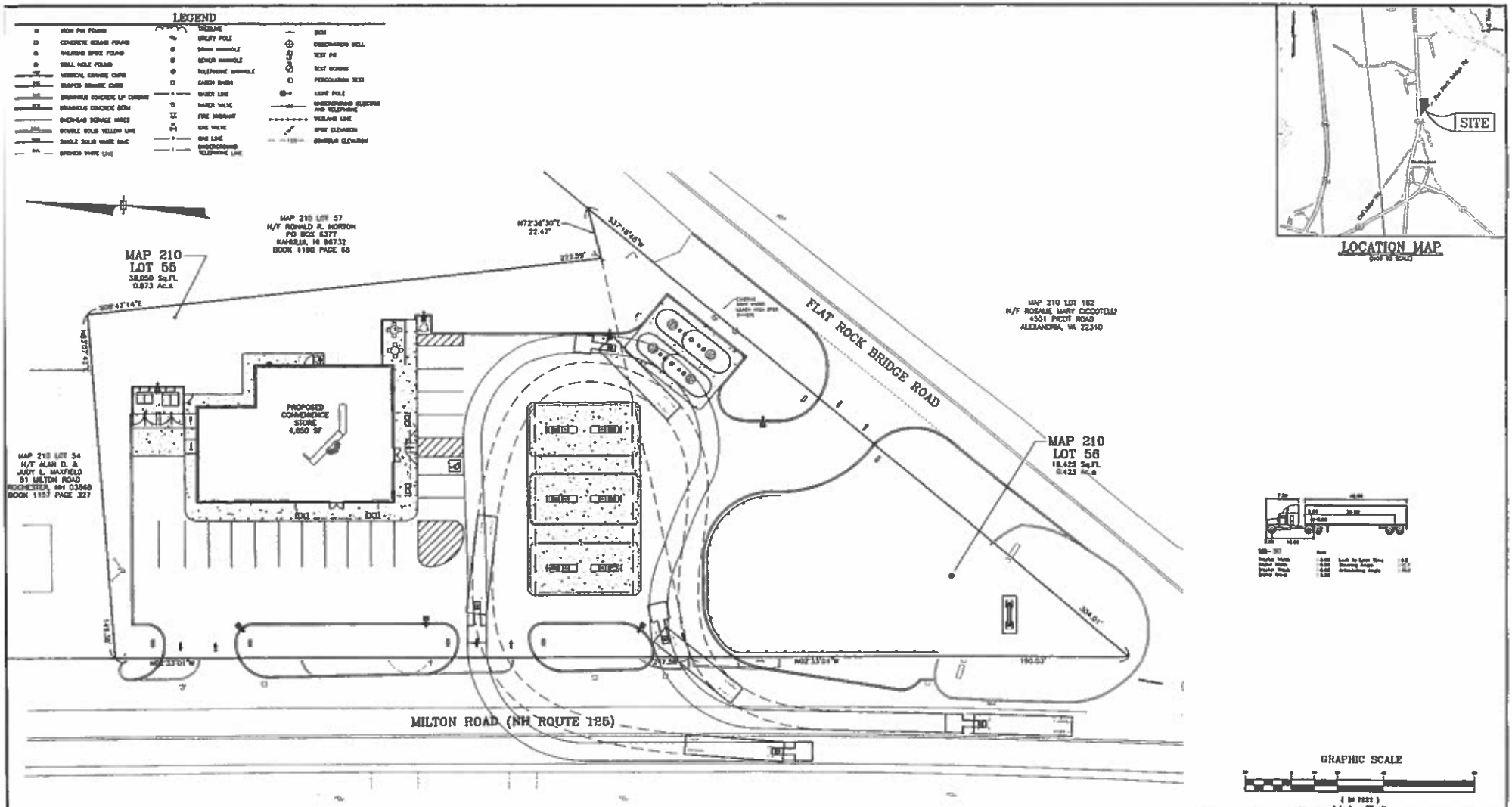
"A" MILTON ROAD
ROCHESTER, NH

Cumberland FARMS

SIGN PLAN

CFG13.0

MHF PROJECT NO. 54013 SHEET 1 OF 1



LOCATION MAP
(NOT TO SCALE)

OWNERS OF RECORD:

MAP 210 LOT 55	MAP 210 LOT 56
CUMBERLAND FARMS INC.	PAUL J. MAVELSKI
100 CROSSING BOULEVARD	P.O. BOX 2075
FRAMINGHAM, MA 01703	ROCHESTER, NH 03866
BOOK 987 PAGE 464	BOOK 1751 PAGE 708

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: DATE:

REVISIONS			
NO.	DATE	REV. BY	DESCRIPTION

56,475 SQUARE FEET
1.296 ACRES
V# 0899
Store# 5401
Gas Station# 2823

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-6720
ENGINEERS • PLANNERS • SURVEYORS
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79 MILTON ROAD
ROCHESTER, NEW HAMPSHIRE

Cumberland FARMS
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 8, 2014
FILE: 344313P.dwg
DRAWN BY: CCC
CHECKED BY: CHT

TRUCK TURN PLAN

CFG16.0

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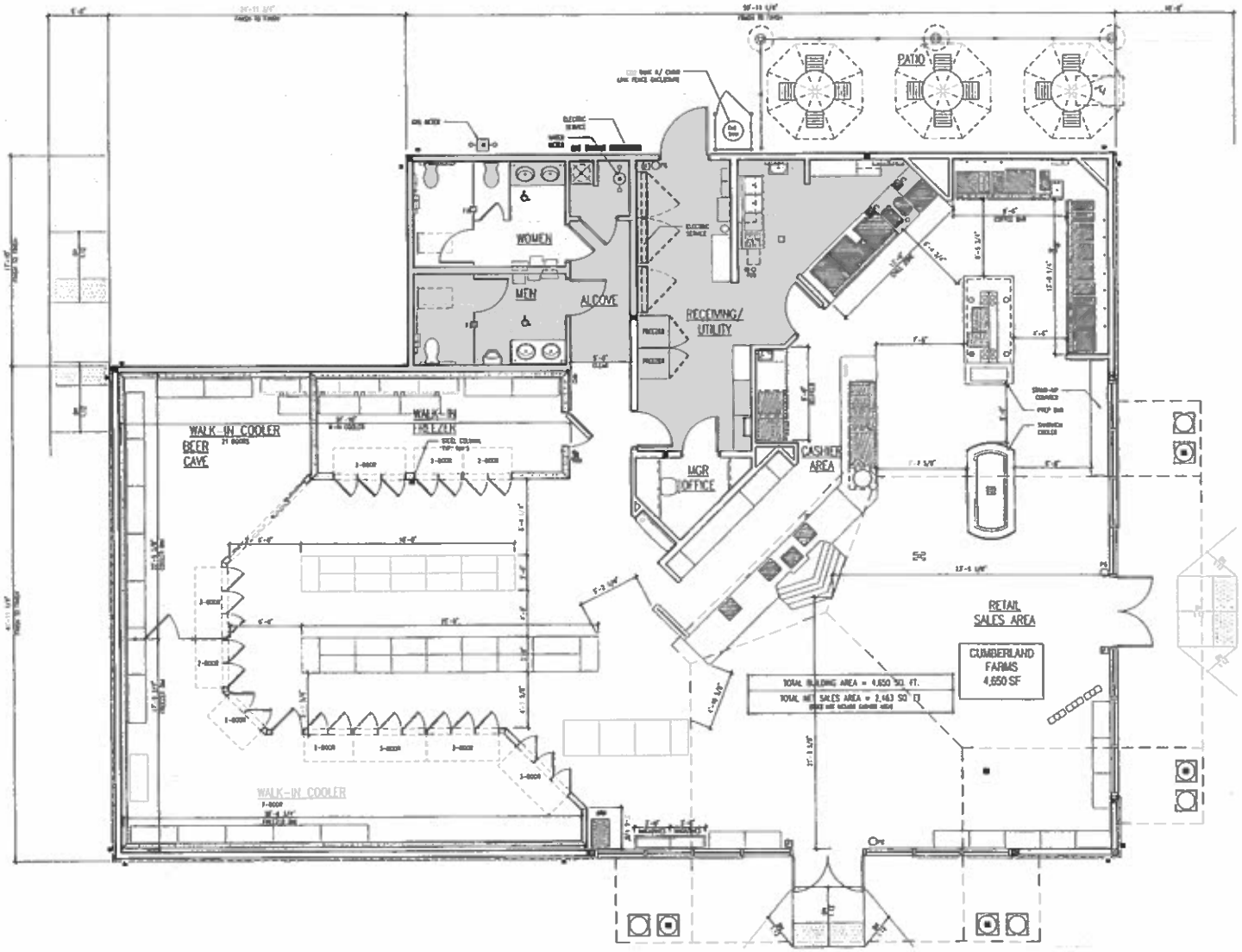
MHF PROJECT NO. 344313 SHEET 1 OF 1



FLOOR PLAN

Project Title
New Construction:

Cumberland FARMS

Store # 5401
Prop # V0899

Fiskock Bridge & Milton Rd.
Rochester, NH Zip 03868

Owner

Cumberland Farms, Inc.
165 Dunning Blvd
Farmington, Me
tel 508 271 6434

Architect

ALLEVATO

Allevato Architects Inc
34 Maxwell Road, Portsmouth NH 03801
tel 603 436 0770 fax 603 436 0454

Seal

Consultant

Revisions

No.	Date	Description
1	04/04/11	per Submission
2	05/04/11	per Submission

Key Plan

Title
FLOORPLAN

Date 05/04/11

Drawing No.

A1.1

Project No. 1300.02

MHF PROJECT NO. 344313 SHEET 1 OF 1

FINISH SCHEDULE					
MARK #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTEED	-	PT-6	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. BIZ TO PATTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTEED	-	PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. BIZ TO PATTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FG-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS	-	SMOOTH WHITE FINISH	14"X12' ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH
VS-1	VINYL SIDING	CERTAINTEED	MONOGRAM 4IL DOUBLE 4"	MERRIMACKONE	ROUGH CEDAR FINISH. PROVIDE ALL REQD ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION
CS-1	CULTURED STONE	Owens Corning CULTURED STONE, LLC	CSN-3000 SOUTHERN LEDGESTONE	FOG	INSTALL DRYSTACK ONLY. SUPPLIED BY OM
SH-RS-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTEED LANDMARK	LANDMARK	COBBLESTONE GRAY	30-YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	ALCOA	TRADITIONAL SELECT 5-6	WHITE	PROVIDE ALL ACCESSORIES REQD FOR A COMPLETE INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED. WH PERTINENT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUT AS REQ'D.

6 A3.1 EXTERIOR FINISH SCHEDULE
SCALE: NTS

FRONT WALL SIGNAGE SPECIFICATION

CHERN FABRICATED
INTERNALLY ILLUMINATED SIGN BOX

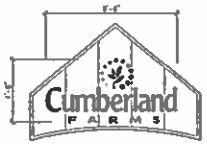
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 37.5 SQ.FT

4 A3.1 FRONT WALL SIGNAGE DETAIL
SCALE: 1/4"=1'-0"

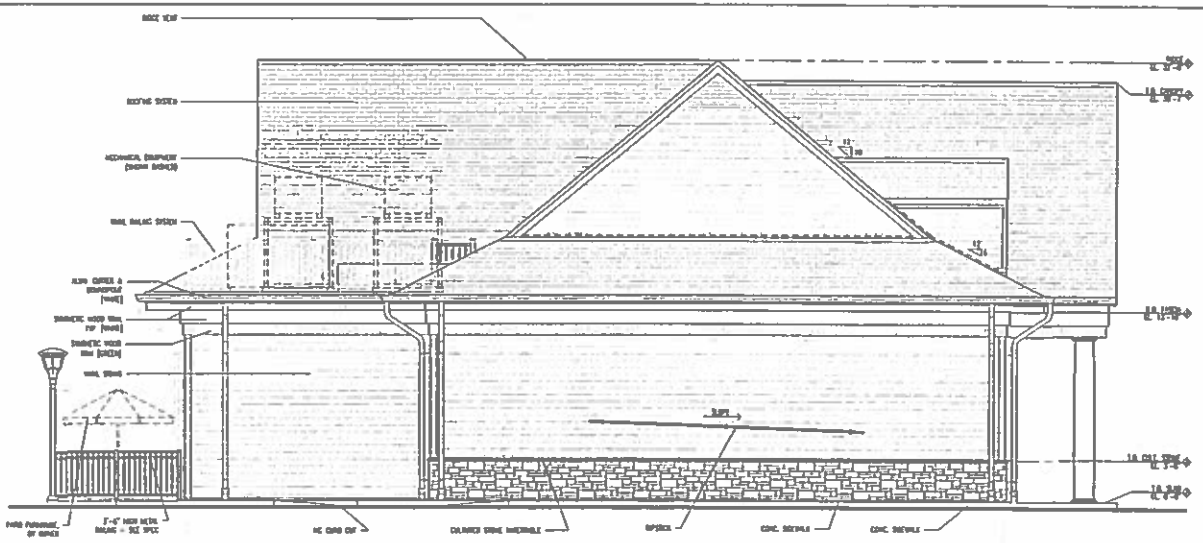
SIDE WALL SIGNAGE SPECIFICATION

CHERN FABRICATED
INTERNALLY ILLUMINATED SIGN BOX

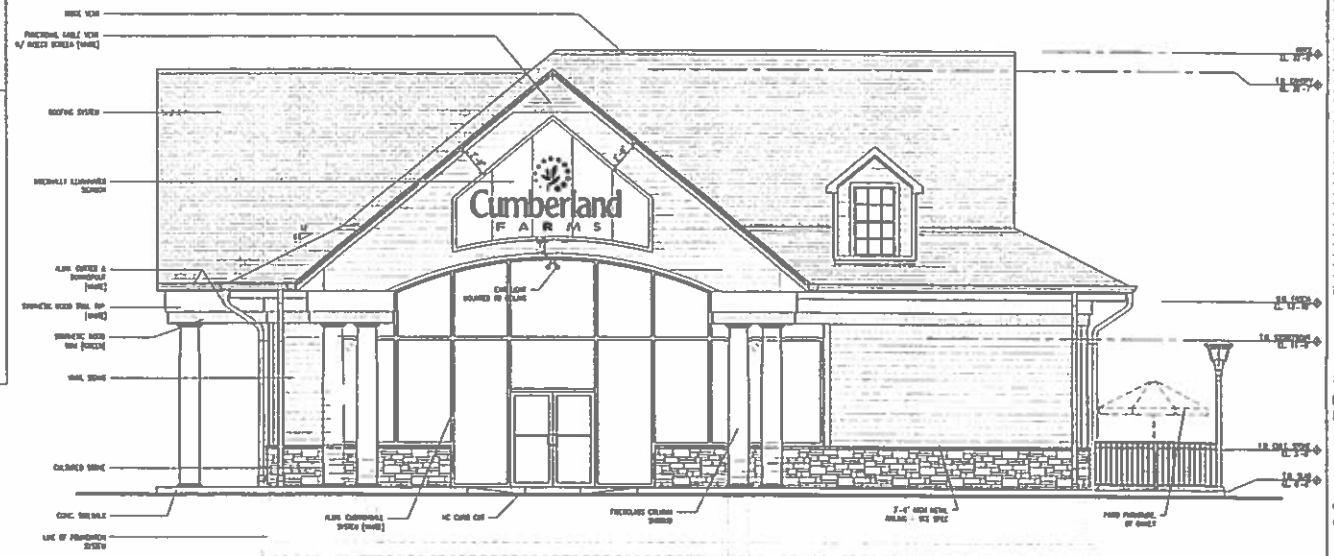
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 37.5 SQ.FT



3 A3.1 SIDE WALL SIGNAGE DETAIL
SCALE: 1/4"=1'-0"



2 A3.1 BACK SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 A3.1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

Project Title
New Construction:

Cumberland FARMS
Store # 5401
Prop # V0899

Fairrock Bridge & Hilton Rd.
Rochester, NH Zip 03868

Owner
Cumberland Farms, Inc.
165 Crossing Blvd
Framingham, MA
tel 508 271 4624

Architect
ALLEVATO
Allevato Architects Inc
24 Keep-out Street, Pembroke MA 02359
tel 508 530 0770 fax 508 530 0404

Seal

Consultant

Revisions

No.	Description	Approved Date
1	PERMIT	10-14-2020
2	PERMIT	10-28-2020

Key Plan

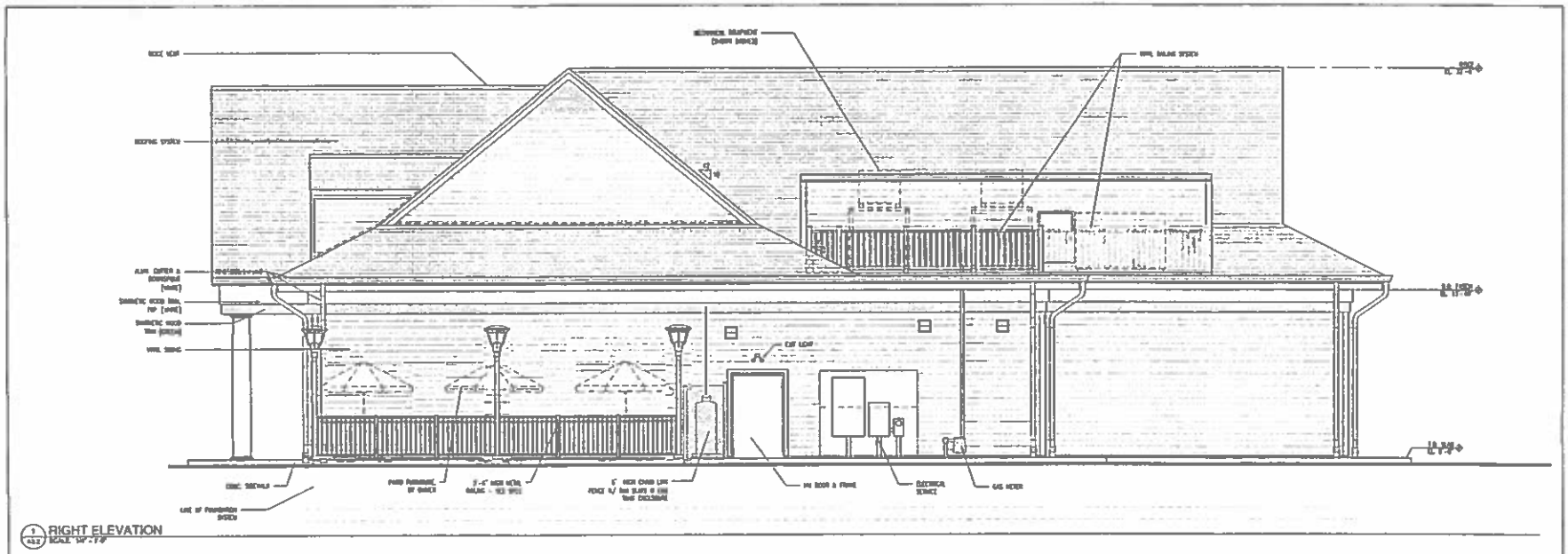
Title
EXTERIOR ELEVATIONS

Date 10/12/20

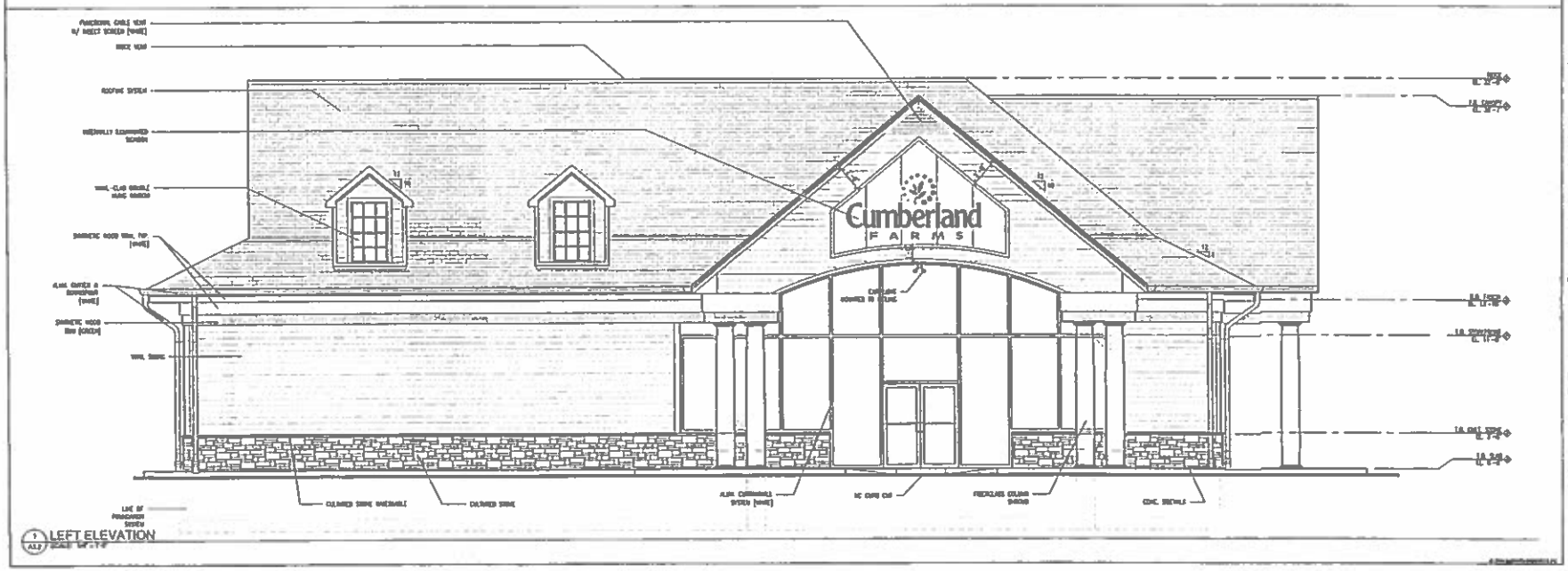
Drawing No.
A3.1

Project No. 1300.02

MHF PROJECT NO. 344313 SHEET 1 OF 1



1 RIGHT ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



1 LEFT ELEVATION
A3.2 SCALE: 1/4" = 1'-0"

Project Title
New Construction:

Cumberland
FARMS
Store # 5401
Prop # V08999

Flatrock Bridge & Milton Rd.
Rochester, NH Zip 03868

Owner
Cumberland Farms, Inc.
165 Crossing Blvd
Framingham, MA
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Architect
ALLEVATO
Allevato Architects Inc
31 Hayward Street, Franklin MA 02038
tel 508 528 0770 fax 508 528 9464

Seal

Consultant

Revisions

No.	Date	Description
1	04/14/14	30% SUBMITTAL
2	07/11/14	90% SUBMITTAL

Key Plan

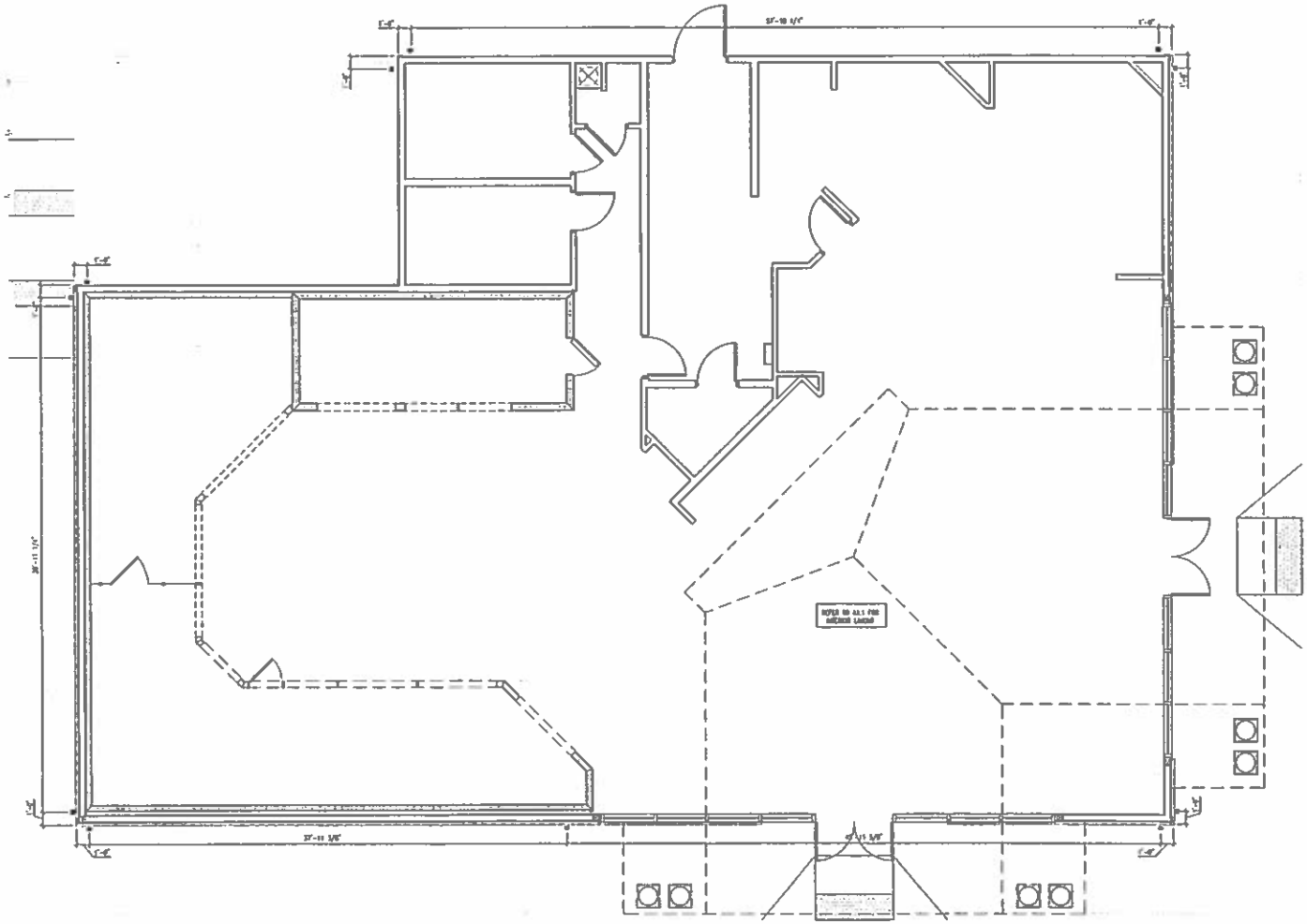
Title
EXTERIOR ELEVATIONS

Date 04/14/14

Drawing No.
A3.2

Project No. 1300.02

MHF PROJECT NO. 344313 SHEET 1 OF 1



1 DOWNSPOUT LOCATION PLAN
SCALE: 1/8" = 1'-0"

Project Title
New Construction:

Cumberland FARMS
Store # 5401
Prop # V0899

Flatrock Bridge & Hilton Rd.
Rochester, NH Zip 03868

Owner
Cumberland Farms, Inc.
165 Crossing Blvd
Framingham, Ma
tel 508 271 6524

Architect
ALLEVATO
Allevato Architects Inc
31 Hayward Street, Franklin Ma 02038
tel 508 528 0770 fax 508 528 9484

Seal

Consultant

Revisions

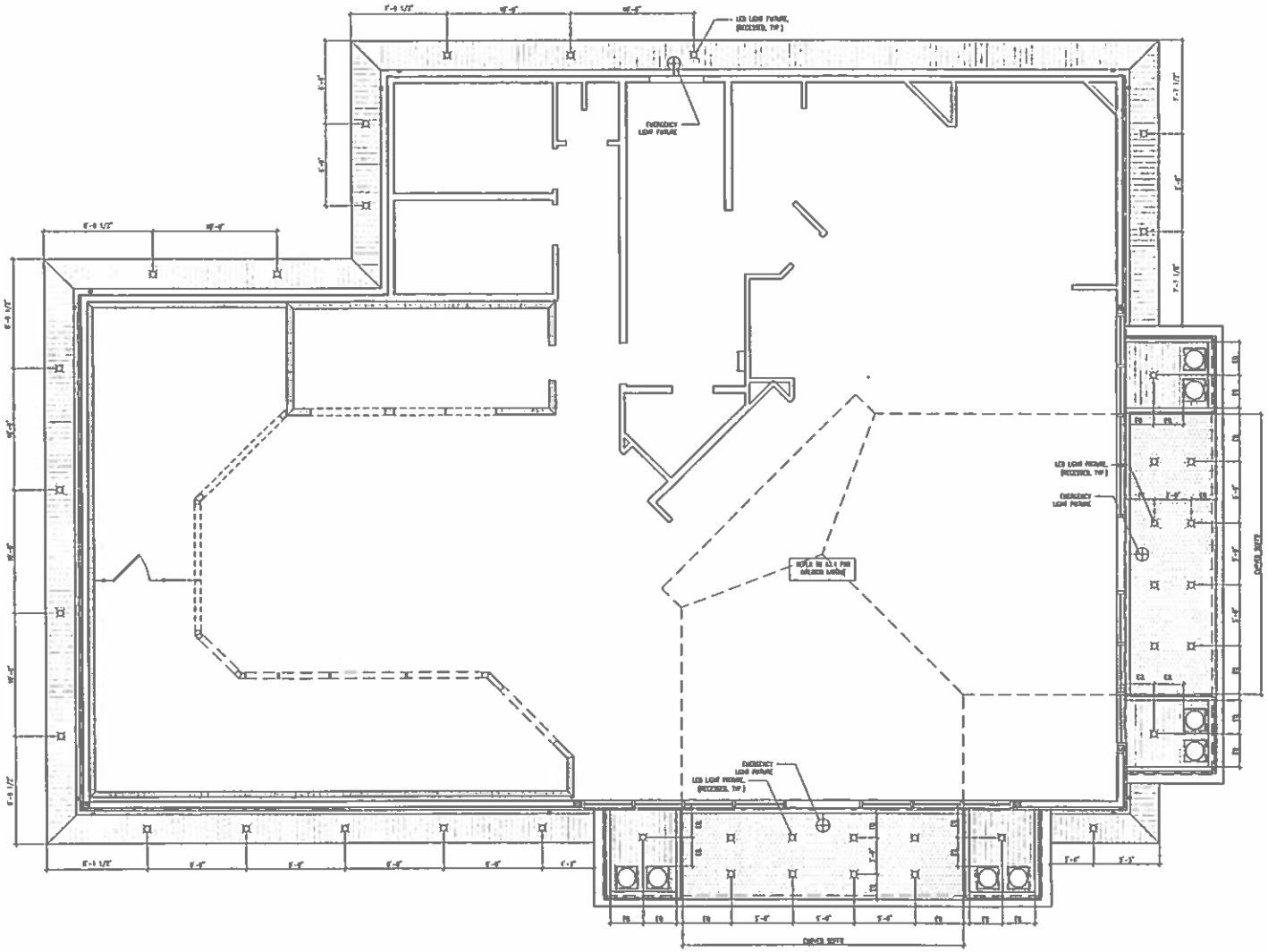
No.	Date	Subject
1	[illegible]	[illegible]
2	[illegible]	[illegible]

Key Plan

Title
DOWNSPOUT LOCATION PLAN

Date: [illegible]
Drawing No.
DS1.1
Project No. 1300.02

MHF PROJECT NO. 344313 SHEET 1 OF 1



1 BUILDING LIGHTING PLAN
SCALE: 1/8"=1'-0"

Project Title
New Construction:

Cumberland FARMS

Store # 5401
Prop # V0899

Hatteck Bridge & Milton Rd.
Rochester, NH Zip-03868

Owner
Cumberland Farms, Inc.
165 Crossing Blvd
Framingham, MA
tel 508 271 6634

Architect
ALLEVATO
Allevato Architects Inc
35 Hayward Street, Franklin MA 02038
tel 508 528 8778 fax 508 528 9484

Seal

Consultant

Revisions

No.	Date	Revised by
1	[illegible]	[illegible]
2	[illegible]	[illegible]

Key Plan

Title
EXTERIOR BUILDING LIGHTING PLAN

Date 04/04/14

Drawing No.
L1.1

Project No. 1300.02

M+F PROJECT NO. 344313 SHEET 1 OF 1